

AGENDA
Preservation Commission
Tuesday, September 9, 2025
909 Davis Street, Floor 2 Council Chambers 7:00 PM

Page

1. CALL TO ORDER/DECLARATION OF A QUORUM

2. PUBLIC COMMENT

Members of the public are afforded three minutes per person to provide testimony related to items listed under discussion, review and comment, staff reports, or to otherwise address the Commission generally. Members of the public wishing to provide testimony on new or unfinished business shall be given the opportunity to do so following presentation by the applicant in a manner and under time limits determined by the Chair.

3. SPEAKER SERIES

A. Lessons from the Elijah Muhammad House Museum Restoration

Listed on the National Register of Historic Places in 2021, the Elijah Muhammad House is also included in Chicago's Kenwood Landmark District. Wendy Muhammad, a preservation consultant, will provide background on her leadership in restoring the long neglected Elijah Muhammad House, dedication in face of adversity, and her fierce love for Chicago's cultural heritage.

Wendy Muhammad received the City of Chicago Department of Planning and Development Preservation Excellence award for her work on the Elijah Muhammad House (4847 S. Woodlawn Ave., Kenwood), also known as Sadjha House, and is the founder of the Coalition of Black House Museums.

4. NEW BUSINESS

A. **25PRES-0104 - 706 Forest Avenue - Lakeshore Historic District** 3 - 40

Karmen Behrens, architect and applicant on behalf of the homeowner, submits for a Certificate of Appropriateness to alter the structures rear volume by demolishing a non-original deck, constructing a single-story mudroom addition and raised deck, and altering the pattern of fenestration including new windows and doors in new and existing openings.

Applicable Standards: Alteration [1-10]; and Construction [1-5, 7-13, and 15]

The Preservation Commission is the determining body, pending a 30 day appeal period, for the proposed scope of work per Code Section 2-8-8 and Article 5 of the Commissions Rules of Procedure.

For Action

[706 Forest Avenue – Lakeshore Historic District -- 25PRES-0104 - Attachment - Pdf](#)

5. APPROVAL OF MEETING MINUTES

A. **Minutes of July 15, 2025** 41 - 47
[20250715 HPC Minutes](#)

6. DISCUSSION (NO VOTE WILL BE TAKEN)

A. **Dog Beach ADA Access Project Update**

B. **Potential Survey Areas for Fall of 2025**

C. **2025 Cultural Heritage Awards**

7. ADJOURNMENT

Order & Agenda Items are subject to change. [Information about the Preservation Commission is available online.](#) Questions can be directed to Cade W. Sterling at 847-448-8231 or at csterling@cityofevanston.org The city is committed to ensuring accessibility for all citizens; if an accommodation is needed to participate in this meeting, please contact the Planning and Zoning Division at (847-448-8687) 48 hours in advance so that arrangements can be made for the accommodation if possible.

Español - La ciudad de Evanston tiene la obligación de hacer accesibles todas las reuniones públicas a las personas minusválidas o a quienes no hablan inglés. Si usted necesita ayuda, favor contacte de la Oficina de Planificación y Zonificación llamando al (847/448-4311) o csterling@cityofevanston.org con 48 horas de anticipación para acomodar su pedido en lo posible



Memorandum

To: Members of the Preservation Commission
From: Cade Sterling, Planner
Subject: 706 Forest Avenue – Lakeshore Historic District -- 25PRES-0104
Date: September 9, 2025

Recommended Action:

Staff recommends review of the proposal against the applicable standards identified. Determination of whether the standards have been met is exclusively afforded to members of the Commission. Additional standards may be applied at the Commission's discretion.

Staff may provide a professional opinion on the proposal at the Commission's request.

CARP:

N/A

Commission Action:

For Action

Summary:

Public Notice

Karmen Behrens, architect and applicant on behalf of the homeowner, submits for a Certificate of Appropriateness to alter the structures rear volume by demolishing a non-original deck, constructing a single-story mudroom addition and raised deck, and altering the pattern of fenestration including new windows and doors in new and existing openings.

Applicable Standards: Alteration [1-10]; and Construction [1-5, 7-13, and 15]

Construction Period:

1919

Style:

Colonial Revival with Craftsman Influences

Architect of Record:

C.W. Johnson

Condition:

Good

Integrity:

Good

Status:

Contributing

Setting:

820 Sheridan Road is located in the south central portion of the Lakeshore Historic District on the west side of Forest Avenue mid-block between Kedzie Street to the north and Keeney Street to the south. The block was first developed between the 1870s and 1890s and contains many fine early Victorian examples. Later revival styles, and arts and crafts inspired homes including examples of the Prairie, Craftsman, and American Four Square were developed between the 1910s and late 1930s. The block contains six individual landmarks and retains excellent integrity with thirty-three of thirty-five properties listed as contributing.

Significance:

706 Forest Avenue contributes to the Lakeshore Historic Districts period of significance, and is complimentary in its design vocabulary and artistic value. The structure combines the symmetry of the Colonial Revival style with Craftsman elements. Of particular interest are the segmental arch dormers flanged ends centered along the roofline of the front façade, as well as leaded glass windows with tulip motifs. Additional character-defining features include multi-light casement windows; glazed wood front door with original sidelights; front entry porch with fluted columns/pilasters, and three over one wood double hung windows.

CW Johnson:

Carl W. Johnson (CW) Built houses across Evanston between 1916 and the early 1930s. Johnson worked primarily with architect Archibald S. Morphett (1898-1941), who would eventually form the firm Milman and Morphett in 1930 with offices at 7 South Dearborn in Chicago. Reflecting the later dates of Johnson's activity are many revival styles, two within the Lakeshore Historic District and seven within the Northeast Historic District. Many of his projects combine various revival styles with the Craftsman style.

Craftsman Style: (1900s-1920s)

The Craftsman Style derived from the Arts and Crafts Movement of the late 19th century — a movement that valued hand craftsmanship, natural materials and simplicity in design and rejecting Victorian era excesses and mass-production. Craftsman style houses feature a mix of wood clapboards, shingles, stucco and sometimes half-timbering. If stone or brick was used, it was typically laid to look more rustic, with rough cuts and uneven application. Roofs are low-sloped hipped or gable roofs with deep overhangs supported by wood brackets and knee-braces. Exposed rafter tails are also a feature. In one and one-half story versions, the attic space is made usable with dormers or windows set in the gable ends. Wide front porches are common and are often supported by rustic brick or stone piers. Windows are usually double hung or casement types with multi-paned or diamond-paned glass. The

Craftsman Style does not have its own building form but was a style applied to common building types, such as the bungalow and the American Foursquare. The style was popularized by national design plan books and magazines such as *The Craftsman*, published by Gustav Stickley between 1901 and 1916. Though high-style, expensive Craftsman homes are not uncommon, it was generally promoted as an affordable, middle-class style for Americans, although mass-produced, ironically.

Colonial Revival Style: (1880s-1950s)

Colonial Revival is by far the most prevalent architectural style found in many communities. The Colonial Revival style is often believed to have started after the 1976 Philadelphia Centennial Exhibition where a “colonial kitchen,” replete with a spinning wheel, was reconstructed. The New York firm of McKim, Mead, White and Bigelow are often considered the first important practitioners of the style with their Appleton House in Lennox, Massachusetts and the Taylor House in Newport, Rhode Island, their most significant works in the style. The most common architectural features of Colonial Revival homes include columned entry porches; entry doors with transoms, sidelights, and elaborate surrounds; symmetrical building forms; hipped roofs; and, double-hung, multi-paned windows that are often paired together. In Evanston, Colonial Revival homes are often two and-a-half floors in height and constructed in brick masonry. In some instances, homes have a one or two story enclosed side or rear wings. Colonial Revival styles are later found in more simplified versions in post World War II townhomes and in various Ranch forms. The style can be both high-style or vernacular, and was a common typology for speculation by developers.

Public Comment:

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commission's discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site, or object in a manner that requires minimal alteration of the property, structure, site, or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site, or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites, and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.

4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. Height. Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. Proportion of facades. The relationship of the width to the height of facades shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.

3. Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. Rhythm of solids to voids in facades. The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. Rhythm of spacing and structures on streets. The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. Relationship of materials and texture. The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. Roof shapes and roof mounted equipment. The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. Scale of a structure. The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. Directional expression of facades. A structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or non-directional character.

12. Original qualities. For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. Archaeological resources. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

15. New additions. Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. z

Attachments:

[COA Application](#)

[Drawings](#)

[Specifications](#)

[LHD Survey Sheet](#)



Application for Certificate of Appropriateness (COA)

NOTICE: This form is not a permit application.

Application Required: This application is required for all scopes of exterior work, including minor, major, and window/door replacement projects affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when work is visible from the public way (street, alley, sidewalk, or other parcel of land appropriated to the public for public use).

Submission Deadline: To ensure timely processing of your application, submit this application no less than **15 business days** before the second Tuesday of each month. **Incomplete applications will not be accepted.** Refer to the Submittal Requirements, pages within this application to ensure completeness. Upon receipt of your application, staff will determine whether the proposal can be reviewed administratively, or whether it will be referred to the Preservation Commission for review and action. Completed applications referred to the Commission will be scheduled for review at the next available meeting as long as all required information is provided by the deadline and the number of items on the agenda allows.

For more information: It is encouraged, but not required, to meet with staff to review submittal requirements prior to submitting. To set up a meeting or to answer any questions as to which requirements apply to your project, please contact Cade W. Sterling at (847) 448-8231 or email: csterling@cityofevanston.org

Section A. Required Information (Print Clearly)

1) Property Address: 706 FOREST AVE EVANSTON IL 60202		FOR STAFF USE ONLY Application Number:	
2) Applicant's Name: Karmen Behrens & Sebastian Koziura		Address: Koziura Homes Contractor 1701 Simpson St, Evanston, IL, 60201	
City: Evanston, IL, 60201	State:	Zip:	Phone: 847-757-6171 E-mail:sebastiankoziura@hotmail.com
3) Owner's Name: SEBASTIAN KOZIURA		Address:	
City:	State:	Zip:	Phone: Email: sebastiankoziura@hotmail.com
4) Applicant's Relationship to the Owner: <input type="checkbox"/> Same <input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Other:			
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No; If yes, <input checked="" type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Woman's Christian Temperance Union			
7) Refer to the completed Zoning Analysis and check as applicable if your project requires: <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Special Use; <input type="checkbox"/> Planned Development → If any are checked, additional submission requirements may apply. A member of the Planning & Zoning Division will contact you.			
8) Acknowledgement of Potential Archaeological Resources: <input checked="" type="checkbox"/> I acknowledge that if any archaeological materials are encountered during construction, I will stop work and notify the Planning & Zoning Division immediately. An approved Certificate of Appropriateness is not a clearance for purposes of the Illinois Human Remains Protection Act as amended. (20 ILCS 3440)			
9) Applicants Signature: I acknowledge that I understand the requirements for what constitutes a complete application and affirm that the requirements for a complete application have been met. Karmen Behrens  Date: 07.25.2025			

Section B: Application for Certificate of Appropriateness

1) Describe, in detail, the proposed activity and reason for requesting a Certificate of Appropriateness.

