



# PRESERVATION COMMISSION

Tuesday February 9, 2021

7:00 P.M.

Via Virtual Meeting

## AGENDA

As the result of an executive order issued by Governor J.B. Pritzker suspending in-person attendance requirements for public meetings, Preservation Commissioners and City staff will be participating in this meeting remotely.

Due to public health concerns, residents will not be able to provide public comment in-person at this meeting. Those wishing to make public comments at the Preservation Commission meeting may submit written comments in advance or sign up to provide public comment by phone or video during the meeting by calling/texting 847-448-4311 or completing the Preservation Commissions online comment form available by clicking [here](#).

Community members may watch the Preservation Commission meeting online through the Zoom platform:

### Join Zoom Meeting

<https://zoom.us/j/94897380375?pwd=MmhzeW0vcFp3TnV6YlJoSnJ6eFI1UT09>

Meeting ID: 948 9738 0375

Passcode: 245941

Dial by your location: (312)626-6799

### 1. CALL TO ORDER / DECLARATION OF QUORUM

### 2. SUSPENSION OF THE RULES: Members participating electronically or by telephone

### 3. OLD BUSINESS

#### A. 1735 Asbury Avenue – RHD

**20PRES-0293**

Tom Rowland applies for a certificate of appropriateness – Main house scope: 1. structural enhancements of floor 1 & 2, floor joists to improve floor levelness. 2. Renovation of existing kitchen with new windows and doors. 3. Covered porch and open deck. Coach house scope: 1. Renovation of existing coach house (floor 1 & 2). Applicable standards: Alteration [1-10]; [Construction 1-5, 7, 8, and 10-15]; and Demolition [1-6]

*Agenda Items are subject to change. Direct questions to Cade W. Sterling, City Planner at [csterling@cityofevanston.org](mailto:csterling@cityofevanston.org)*

*The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact 847-448-4311 or 847-448-8064 (TTY) at least 48 hours in advance of the scheduled meeting so that accommodations can be made. La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847/866-2916 (voz) o 847/448-8052 (TDD).*

**B. 2009 Dodge Avenue - Landmark**

**20PRES-0317**

Juan Rosas, submits for a Certificate of Appropriateness to remove existing aluminum siding from the main house. Install new Hardie plank siding (4" exposure). Retain wood siding and shakes under the front gable. Replace existing roof asphalt shingles with asphalt shingles. Applicable standards: [Alteration 1-10]

**4. NEW BUSINESS**

**A. 1206 Hinman Avenue– LSHD**

**21PRES-0012**

Paul Lang, owner of record, applies for a Certificate Of Appropriateness for demolition, alteration, and construction. Specifically, the applicant proposes to demolish the existing enclosed front and side porch on the east and south volumes of the residence, construct an open roofed front-porch, and covered stair portico on the east volume of the residence, construct an addition and open side-porch on the south volume of the residence, and enlarge the open roofed porch at the rear volume of the residence. Additional alterations include window replacements and re-cladding the home in hardieboard lap siding. A previous application for Certificate of Appropriateness was denied and the applicant has since modified the proposal. Applicable standards: [Alteration 1-10]; Construction [1-8, and 10-15]; Demolition [1-5]

**B. 2243 Orrington Avenue – NEHD**

**21PRES-0011**

Jeanie Petrick, architect, applies for a Certificate of Appropriateness to demolish an existing detached, alley-accessible garage, and construct a two-story detached Accessory Dwelling Unit with first floor garage and second floor living space in the Northeast Historic District and R-1 Single-Family Residential Zoning District. The Preservation Commission is the determining body for this case. Applicable standards: [Construction 1-5, 7, 8, and 10-16]; and Demolition [1-6]

**5. APPROVAL OF MEETING MINUTES of January 12, 2021**

**6. ADJOURNMENT**

The next meeting of the Preservation Commission is scheduled for **March 9, 2021**.