Attach a separate sheet or sheets if necessary.

NEW 1 STORY ADDITION WITH ROOF - MUD ROOM
NEW WOOD DECK
2 NEW WINDOWS IN FAMILY ROOM
KITCHEN PATIO DOORS WILL BE RELOCATED TO CENTER ON KITCHEN

2) Select the three standards from the [Binding Review Standards](#) that you believe are most relevant to your proposal. Then describe, in detail, how your proposal meets the standards you have selected.

Attach a separate sheet or sheets if necessary.

(For assistance selecting relevant standards contact Cade W. Sterling, City of Evanston Preservation Planner: csterling@cityofevanston.org or 847-448-8231.)

2-8-9. - STANDARDS FOR REVIEW OF APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS.

2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

(B) Standards for review of construction.

2. Proportion of facades. The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
7. Relationship of materials and texture. The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
8. Roof shapes and roof mounted equipment. The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.
11. Directional expression of facades. A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.
12. Original qualities. For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.
14. Innovative design. Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
15. New additions. Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(D) Standards for review of demolitions.

CERTIFICATE OF APPROPRIATENESS SUBMITTAL REQUIREMENTS

REPAIR, REPLACEMENT, RE-POINTING, SOLAR INSTALLATION, AND SITEWORK INCLUDING NEW PATIOS, TERRACES, OR WALKWAYS

- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Plat of survey that accurately represents current conditions of the property.
- As applicable, provide a to-scale existing and proposed site plan (roof plan for solar installation) clearly showing the proposed change(s) with dimensions of proposed features, setbacks from proximate lot lines, and material annotations. An aerial image or birds eye photo with areas of work identified will be sufficient for proposed roof replacement and re-pointing.
- Labeled, color photographs showing all exterior views of the building, structure, and/or site including all areas of proposed work and any areas of deterioration. Google street view or other non-current photos will not be accepted.
- If materials are being proposed for repair or replacement that are other than an exact match to original, physical or visual samples or manufacturer brochures must be submitted.
- Any additional information that is requested after your initial consultation with staff or as requested by the Commission's Pre-Application Review Subcommittee.

FENCES – Provide a plat of survey with the existing and proposed fence and gate location(s) clearly identified. Include photos of the existing fence and any gates, and an illustration or sample photo of the proposed fence and gate style(s).

REPLACEMENT OF WINDOWS, DOORS, and SKYLIGHTS

Due to the sensitivity required for window and door replacement, the Commission has created additional resources for applicants (available following the links below or accessing the Preservation Commissions webpage) including separate design guidelines, a sample best practice submission, and sample drawings for wood and steel windows.

- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Context photos of all impacted elevations with the location of new or altered windows/doors labeled by number and by type. If there are typical windows (more than one of the same size material, and operating style), label each window type A,B,C etc. If there are multiple windows for a single type, those would be labeled as, 1A, 2A, 3A etc. Google street view or other non-current photos will not be accepted.
- Condition photos, interior and exterior, of all windows and doors scheduled for replacement. Labels on condition photos should match those on the context photos above.
- If replacing original or historic wood windows, provide information on the viability of restoration/repair. This must come from a licensed general contractor, architect, or restoration specialist on the provider's letterhead, not from the window supplier/contractor.
- To-scale and labeled floor plans (recommended if new window openings are proposed).
- To-scale, existing and proposed elevation and section drawings for each window type presented side-by-side on the same sheet. Drawings must include annotations and dimensions including the overall window opening, stile, top and bottom rail, meeting rail, muntin, sill, and exterior trim or moulding profiles. Drawings of existing windows must be based on field measurements. For all drawings, the window's relationship to the existing wall plane must also be provided.

Important Notice: Manufacturers' standard cut sheets are not an acceptable substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project.

☒ MAJOR ALTERATIONS, ADDITIONS, NEW CONSTRUCTION, RELOCATION, AND DEMOLITION

If a major alteration, construction or relocation, or demolition is planned, City staff will notify neighbors within 250 feet of the subject property at least five (5) business days prior to the Preservation Commission hearing. The applicant is responsible for paying the mailing fee.

- **Zoning Analysis Required:** A completed Zoning Analysis must be submitted with the COA application. Zoning staff requires at least 10 business days to complete a zoning analysis. During the height of construction season, zoning analysis reviews may take longer. Applicants must give themselves enough time to request a zoning analysis in order to meet the COA deadline below.
- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Plat of survey that accurately represents the current conditions of the property including the location of existing trees with their size and species identified.
- Drawings that accurately indicate existing conditions and all proposed changes and areas of new work
 - To-scale existing and proposed site plan clearly showing the proposed change(s) with dimensions of proposed features, setbacks from proximate lot lines, material annotations, and approximate location of major structures on adjacent lots.
 - Labeled, color photographs showing all exterior views of the building, structure, and/or site including all areas of proposed work and any areas of deterioration which demonstrate why repair is not possible. If a change in height, scale, or massing is proposed, provide photos of the existing structure in context with the immediate structures on the block to which it is visually related. Google street view or other non-current photos will not be accepted.
 - To-scale, annotated, and dimensioned existing and proposed exterior elevations side-by-side on the same sheet (as possible). Elevations must clearly annotate all building materials, window types, trim types and sizes, etc.
 - If the proposal includes changes or additions to the original roof, include to-scale and annotated existing and proposed roof plans including details such as configuration, slope, overhang dimensions, and the new roof transitions into existing.
 - For new additions and new free-standing construction, 3D drawings, models, or axonometric drawings in context with the primary structure and its immediate surroundings are required. Context includes adjoining structures on adjoining lots. **This requirement may be waived for new garages and smaller accessory structures.**
 - For proposed free-standing construction including ADU's, Coach Houses, and new Principle Structures along streets, block studies showing the visual, massing, and other proportional relationships of the proposed structure to the structures it is visually related to shall be provided.
 - Details or sections if required to explain areas of complexity.
- For proposed demolition, include photos and narratives demonstrating the current conditions that necessitate demolition and why repair or rehabilitation are not possible or being pursued. Depending on the proposal, staff may require a statement from a structural engineer.

☐ **FEE** – Proposals which are referred to the Preservation Commission for review are subject to a preservation fee per Code Section 2-8-16. An invoice will be sent to the applicant following receipt of a complete application. **The invoice must be paid prior to a case being scheduled for review.**

Links to Additional Information:

1. [Evanston Preservation Commission Including List of Meeting Dates](#)
2. [Frequently Asked Questions](#)
3. [Procedural Guidelines](#)
4. [Evanston Preservation Program Including Resources for Applicants](#)
5. [Preservation Commission Window Replacement Guidelines](#)
6. [Sample Best Practice Window Replacement Submission](#)
7. [Sample Supplemental Window Drawings](#)
8. [Solar Panel Installation Guidelines](#)

GUT REHAB TO EXISTING 2 1/2 STORY STUCCO DWELLING WITH BASEMENT



NO CHANGE TO THE FRONT ELEVATION

LOCATION OF NEW ESCAPE WINDOW



EXISTING WALKWAY TO REMAIN

EXISTING TREES TO REMAIN



EXISTING TREES TO REMAIN

EXISTING GARAGE NIC

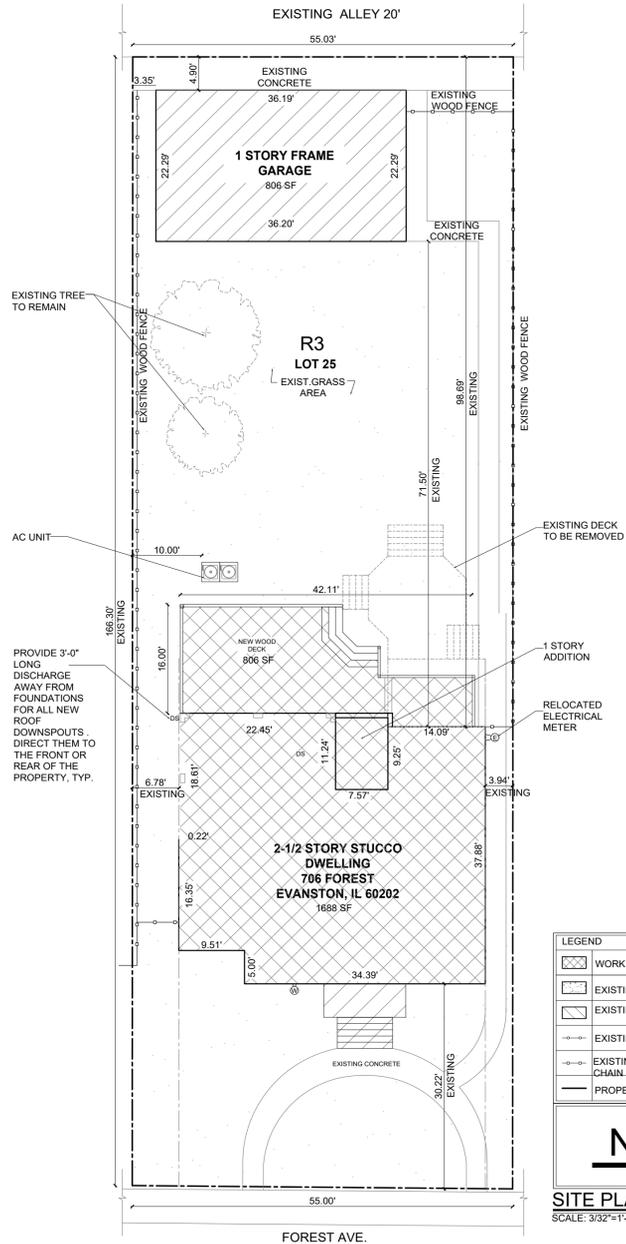


EXISTING ROOF TO REMAIN

EXISTING DECK WILL BE REMOVED



NEW 1 STORY MUD ROOM ADDITION WITH ROOF



BUILDING CODES

ADOPTED BUILDING CODES
THE CITY HAS ADOPTED THE FOLLOWING BUILDING AND FIRE CODES:

- 2021 INTERNATIONAL BUILDING CODE (IBC) - IBC AMENDMENTS
- 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC) - IRC AMENDMENTS
- 2021 INTERNATIONAL MECHANICAL CODE (IMC) - IMC AMENDMENTS
- 2020 NFPA 70 NATIONAL ELECTRIC CODE (NEC) - NEC AMENDMENTS
- ILLINOIS PLUMBING CODE - ILLINOIS PLUMBING CODE AMENDMENTS
- ILLINOIS ENERGY CONSERVATION CODE

(THE ILLINOIS STRETCH ENERGY CODE HAS BEEN ADOPTED BY THE EVANSTON CITY COUNCIL AND WILL TAKE EFFECT ON OCTOBER 1, 2025. ALL PROJECTS SUBMITTING AN APPLICATION FOR A BUILDING PERMIT AFTER THAT DATE WILL BE REQUIRED TO COMPLY WITH THE ILLINOIS STRETCH ENERGY CODE.)

GENERAL BUILDING REQUIREMENTS FOR EVANSTON ZONING CODE

SUBJECT	ZONING REQ.	PROPOSED
ZONING DISTRICT	R1	R1
LOT AREA	7,200 MIN. S.F.	9,163 S.F.
BUILDING HEIGHT	35'-0", 2 1/2 STORIES	+/-28'-3"
SETBACK RESIDENTIAL STRUCTURE		
FRONT SETBACK	27'-0"	+/- 30.22 EXISTING
REAR SETBACK	30'-0"	+/- 98.69 EXISTING
STREET SIDE SETBACK	15'-0"	
INTERIOR SIDE SETBACK	5'-0"	3.94' EXISTING 6.78' EXISTING
THE MINIMUM LOT WIDTH	35'-0"	55'-0"
MAXIMUM BUILDING COVERAGE	30%	27%
MAXIMUM LOT COVERAGE	45%	43%

BUILDING LOT COVERAGE INCLUDES ALL GROUND FLOOR ROOFED AREAS, INCLUDES ROOFED/COVERED STOOPS/LANDINGS, PATIOS
50% OF THE SURFACE AREA OF AN OPEN FRONT PORCH IS EXCLUDED

PERVIOUS PAVING SYSTEMS RECEIVE A 25% DISCOUNT TOWARDS THE MEASURED AREA.
OTHER PERMEABLE PAVING SYSTEMS RECEIVE A 20% DISCOUNT TOWARDS THE MEASURED AREA.
SOLID CONCRETE AND ASPHALT DO NOT RECEIVE A DISCOUNT.

DECKS THAT ARE NOT ROOFED/COVERED WITH A PERMEABLE SURFACE UNDERNEATH, COVERING UP TO 3% OF THE ZONING LOT AREA ARE EXCLUDED FROM IMPERVIOUS SURFACE COVERAGE CALCULATION.

ANY PORTION OF THE DECK EXCEEDING 3% OF THE ZONING LOT AREA COUNTS TOWARDS COVERAGE AT 100%

ILLINOIS ENERGY CONSERVATION CODE

TABLE R402.1.2, R402.1.3

COMPONENT	ENERGY CODE REQ'
ROOF	R-60
MASS WALLS	R-13/17
WOOD WALLS	30 or 2085cl
CEILING	R-49
FLOOR	R-30
BASEMENT / CRAWL SPACE WALL	R-15cl or 19
SLAB (R-VALUE & DEPTH)	R-10, 4ft
FENESTRATION U-FACTOR	0.30 U-VALUE (MAX)

- ALL NEW PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LIGHTING SOURCES. SECTION: R404.1 IECC
- THE NATIONAL ELECTRIC CODE REQUIRES THAT COMED OVERHEAD SERVICE CONDUCTORS BE A MINIMUM OF 10 FEET ABOVE A DECK.

HCD
INTERNATIONAL

ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN LANDSCAPE DESIGN

ILLINOIS PROFESSIONAL DESIGN FIRM
 LICENSE NO. 001-016523
 LICENSE EXPIRATION: 11-30-2026
 FIRM LICENSE NO. 184.007797
 DESIGN FIRM EXPIRATION: 11-30-2026

**706 FOREST AVE,
EVANSTON, IL 60202**

CODE, NOTES, ZONING

SCOPE OF WORK:
 NEW 1 STORY MUD ROOM ADDITION WITH ROOF
 NEW BEDROOM AND BATHROOM IN THE BASEMENT
 NEW BATHROOM ON A SECOND FLOOR
 NEW LAUNDRY SECOND FLOOR
 NEW WOOD DECK
 NEW ELECTRICAL WIRING AND NEW HVAC SYSTEM
 UNDERPINNING FOUNDATION IN THE BASEMENT
 UPGRADE TO EXISTING PLUMBING, NEW DRAIN TILE
 UPGRADE TO STRUCTURAL SYSTEM
 EXISTING TREES TO REMAIN
 GARAGE NIC

INDEX OF DRAWINGS:

1	T1.0	CODE, NOTES AND ZONING
2	D1.0	DEMOLITION PLANS AND NOTES
3	D2.0	DEMOLITION PLANS AND NOTES
4	A1.0	PROPOSED PLANS, NOTES, LEGEND
5	A1.1	PROPOSED PLANS, NOTES, LEGEND
6	A2.0	ELEVATIONS
7	A3.0	SECTIONS AND DETAILS

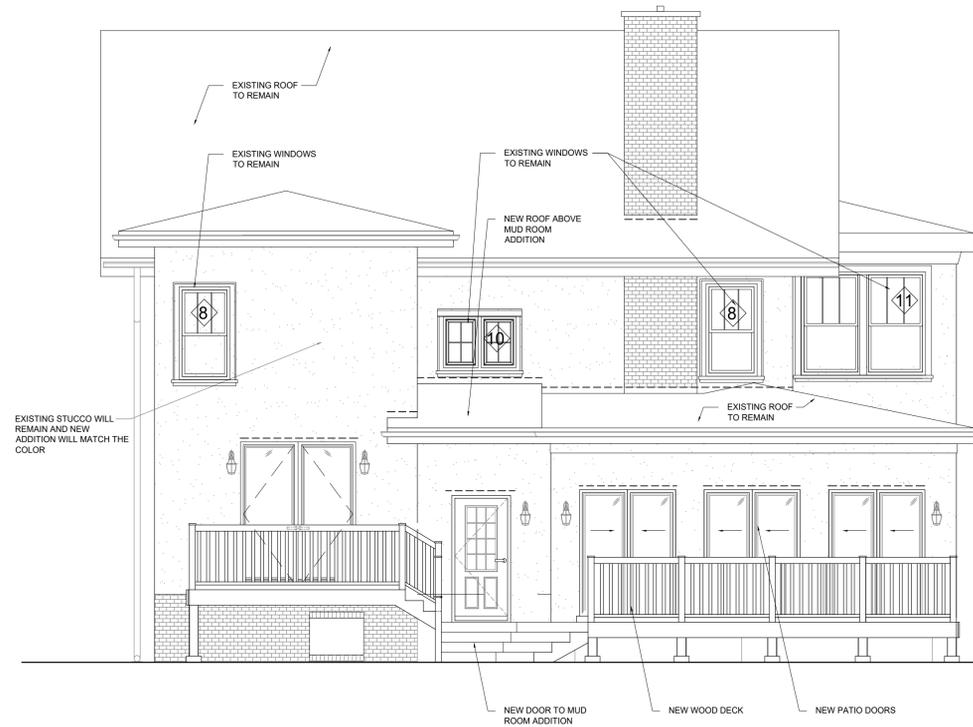
CERTIFICATION STATEMENT
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE 2021 INTERNATIONAL BUILDING CODE (IBC) - IBC AMENDMENTS ILLINOIS ENERGY CONSERVATION CODE, AS AMENDED

SIGNED _____ DATE: 07.11.2025
 EXPIRATION DATE: 11-30-2026

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT
 I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP) AND I FULLY COMPLY WITH THE REQUIREMENTS OF THE ILLINOIS ENERGY CONSERVATION CODE, AS AMENDED

SIGNED _____ DATE: 07.11.2025
 EXPIRATION DATE: 11-30-2026

REVISIONS:	PROJECT: 706 FOREST AVE, EVANSTON, IL 60202	SHEET: T1.0
DRAWN BY: KB CHECKED BY: C.G.		1



PROPOSED WEST ELEVATION

SCALE: 1/4"=1'-0"

4



EXISTING WEST ELEVATION

SCALE: 1/4"=1'-0"

2

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ARCHITECTURAL ENGINEERING
PLANNING
INTERIOR DESIGN
LANDSCAPE DESIGN

ILLINOIS PROFESSIONAL DESIGN FIRM
LICENSE NO. 091-016623
LICENSE EXPIRATION: 11-30-2025
DESIGN FIRM EXPIRATION: 11-30-2025

706 FOREST AVE,
EVANSTON, IL 60202

ELEVATIONS

PROJECT:
706 FOREST AVE,
EVANSTON, IL 60202
SCALE:
VARIES

DATE:
06-20-2025

SHEET:

A2.0

PAGE: 9



PROPOSED SOUTH ELEVATION
 SCALE: 1/4"=1'-0" 3

EXISTING SOUTH ELEVATION
 SCALE: 1/4"=1'-0" 1

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706 FOREST AVE,
 EVANSTON, IL 60202

ELEVATIONS

PROJECT:
 706 FOREST AVE,
 EVANSTON, IL 60202
 SCALE:
 VARIES
 DATE:
 06-20-2025

SHEET:

A2.1

PAGE: 9

NOTES

1. CONTRACTOR MUST PROVIDE ADEQUATE SHORING AND BRACING OF EXISTING STRUCTURE AT ALL TIMES
2. CONTRACTOR MUST PERFORM ALL DEMOLITION IN A SAFE AND CONSIDERED MANNER, WITHOUT DAMAGING CONSTRUCTION TO REMAIN
3. CONTRACTOR MUST DISPOSE OF ALL DEMOLISHED MATERIALS IN A SAFE AND LEGAL MANNER

SITE CONDITIONS

1. ARCHITECT IS NOT RESPONSIBLE FOR CONDITIONS THAT ARE CONCEALED DURING INSPECTION, MEASUREMENTS & OR DISCOVERED DURING CONSTRUCTION
2. CONTRACTOR SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS
3. CONTRACTOR MUST REPLACE ALL DAMAGED AND ROTTED WOOD IF DISCOVERED

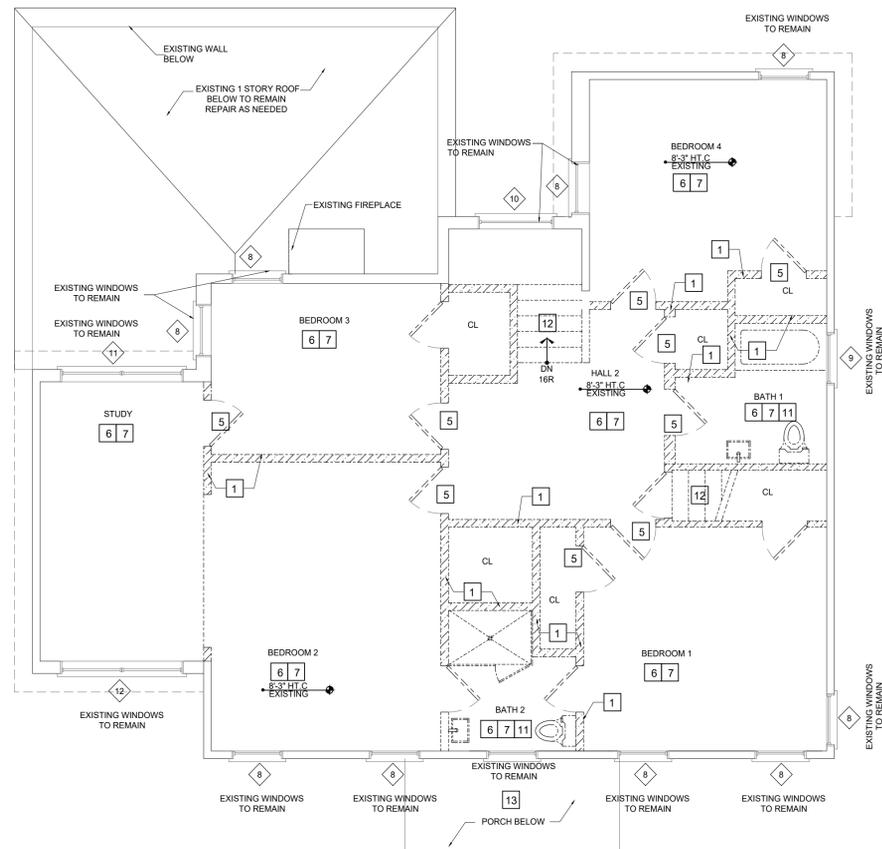
LEGEND

- WALLS / PARTITION TO REMAIN
- WALL / PARTITION TO BE DEMOLISHED
- ELEMENT TO BE DEMOLISHED
- KEYNOTE

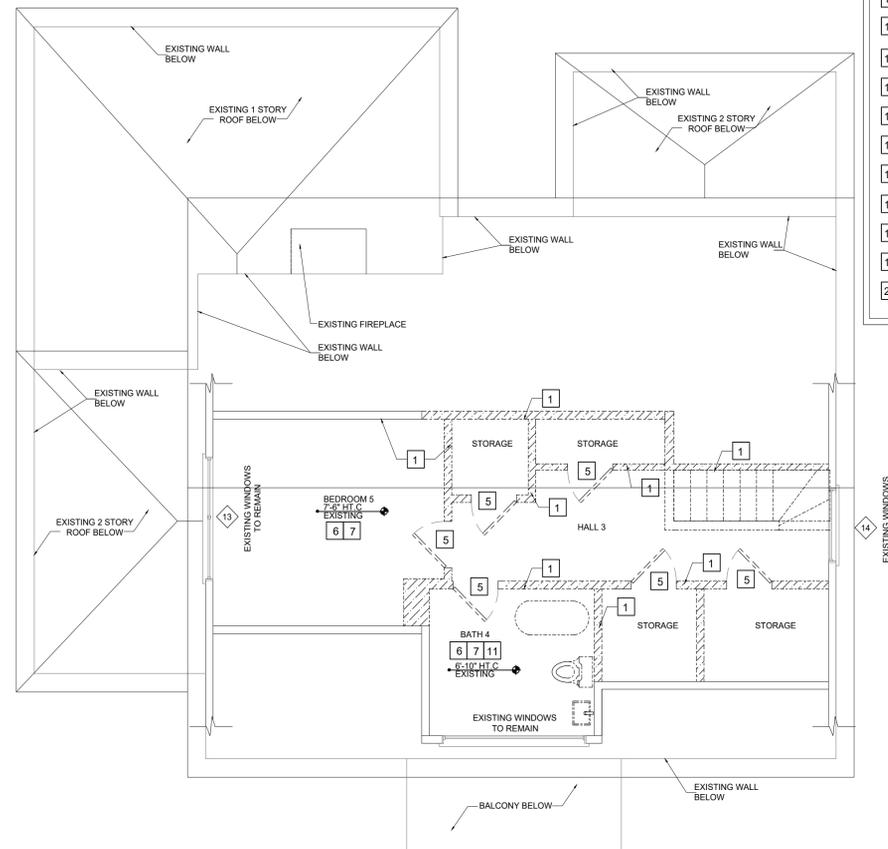
- WINDOW
- GLASS BLOCK
- DOOR
- STAIRS
- STOVE
- SINK
- FRIDGE
- WC
- LAV
- TUB
- FURNACE
- FLOOR DRAIN
- WATER HEATER
- GAS METER
- ELECTRICAL METER
- WOOD POST
- STEEL POST
- BEAM

DEMOLITION KEYNOTES

1. REMOVE EXIST. PARTITIONS TOP TO BOTTOM
2. REMOVE EXIST. MASONRY WALL TOP TO BOTTOM
3. REMOVE EXIST. BRICK FRAME WALL TOP TO BOTTOM
4. REMOVE EXIST. CABINETS
REMOVE EXIST. COUNTERTOPS
5. REMOVE EXIST. DOOR
6. REMOVE EXIST. CEILING FINISHES & LIGHT FIXTURES
7. REMOVE EXIST. FLOOR FINISHES. REPAIR SUB-FLOOR AS REQUIRED
8. REMOVE EXIST. DOOR. PROVIDE NEW WINDOW PER NEW LAYOUT
9. REMOVE EXIST. DOOR. INFILL THE OPENING TO MATCH EXISTING CONDITION. PER NEW LAYOUT
10. REMOVE EXIST. WINDOW. INFILL THE OPENING TO MATCH EXISTING CONDITION. PER NEW LAYOUT
11. REMOVE EXIST. PLUMBING FIXTURES & PIPING. SUPPLY BRANCH & RISER, WASTE BRANCH, STACK & VENT
12. REMOVE EXISTING WOOD STAIRS PREPARE FOR NEW STAIRS PER NEW LAYOUT
13. EXISTING WOOD PORCH TO REMAIN. REPAIR AS NEEDED
14. REPLACE EXIST FURNACE AND ASSOCIATED DUCTWORK
15. REMOVE AND REPLACE WATER HEATER AND ASSOCIATED DUCTWORK
16. REPLACE EXIST ELECTRICAL PANEL
17. REMOVE EXISTING WOOD BEAM AND COLUMNS IN ITS ENTIRETY. REPLACE WITH NEW BEAM PER NEW STRUCTURAL LAYOUT
18. REMOVE EXISTING WOOD DECK IN ITS ENTIRETY CUT EXISTING FOOTING AND PREPARE FOR NEW UNDERPIN FOOTING. NEW UNDERPIN TO BE INSTALLED IN SECTIONS SEE PROPOSED FLOOR PLANS FOR DETAILS



SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



ATTIC DEMOLITION PLAN
SCALE: 1/4"=1'-0"



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LANDSCAPE DESIGN

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LICENSE NO. 091-916623
LICENSE EXPIRATION: 11-30-2025
DESIGN FIRM EXPIRATION: 11-30-2025

706 FOREST AVE,
EVANSTON, IL 60202

DEMOLITION PLANS,
NOTES, LEGEND &
KEYS

PROJECT:
706 FOREST AVE,
EVANSTON, IL 60202
SCALE:
1/4"=1'-0"
DATE:
06-20-2025

SHEET:

D2.0

PAGE: 3

PLAN NOTES

1. ALL FINISH MATERIALS/COLORS TO BE SELECTED BY OWNER
2. ALL INTERIOR FINISHES SHALL BE OF CLASS C CLASSIFICATION AS PER 14B-8-803.13 OF CHICAGO BUILDING CODE
3. INTERIOR PLAN DIMENSIONS ARE FROM FACE OF DRYWALL
4. EXTERIOR PLAN DIMENSIONS ARE FROM FOUNDATION EDGE. ALL UPPER FLOORS ARE TO THE FACE OF SHEATHING OR MASONRY (IF USED)
5. ALL STAIR DIMENSIONS ARE TO THE FACE OF THE RISER (VERTICAL PLANE)
6. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD
7. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. - DO NOT SCALE DRAWINGS
8. ALL MATERIALS & EQUIPMENT MUST BE INSTALLED IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS
9. SHOWER HINGED DOORS MUST OPEN OUTWARDS. HINGED SHOWER DOORS THAT SWING INWARD ONLY ARE NOT PERMITTED
10. MILLWORK SHALL BE AS SELECTED BY OWNER & DESIGNED BY MILLWORK FABRICATOR
11. KITCHENS SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FEET BETWEEN COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS
12. BEDROOMS SHALL HAVE A NET FLOOR AREA OF NOT LESS THAN 70 SQUARE FEET
13. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.

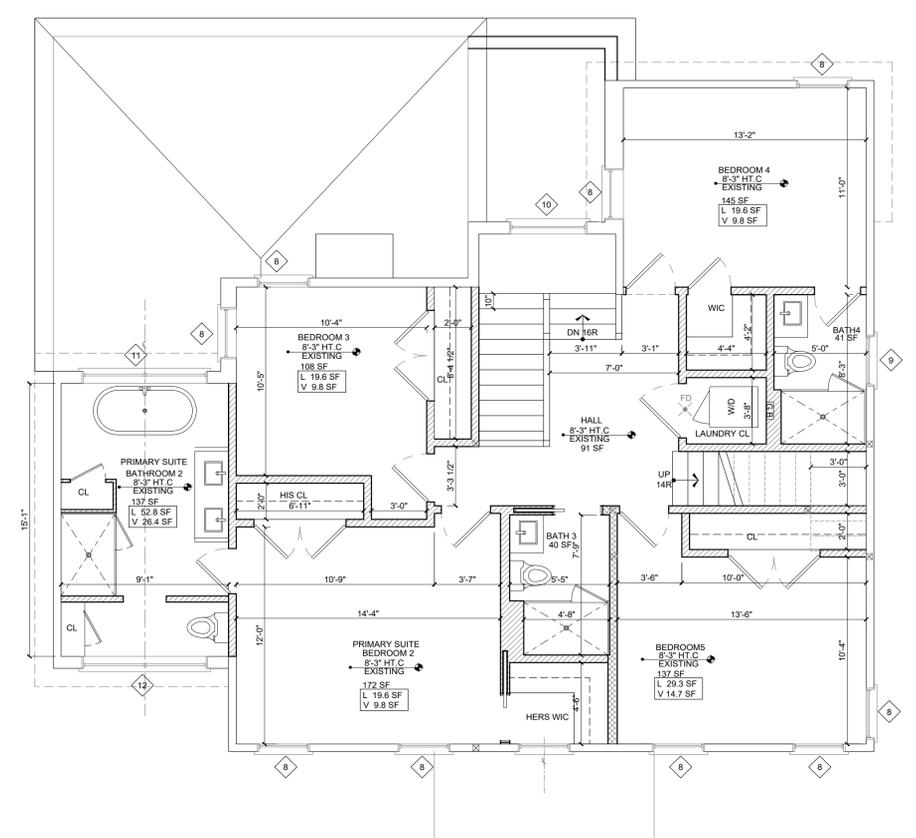
NOTE

1. OPENINGS IN WALLS OR FLOORS AROUND THE DRAIN AND/OR WATER LINES MUST BE SEALED.
2. NEW WALL WHICH CONTAINS ANY PLUMBING OR MECHANICAL PIPING, AND/OR DUCTWORK MUST HAVE A MINIMUM DEPTH OF THE STRUCTURAL MEMBERS OF FIVE AND ONE-HALF INCHES (5 1/2"), DIMENSION BETWEEN THE EDGE OF STUD AND THE EDGE OF DRILLED HOLE SHALL BE A MINIMUM BE 8/16 INCH
3. WHERE EXISTING EXTERIOR WALLS ARE STRIPPED DOWN TO THE EXISTING STUDS, OR WHERE ANY EXTERIOR WALL STUD CAVITY IS EXPOSED, THE STUD CAVITIES MUST BE COMPLETELY FILLED WITH INSULATION.
4. REINFORCEMENT SUPPORT WHERE PROVIDED IN SLAB-ON-GROUND, REINFORCEMENT SHALL BE SUPPORTED TO REMAIN IN PLACE FROM THE CENTER TO UPPER ONE-THIRD OF THE SLAB FOR THE DURATION OF THE CONCRETE PLACEMENT. IRC R508.2.4.

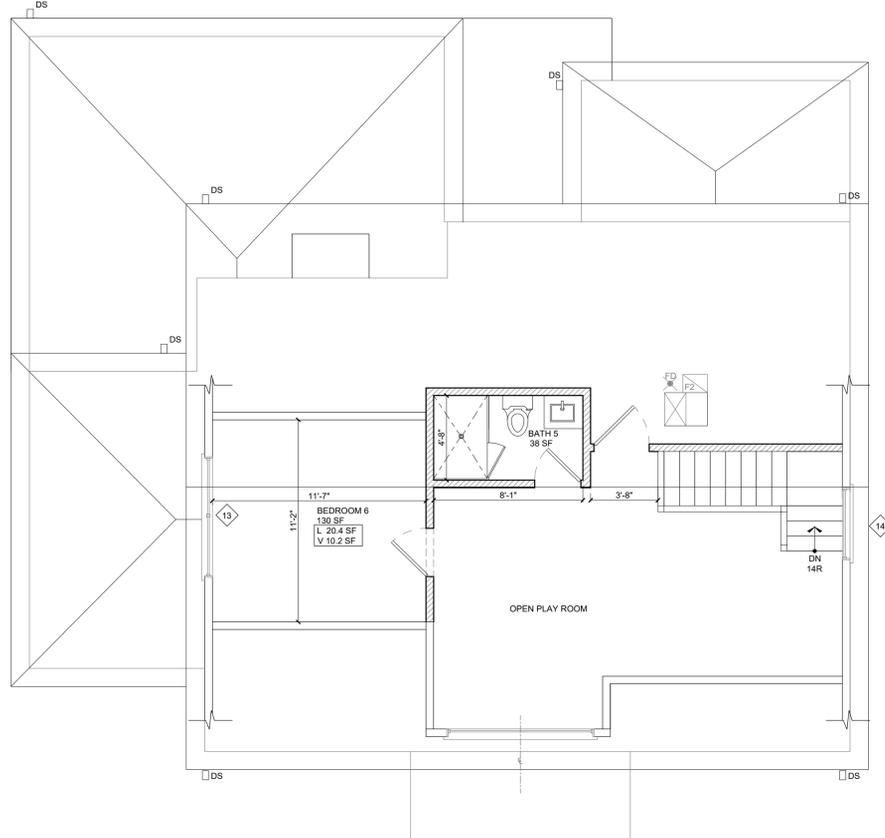
WALL LEGEND	
	EXISTING WALL
	NEW FRAME WALL
	BEARING WALL
	NEW MASONRY INFILL
	NEW CONCRETE FOUNDATION WALL

DRAWING SYMBOLS

- DOOR TYPE -SEE SCHEDULE
- WALL PARTITION
- WINDOW TYPE -SEE SCHEDULE
- N.I.C. NOT IN CONTRACT
- EXG EXISTING
- WOOD POST
- STEEL POST, SEE PLAN FOR SIZE
- DOOR
- STEEL POST
- BEAM
- GAS METER
- ELECTRICAL METER
- FROST PREVENTIVE HOSE BIBB
- FLOOR DRAIN
- WATER HEATER
- EJECTOR PUMP
- DOWNSPOUT
- ELEVATION MARKER
DETAIL #/ SHEET #



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



ATTIC FLOOR PLAN
SCALE: 1/4"=1'-0"



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706 FOREST AVE,
EVANSTON, IL 60202

**PROPOSED PLANS,
NOTES, LEGEND**

PROJECT:
**706 FOREST AVE,
EVANSTON, IL 60202**
SCALE: 1/4"=1'-0"
DATE:
06-20-2025
SHEET:

A1.1

PAGE: 5

FRONT ELEVATION



EXISTING ROOF
WILL REMAIN
NEW ROOF WILL MATCH
EXISTING

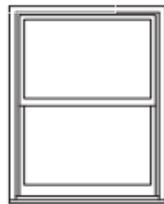
EXISTING FRONT DOOR
WILL REMAIN

EXISTING WINDOW'S AND
DOOR'S TRIM COLOR
WILL BE PRESERVED

EXISTING FRONT
PRORCH TO REMAIN

EXISTING STUCCO
COLOR WILL REMAIN

MARVIN
WINDOWS
STONE WHITE
W 4'-0"x5'-0"



UWDH4026 E

Ultimate Double Hung Insert G2 Window

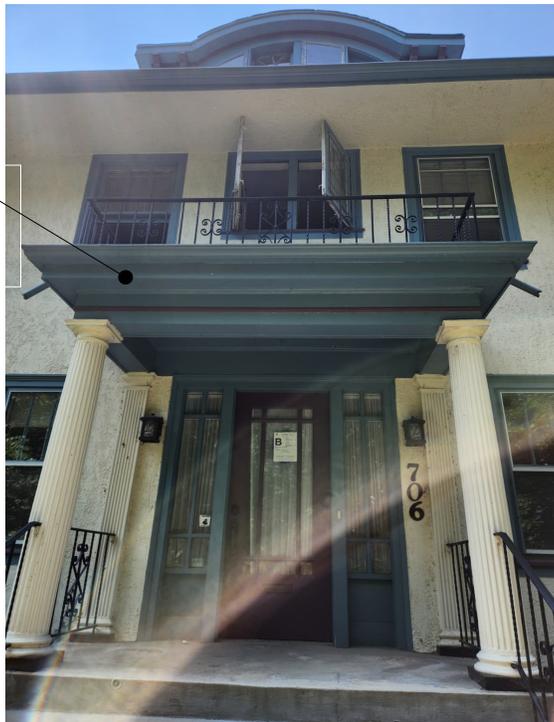


FRONT ELEVATION



ALL EXISTING WINDOWS TO
REMAIN, REPAIR AS NEEDED

EXISTING FRONT PORCH TO
REMAIN, REPAIR AS NEEDED



FRONT ELEVATION DETAILS



EXISTING WINDOWS TO
REMAIN, REPAIR AS
NEEDED

EXISTING
BALUSTRATEDS TO
REMAIN

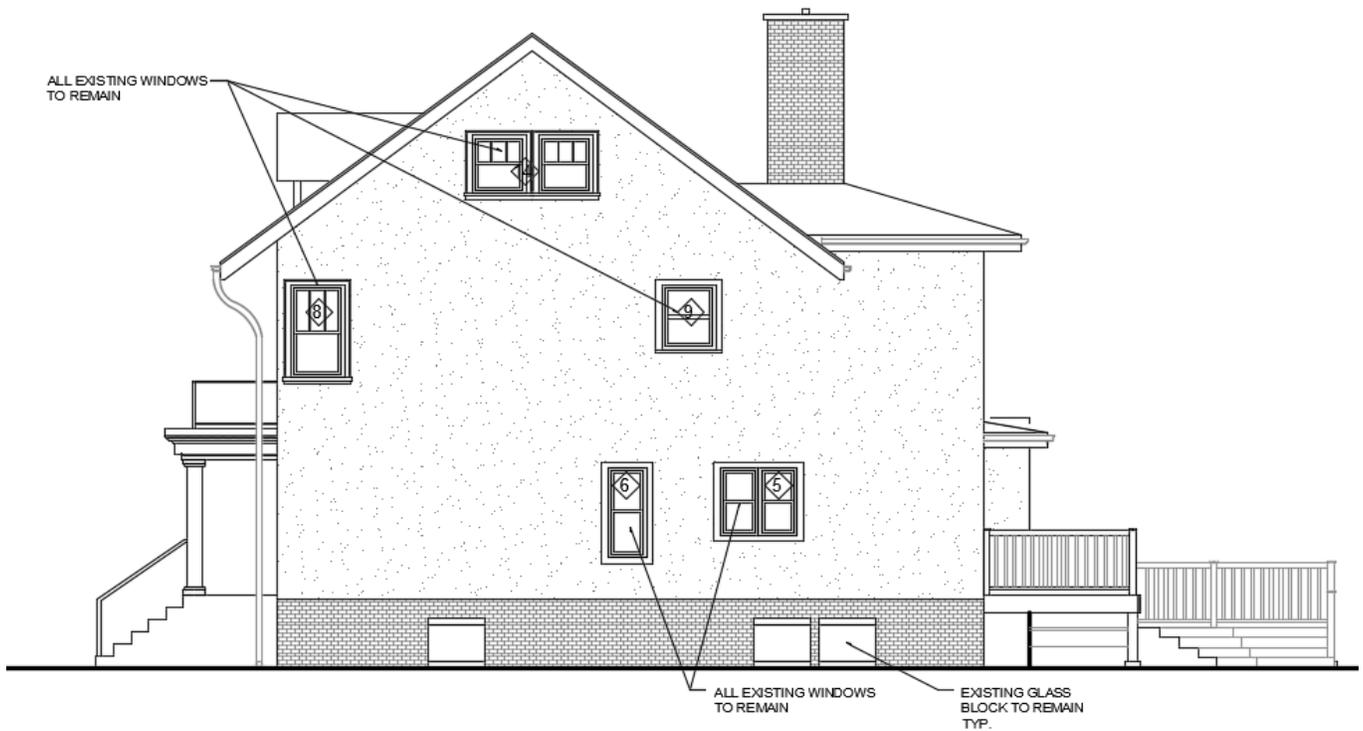


EXISTING GUTTER
STYLE AND COLOR
TO REMAIN
NEW GUTTER WILL
MATCH EXISTING

NORTH ELEVATION

ALL EXISTING WINDOWS TO REMAIN, REPAIR AS NEEDED TYP.

ALL EXISTING GLASS BLOCK TO REMAIN, REPAIR AS NEEDED TYP.



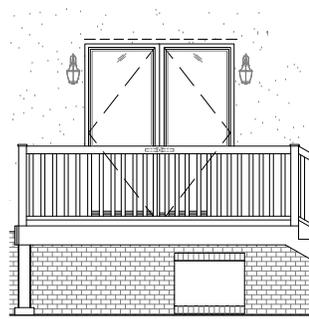
BACK ELEVATIONBAC

EXISTING WINDOWS TO REMAIN,
REPAIR AS NEEDED
TYP.

EXISTING WINDOWS TO BE
REMOVED

EXISTING PATIO DOOR WILL BE
RELOCATED TO CENTER ON
THE KITCHEN

EXISTING DECK WILL BE
REMOVED



EXISTING WINDOW TO REMAIN

LOCATION OF NEW MUD ROOM

EXISTING DOORS AND WINDOW
TO BE REMOVED PER NEW
LAYOUT



FAMILY ROOM

REMOVE EXISTING WINDOWS
IN FAMILY ROOM
REPLACE WITH 2 NEW
WINDOWS SEE ELEVATIONS



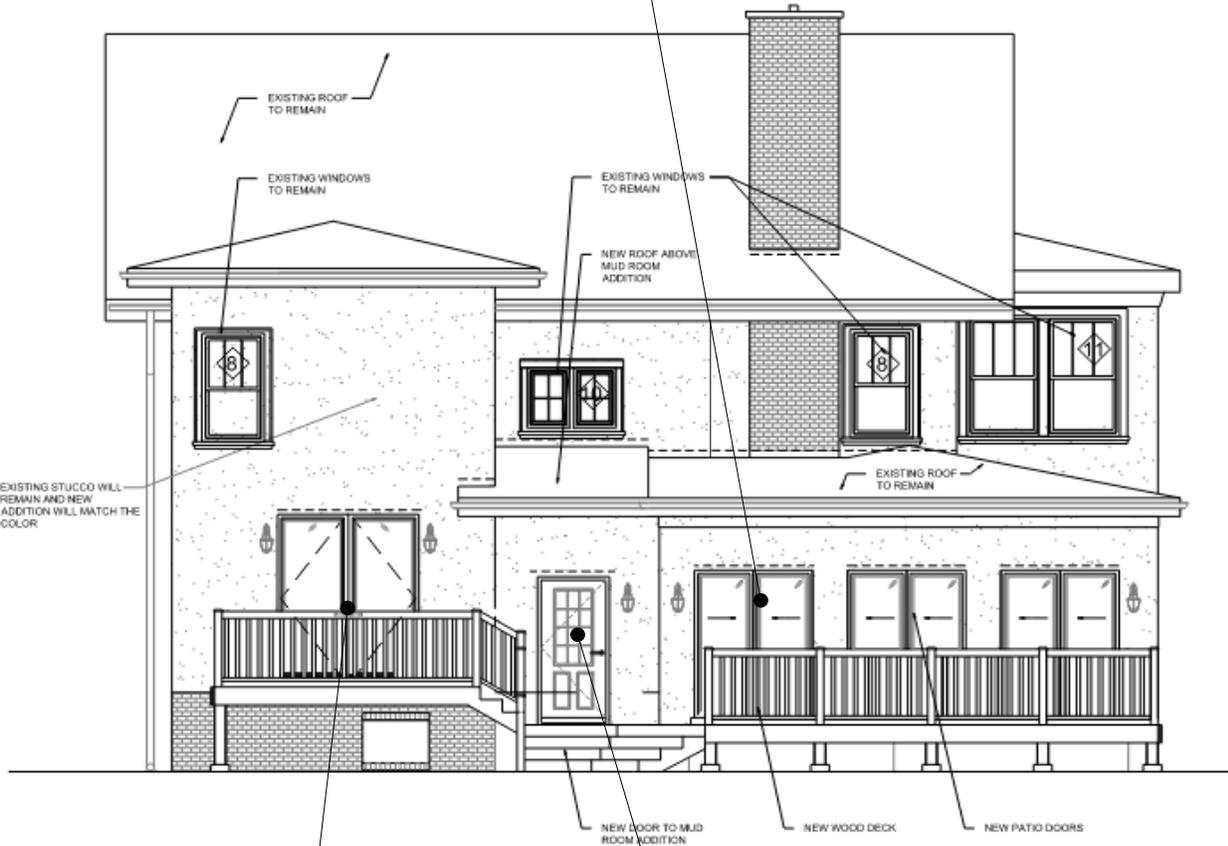
REMOVE EXISTING WINDOWS
IN FAMILY ROOM
REPLACE WITH 2 NEW
WINDOWS SEE ELEVATIONS

REMOVE EXISTING WINDOWS
IN FAMILY ROOM
REPLACE WITH NEW PATIO
DOORS



BACK ELEVATION BAC

REMOVE WINDOWS IN FAMILY ROOM AND REPLACE WITH NEW PATIO DOORS

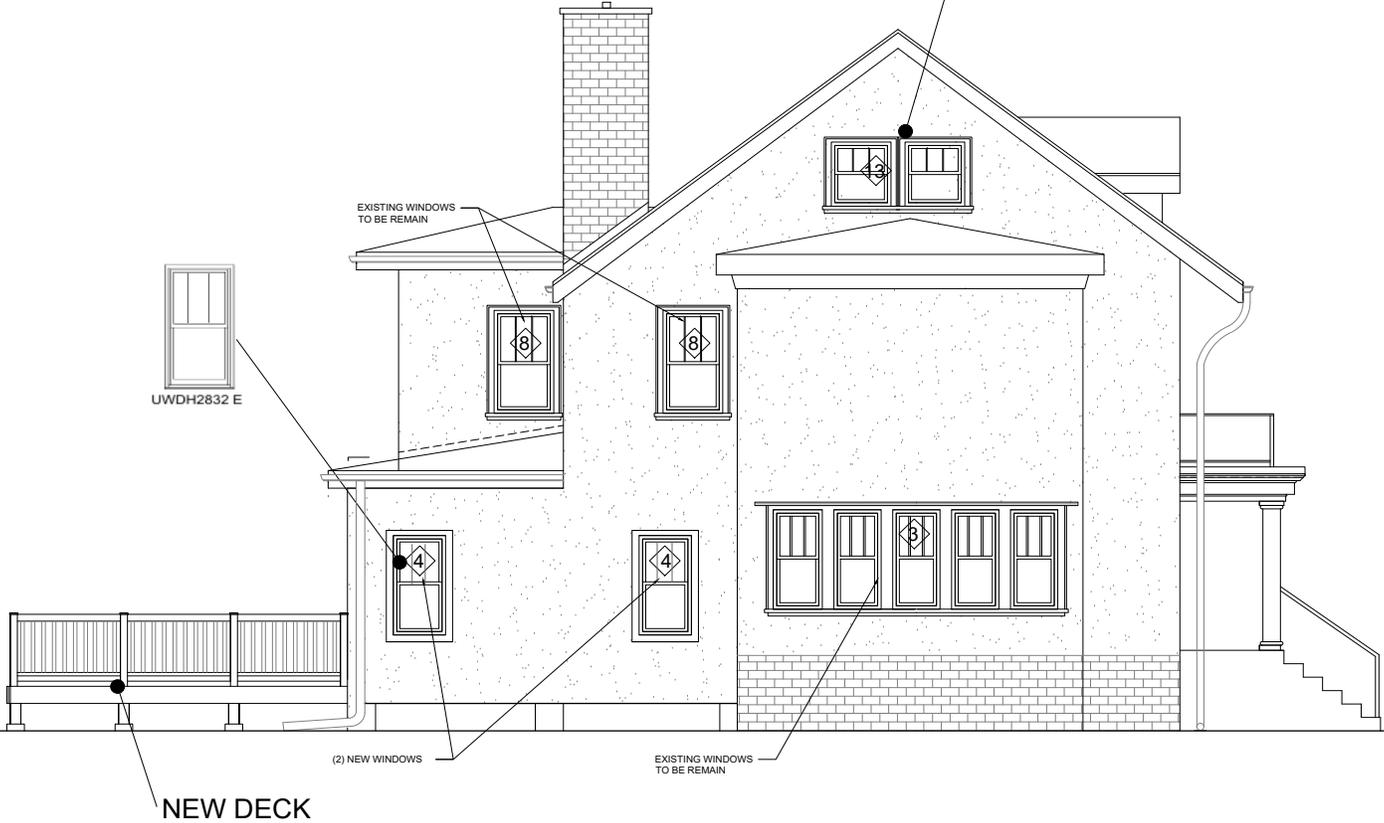


EXISTING PATIO DOOR WILL BE RELOCATED TO CENTER ON THE KITCHEN

JELD-WEN
36 in. x 80 in. 12 Lite Door

SOUTH ELEVATION

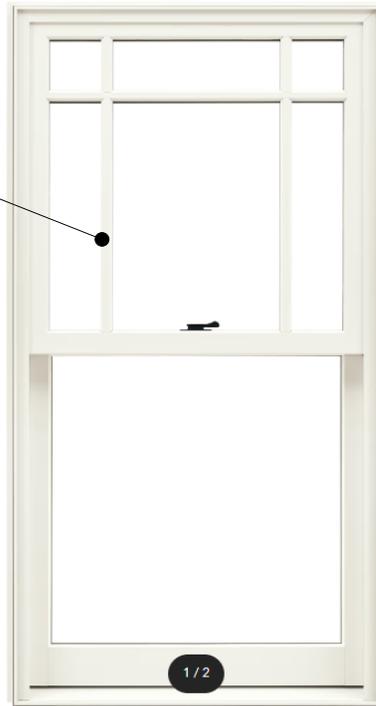
WINDOW IN THE ATTIC TO REMAIN



NEW WINDOWS IN FAMILY ROOM

Ultimate Double Hung Insert G2 Window

Marvin Windows
Top Sash Match Existing
Windows
Top Sash Cottage



Stone White
W 3'-0" x H 5'-10"

The Ultimate Double Hung Insert G2 window fits into your existing window opening without disrupting interior and exterior trim. Customize your design with single hung operation with optional bottom rail locking mechanism for easy operation.

Material
Extruded Aluminum Exterior | Wood Interior

Exterior Color
19 Color Options + Custom

Interior Color
6 Wood Options + Custom | 2 Paint Options + Prime | 6 Stain Options + Clear Coat

Sizing
Fits Openings up to 4.5' Wide by 8' High

NEW PATIO DOORS

MP Doors
60 in. x 80 in. Smooth White Right-Hand Composite Sliding Patio Door



Specifications

Dimensions

Actual Door Height (in.)	79.5 in
Actual Door Thickness (in.)	1.75
Actual Door Width (in.)	59.25 in
Door Height (in.)	80 in
Door Thickness (in.)	1.75 in
Door Width (in.)	60 in
Nominal Door Height (in.)	80 in
Nominal Door Thickness (in.)	2 in
Nominal Door Width (in.)	60 in
Rough Opening Height (in.)	80 in
Rough Opening Width (in.)	60 in

Product Details



About This Product

Make a smart addition to your home with the MasterPiece Series Gliding Patio Door by MP Doors. The full composite door system is 100% waterproof and resists rotting, warping, splitting, delaminating, denting and rusting. This gliding door includes durable adjustable stainless steel rollers and track for smooth operation. Loaded with energy efficient features, this gliding door also includes a stylish satin-nickel handle with keyed lock and an auxiliary flush bolt. Featured with a smooth white interior and exterior finish, this low maintenance door is engineered to withstand a lifetime of use and offers peace of mind that your door will remain beautiful for years to come.

Highlights

- Lifetime Warranty
- Frame made of 100% Composite waterproof material, will never rot
- Sturdy 1-3/4 in. thick full composite door panels withstand harsh weather conditions
- Door call size: 60 in. x 80 in. Actual unit dimension: 59-1/4 in. x 79-1/2 in.
- Flush glazed door for added architectural appeal and easy maintenance
- Will not rust like metal doors, will not rot like wood doors and frames
- Factory assembled door system for a precise fit and easy installation
- Tempered, high-performance LowE glass with Argon
- Included handle with keyed lock and flush-bolt auxiliary lock for security and ventilation
- Included adjustable stainless-steel rollers and track for easy opening and closing
- Paintable smooth interior and exterior surface
- Energy Star qualified everywhere in the United States, helps keep your home cool in the summer and warm in the winter
- Insulating CFC-free polyurethane foam core and included weather stripping for added energy efficiency
- Patented water-resistant draining system
- Screens sold separately
- Right Hand Sliding Patio Door - from the exterior of the home, the panel on the right slides towards the left side of the door
- [Click here to learn more about Eco Options and Energy Efficiency](#)
- [Return Policy](#)

NEW DOORS FROM MUD ROOM

JELD-WEN

36 in. x 80 in. 12 Lite Primed Steel Prehung Right-Hand Outswing Front Door



Common Door Size (WxH) in.: 36 x 80

36 x 80

Door Handing: Right-Hand/Outswing

Right-Hand/Outswing



About This Product

JELD-WEN Premium Steel doors offer reliable strength, durability and easy maintenance to complement your home's style. Their high-definition panels create an upscale look that adds architectural interest for increased curb appeal. The strong and secure steel doors are designed to prevent water absorption and resist rust to enhance your home for many years.

Highlights

Strong and 24-Gauge secure steel with high definition panels for a high-end look

Energy-efficient core to help lower heating and cooling costs

Polystyrene core provides long-lasting insulation

Galvanized steel resists rust and corrosion

Insulated glass helps keep your home warmer in the winter and cooler in the summer

Grids are adhered to interior and exterior of glass to provide an authentic divided lite appearance that adds charm to any home

Grids are white on both interior and exterior of door

2-Coats of neutral, low-sheen, baked-on enamel primer enables easier finishing

Primed doors give you the design flexibility to choose any finish color

Door is prehung in frame for easier installation

Predrilled double bore hole for lock installation (lock sold separately)

From the outside, door opens towards outside of the home with hinges on the left

Easy to care for and designed to prevent water absorption and resist rust

Reinforced lock area provides strength and security for door hardware

Check local building codes before beginning your project to ensure compliancy

Not all products are suitable for locations that experience severe weather

[Click here to check out our project guide on installing an entry door](#)

Specifications

Dimensions

Door Height (in.)	81.75 in
Door Thickness (in.)	1.75 in
Door Width (in.)	37.438 in
Jamb Size (in.)	4-9/16"
Nominal Door Height (in.)	80 in
Nominal Door Thickness (in.)	2 in
Nominal Door Width (in.)	36 in
Rough Opening Height (in.)	81.75 in
Rough Opening Width (in.)	38.75 in

Details

Bore Type	Double Bore
Color Family	Off White
Color/Finish	Primed
Door Configuration	Single Door
Door Glass Insulation	Dual Pane, Tempered
Door Handing	Right-Hand/Outswing
Door Style	Farmhouse
Door Type	Exterior Prehung
Features	Glass Panel, Lockset Bore (Double Bore), Weatherstripping
Finish Type	Primed
Frame Material	Wood
Glass Caming Finish	No caming
Glass Layout	3/4 Lite
Glass Shape	Rectangle Lite
Glass Style	Clear Glass
Hinge Finish	Nickel
Hinge Type	Standard
Included	Instructions
Material	Steel
Number of Hinges	3
Number of Lites	1 Lite
Panel Type	2 Panel
Product Weight (lb.)	95 lb
Returnable	90-Day
Suggested Application	Front

NEW DECK

ProWood
6 ft. Pressure-Treated Cedar-Tone Wood Moulded Handrail





We sweat the details.

Selecting ProWood means you are working with products that have been manufactured with the same level of care and attention to detail that you bring to your own work.



For everyday life.

ProWood's products are easy to use and can withstand the harsh weather conditions and the everyday wear and tear of life.



Build memories.

Your projects will stand the test of time and become spaces to connect with the outdoors, ourselves, and our loved ones.



Pressure-Treated Lumber

We offer a range of specialized treatment options to meet the needs of any building project. Backed by industry-leading innovation, ProWood offers long-lasting, reliable performance.



Decking and Railing

With our selection of preassembled railings and individual railing components and accessories, you'll find a solution to match your new or existing deck options to meet the needs of any building project.



Fence, Lawn & Garden

We offer a variety of products, including mailbox posts, stakes, picnic tables, fencing and more, that is built for performance and designed to last.



Building Materials

From plywood to short boards, ProWood has the building materials you need. With a wide offering of treatment and lumber options, you will find quality materials that match your quality of work.

About This Product

Beautify your outdoor stairs with a classic cedar-toned wood handrail. Install the durable, pressure-treated handrail on any outdoor stairways, such as on decks, porches and play sets. No staining required - a penetrating cedar-tone stain warms the handrail with beautiful color that outlasts surface-applied stains. Backed by a 2-year color warranty. This handrail has also been treated with MCA (micronized copper azoles) to withstand the elements for years, includes a lifetime limited warranty against rot and termites.

Highlights

- Dimensions: 2 in. x 4 in. x 6 ft.
- Manufactured from southern yellow pine, a renewable resource, for an environmentally friendly choice
- Color infused with cedar-tone colorant
- Molded profile for a unique look, easy to cut and install
- Use for decks, docks, ramps and other outdoor projects where lumber is exposed to the elements
- Pressure treated with water repellent for above ground use
- Lifetime limited residential warranty and 2-year color limited warranty



3 WOOD STAIN CLEAR TINT



4 TREATED WOOD

Specifications

Dimensions: H 2 in, W 4 in, D 72 in

Dimensions

Product Depth (in.)	72 in
Product Height (in.)	2 in
Product Length (in.)	72 in
Product Width (in.)	4 in

Details

Chemical retention (lb./cu. ft.)	2.3 lb/ft3
Color Family	Wood
Color/Finish	Cedar
Fastener recommendation	Screws
Features	Paintable, Stainable
Includes	No Additional Items Included
Interior/Exterior	Exterior
Material	Wood
Pressure Treatment Chemical	MCA - Micronized Copper Azole
Product Weight (lb.)	5.85 lb
Returnable	90-Day
Stair Part Type	Accessory

NEW EXTERIOR LIGHTS



Modern Country Outdoor Sconce

SKU: OL20093 BK

\$83.00

Color: Black / Gold



Actual Size: 9"Hx9"Wx13.25"D

• In stock and ready to ship

Specifications

Actual Size: 9"Hx9"Wx13.25"D

Backplate/Canopy Size: 4.72"Hx4.72"W Round

Bulb Base: US Medium-E26

Bulb Included: No

Color: Black / Gold

Collection: Modern Country

Dark Sky: Yes

Dimmable: Yes

Indoor Outdoor: Yes

Limited Warranty: 1 Year

Material: Steel

Max Bulb Wattage: 60

Number Of Lights: 1

Safety Rating: ETL Wet

Weight: 1.87

BEGINNING STREET #
 END STREET #
 STREET # SUFFIX
 STREET NAME
 SUFFIX
 PIN

LOCAL

WITHIN LOCAL DISTRICT?
 LOCAL DISTRICT CONTRIB/NON-CONTRIB?
 LOCAL LANDMARK? YEAR
 LOCAL LANDMARK ELIGIBLE?
 CRITERIA:



PHOTO ID

NATIONAL REGISTER

WITHIN NR DISTRICT?
 NR DISTRICT CONTRIB/NON-CONTRIB?
 NR LANDMARK? YEAR
 NR ELIGIBLE? CRITERIA

PREVIOUSLY SURVEYED?

GENERAL INFORMATION

CATEGORY CURRENT USE
 CONDITION HISTORIC USE
 INTEGRITY SECONDARY STRUCTURE
 NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Colonial Revival"/>	ROOF TYPE	<input type="text" value="Side gable"/>
DETAILS	<input type="text" value="Craftsman"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1919"/>	FOUNDATION	<input type="text" value="Concrete"/>
OTHER YEAR	<input type="text" value="-"/>	PORCH	<input type="text" value="Front entry"/>
DATESOURCE	<input type="text" value="Building permit"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Stucco"/>	WINDOW MATERIAL 2	<input type="text" value="Leaded glass/glass block"/>
WALL MATERIAL 2 (current)	<input type="text" value="Wood"/>	WINDOW TYPE	<input type="text" value="Double hung/casement"/>
PLAN	<input type="text" value="Rectangular"/>	WINDOW CONFIGURATION	<input type="text" value="1/1; 3/1; multi-light"/>
NO OF STORIES	<input type="text" value="2.5"/>		

SIGNIFICANCE This 1910s stucco house combines the symmetry of the Colonial Revival style with Craftsman elements. Of particular interest are the segmental arch dormer with flanged ends centered along roofline of the façade, and leaded glass window with tulip motif.

HISTORIC FEATURES Overhanging eaves; segmental arch dormer w/ flanged ends & multi-light casement windows; glazed wood front door w/ sidelights; front entry porch w/ fluted columns/pilasters; 3/1 wood windows; leaded glass windows with tulip motif on façade

ADDRESS

706	-	FOREST	AVENUE
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ALTERATIONS

2-story rear addition; 1-story rear porch addition (1935); glass block in basement windows; replacement stairs and railings on front porch (2010)

HISTORIC INFORMATION

OLD ADDRESS
(city dir.year)

-

ORIGINAL OWNER

Johnson, C W

BUILDING MOVED?

No

ORIGINAL ARCHITECT

"owner" (Johnson, C W)

MOVED FROM

-

ARCHITECT SOURCE

BP7914

BUILDER

Johnson, C W

ADDITIONAL PHOTOGRAPHS



PHOTO ID2 \Images\11-19-409-027-0000-2.jpg



PHOTO ID3 -

SURVEYOR

Lara Ramsey

SURVEYOR ORGANIZATION

GRANACKI HISTORIC CONSULTANTS

SURVEY DATE

3/21/2011

Historic Info Compiler

aoe

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

706 — - FOREST AVENUE

OLD ADDRESS
(city dir.year)

-

DATE OF CONSTRUCTION 1919

MOVING INFORMATION

BUILDING MOVED? No

MOVING PERMIT # -

DATE -

MOVED FROM -

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # 7914

DATE 1919.06.04

BUILDING PERMIT DESCRIPTION

2-story frame & stucco residence 35x32x26

COST \$10,000

ORIGINAL OWNER Johnson, C W

ORIGINAL OWNER OCCUPIED? -

ORIGINAL ARCHITECT

"owner" (Johnson, C W)

ARCHITECT SOURC BP7914

BUILDER Johnson, C W

EXTERIOR ALTERATION PERMITS

BP21104 1935.04.17 new enclosed rear porch
\$2000 owner/archt Dr D Shayne 706 Forest

OTHER PERMIT INFO

BP8185 1920.03.18 stucco garage owner/archt/carp C W Johnson

COA INFO

Remove existing window and door on the west elevation of kitchen area and install new window on existing door location and install new French door on existing window location. SEE CONTINUATION SHEET

HISTORIC INFO

-

OTHER SOURCES

ELHD # n/a. Baird & Warner real estate photo 1966; & Cyrus r.e. photo 1979 (both EHC).

HISTORIC INFO COMPILER aoe

PRIMARY KEY 11-19-409-027-0000

City of EVANSTON
LAKESHORE HISTORIC DISTRICT RE-SURVEY
CONTINUATION SHEET

STREET # 706

STREET FOREST AVENUE

ADDITIONAL PHOTOS OR INFORMATION

COA Information

- Remove existing window and door on the west elevation of kitchen area and install new window on existing door location and install new French door on existing window location. New material is all wood interior and exterior. (2006)
- Remove concrete stairs and landing and wrought iron railings from front entry. Replace with new concrete stairs and landing and reinstall wrought iron railing to closely match pre-existing stairs and railing. (2010)



MEETING MINUTES

PRESERVATION COMMISSION

Tuesday, July 15, 2025

7:00 P.M. North Conference Room #332A, Floor 3, 909 Davis Street

Members Present: Carl Klein, Thomas Ahleman, Sarah M. Dreller,
John Jacobs, Matthew Johnson, Stuart Cohen, Beth Bodan

Members Absent: Joshua Bowes-Carlson, Lesa Rizzolo, Charles Smith

Staff Present: Erin Baynes

Presiding Member: Carl Klein, Chair

Minutes Taken by: Erin Baynes

CALL TO ORDER/DECLARATION OF A QUORUM

PUBLIC COMMENT

Members of the public are afforded three minutes per person to provide testimony related to items listed under discussion, review and comment, staff reports, or to otherwise address the Commission generally. Members of the public wishing to provide testimony on new or unfinished business shall be given the opportunity to do so following presentation by the applicant in a manner and under time limits determined by the Chair.

NEW BUSINESS

25PRES-0047 - 2819 Colfax Street - Landmark

Charles Neuhaus (Hanson Roofing), applicant on behalf of the property owner, submits for a certificate of appropriateness to alter the structures roofing material from a Hawthorne concrete tile, to asphalt shingle.

Applicable Standards: Alteration [1-6 and 10]; and Construction [7]

- Applicant presented the case for the replacement tile on the basis of lifecycle and feasible cost for the property owner.
- Maintaining and spot replacing the existing tiles is not feasible as they are deteriorating quickly and are well beyond their initial 75 year lifecycle. Cost of ongoing maintenance exceeds replacement.
- Replacement in-kind is possible but not cost effective for the owners who are on a fixed income. Roof is not considered a character-defining feature of the home. They were a cost-conscious decision over 100 years ago and a similar decision is being made today.
- Commissioner Bodan questioned the longevity of the finish on the replacement concrete tiles and its effect on the tile's ability to dispel water and weather.
- The applicant stated that they have serviced the existing roof multiple times and the process of replacing tiles with new concrete tiles causes significant damage to the roof each time that has to be subsequently repaired.
- Asphalt shingles would cost around \$20k with the replacement tiles at twice the price, with little visual impact on the homes integrity.
- The applicant also suspects that removal of the existing tiles would reveal rot in the roof decking.
- Commissioner Jacobs inquired about the prior patchwork tile replacement on the roof.

Chair Klein closes the hearing.

Motion to deliberate by Commissioner Dreler. Second by Commissioner Cohen

Deliberation:

- Commissioner Cohen stated that the preference is to have roof replacement match the original in visual qualities.
- Chair Klein stated that the textural qualities of the concrete tile and the proposed premium asphalt shingle were likely similar considering the projection of the roof.
- Commissioner Cohen agreed that the roof pitch is fairly shallow. Cooling materials and color will be important on the roof to reflect sunlight and solar gain.
- Commissioner Jacobs asked staff if the home is this in a historic district or is it an individual landmark?
- Staff responded that the structure is a landmark but is not located within a historic district.
- Commissioner Johnson stated that he prefers replacement in-kind but understands that the cost is prohibitive and in terms of the homes architectural integrity, the roof is not as significant of a character-defining feature and it can likely absorb change.
- Commissioner Dreler agreed and stated that the pattern and visual qualities between the two is similar enough in this particular instance.

A motion to approve was made by Commissioner Dreller and seconded by Commissioner Johnson. The motion carried 7-0 on a roll-call vote.

25PRES-0083 - 820 Sheridan Road - Lakeshore Historic District

Garry Shumaker, Shumaker Design Associates, architect and applicant on behalf of the homeowner, submits for a Certificate of Appropriateness to demolish a non-original single-story masonry addition and deck at the homes rear volume and construct a new two-story brick addition and limestone deck at the homes west, rear elevation.

Applicable Standards: Alteration [1-10]; and Construction [1-5, 7-13, and 15]

- Representative from Shumaker Design Associates presented the application and the inspiration for the proposed design vocabulary and built form.
- Commissioner Bodan asked about the south-facing windows and doors, and whether a railing was needed outside of the doors?.
- Commissioner Ahleman stated that it wasn't required per code
- Commissioner Jacobs asked what the inspiration was for the second floor balcony?
- The applicant stated that nothing particular informed the design but they wanted a product that takes paint and was sympathetic to the rest of the structures vocabulary and use of materials.
- Commission Cohen acknowledged the use of divided windows as opposed to undivided, but asked why the single panel windows are shorter.
- The applicant stated that the three panel window is not original, bricks were spliced to size and this was difficult to replicate.
- Chair Klein asked about the railing at the south elevation and asked if a rail was added, what would the applicant propose?
- The applicant stated that planter area below the windows is not walkable, they want to provide a transition in style at these doors but will make accommodations for a railing that is complimentary as necessary and if required.
- Commissioner Bodan asked if the french doors swing out?
- The applicant stated they were proposed to swing out.
- Commissioner Cohen stated that exterior doors usually swing inside, the hinges would need to be tamper-proof.

- The applicant stated that they were proposed to swing out as screen doors will be on the inside.
- Commissioner Jacobs asked what doors were being proposed?
- The applicant stated they were using the Marvin Ultimate Series and they would be clad wood.
- Commissioner Ahleman asked that more attention be paid to match the second and first floor windows.
- Chair Klein complimented the design approach.

The hearing was closed. A motion to deliberate was made by Commissioner Bodan and seconded by Commissioner Dreller.

Without further discussion, a motion to approve was made by Commissioner Jacobs and seconded by Commissioner Dreller. The motion carried on a roll call vote of 7-0.

25PRES-0082 - 1001 Ridge Court - Landmark - Ridge Historic District

Dwayne MacEwen, architect and homeowner, submits for a Certificate of Appropriateness to alter the original structures pattern of fenestration and construct a single-story addition to the structures attached garage at the north volume.

Applicable Standards: Alteration [1-10]; and Construction [1-5, 7-13, and 15]

- Dwayne MacEwen presented an overview of the project. They started with kitchen remodel and added an opening from the kitchen into the attached garage.
- The home has triple-wide brick walls. They will replace the small brick on the outside and can use interior brick from non-visible wythes for the new addition that's proposed. This will ensure the new addition matches the rest of the homes masonry.
- They wanted to keep proportions of windows, intention to do have a true twilight room for line of sight from kitchen and from the room itself into the side yard.
- The addition although in the side-yard, acts and functions as a rear addition facing out into a rear-yard. The home has no real rear yard.

- Commissioner Ahleman asked if the existing opening was done with a permit.
- The applicant stated that they moved all interior walls under an interior remodel permit that was approved and the work got ahead of the timing related to the added scope for the addition. The opening seen now was proposed to be windows and a door facing the exterior, but is now proposed as an opening on the interior between the attached garage and the addition to the garage.
- Chair Klein asked if they kept the brick from the new opening for reuse?
- The applicant stated that they did.
- Chair Klein asked if the railing on top of the addition will match the railing in the yard?
- The applicant stated that it would and that it was proposed to be setback from the parapet being bolted to the interior of the brick wall.
- Commissioner Jacobs asked if the proposed door within the masonry arch is a swinging door?
- The applicant stated it was and would be the same door style and material as the main entrance door on the front of the home.
- Commissioner Ahleman asked how the opening into the garage from the yard was approved and whether it was approved administratively?
- Staff responded that they would follow-up on this question.
- The Commission debated continuing the case to receive clarity on the approvals but determined not to.

The hearing was closed. A motion to deliberate was made by Commissioner Jacobs and seconded by Commissioner Bodan.

- Commissioner Bodan stated that the masonry works and the scale of the addition is sensitive, but the scale of the new windows and doors at the side elevation is a little overwhelming.
- Commissioner Cohen stated that the new opening jumps scale but is proportional.
- Commissioner Jacobs stated that the addition does not face the street and adding two walls and a roof to complete the addition is a minimal alteration. The national standard of wanting a new addition to be both authentic in expression and complimentary, to not look exactly like the older vocabulary of the home is effectively done.

- The second story window is being replaced at the original dormer to act as a door for the new terrace.
- Commissioner Dreler stated that this was a sympathetic approach effectively just extending the window and its profile down to the new terrace.
- Commissioner Cohen agreed that the overall proportions are almost the same.
- Commissioner Ahleman complimented the design. It is visible from the corner and creates a better transition from the home into the yard. The proportions fit the house.

A motion to approve was made by Commissioner Ahleman and seconded by Commissioner Jacobs. The motion carried on a roll call vote of 7-0.

APPROVAL OF MEETING MINUTES

Minutes of May 13, 2025

- Approved without amendment.

DISCUSSION

Preservation Commission 2024 Annual Report

The Commission shall review and discuss the draft annual report, making comments or suggestions for edits and additions, with an emphasis on providing a list of key considerations or concerns for the City Councils attention.

- It was requested that the report include that the Cultural Heritage Awards were initiated.
- A request to include an additional column to the table on page 85 with the heading "Working Group and other Meetings Attended"
- Commissioner Dreler asked that the word "organize" be replaced with the word "initiate" and that the word "identified" be replaced with "initiated" on Page 80 #2. Initiative 2.10: Organize a Preservation Consortium or Preservation Advisory Sub-Committee.
- The following are the concerns which the Commission agreed should be brought to the City Council's attention:

DRAFT

- Add preservation staff
- Underscore importance of training for Land Use Commission and elected officials
- Preservation Commission is a resource and not a barrier

ADJOURNMENT

The meeting adjourned at 8:48 pm

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