*Agenda Items are subject to change. Direct questions to Cade W. Sterling, City Planner at [csterling@cityofevanston.org](mailto:csterling@cityofevanston.org)*

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1735 Asbury Avenue  
20PRES-0293

## Certificate of Appropriateness

Tom Rowland applies for a certificate of appropriateness – Main house scope: 1. structural enhancements of floor 1 & 2, floor joists to improve floor levelness. 2. Renovation of existing kitchen with new windows and doors. 3. Covered porch and open deck. Coach house scope: 1. Renovation of existing coach house (floor 1 & 2). Applicable standards: Alteration [1-10]; [Construction 1-5, 7, 8, and 10-15]; and Demolition [1-6]



# MEMORANDUM

To: Honorable Members of the Preservation Commission  
From: Cade W. Sterling, City Planner  
Subject: 1735 Asbury Avenue – 20PRES-0293  
Date: February 3, 2021

## Public Notice

Tom Rowland applies for a certificate of appropriateness – Main house scope: 1. structural enhancements of floor 1 & 2, floor joists to improve floor levelness. 2. Renovation of existing kitchen with new windows and doors. 3. Covered porch and open deck. Coach house scope: 1. Renovation of existing coach house (floor 1 & 2). Applicable standards: Alteration [1-10]; [Construction 1-5, 7, 8, and 10-15]; and Demolition [1-6]

**Note: The description has remained as noticed despite revisions to the proposal.**

## Architectural Significance

Located in the northcentral portion of the Ridge Historic District on the east side of Asbury Avenue between Lyons Street to the North and Church Street to the South, 1735 Asbury Avenue is a center-entry Dutch Colonial Revival styled home constructed in 1889. The property was designed by Beman & Parmentier, and commissioned by Harvey H. Reese. The property is a contributing structure in good condition and retains excellent integrity.

The property includes a large similarly styled and ornate barn at the rear of the property constructed in 1894 and designed by Stephen A. Jennings. Jennings was a prolific architect in both Evanston and later in Seattle Washington. He designed five additional Landmark homes in the Ridge Historic District. The property is listed in the National Register Nomination Form as being significant as the only home in Evanston designed by the firm W. Irving Beman and Fernand Parmentier. Parmentier immigrated to the U.S. from France and was naturalized in Chicago. In the late 1890s Parmentier relocated to Los Angeles where he continued to practice and designed several prominent works still extant today. In 1915 Parmentier would return to France and volunteer to fight in the First World War, during which he was killed in action. Beman was the elder brother of renowned Chicago architect Solon Beman who is best known for designing the Pullman planned community and adjacent factory complex, now listed as a National Monument.

Surrounding properties are predominately large-lot single-family residences. The individual properties on the block retain significant architectural integrity and the block as a whole retains significant integrity of setting despite a large surface parking lot located immediately north of the subject property. The block contains eight (8) Local Landmarks including the property immediately to the south and those across the street to the west.

## Legislative History

### **October 13, 2020 Preservation Commission**

The case was presented by Tom Rowland, applicant and architect, at the October 13 meeting of the Preservation Commission. During this meeting, Commissioners had concerns with the proposed alterations at the rear volume of the residence compared to the existing architectural vocabulary used on the street-facing volume. Specifically, commissioners had concern with the simplicity and scale of the proposed porch columns in and the lack of relation to the existing tapered columns on the front of the residence. Additional comments addressed the proposed garage doors on the coach house, specifically the use of alternative paneling and doors with more verticality to match the existing doors.

The case was continued to provide time for revisions.

## Update

Since the October 13 meeting, the application has been continued on three additional occasions. The property suffered extensive water damage over the early winter which has led to a delay in production as well as the need for a revised scope of work due to budgetary constraints.

The applicant has since provided revised drawings with the following changes.

- East Elevation of Principle Structure (Rear-Volume)  
The proposed east elevation has been revised to incorporate two smaller covered entrances rather than a single covered porch and open deck running the full width of the east elevation. The applicant has provided two alternatives to the porch columns, one which is similar to the previous submission with square shaft and vernacular capital and base. The other with a round shaft with defined capital and base. The two smaller covered porches lead to an open at-grade patio rather than the raised deck and pergola as previously proposed. The roof material remains the same, although the form has been revised on the larger of the two roofed entrances from shed to hipped. The exposed rafter tails at the roof edge have been removed.
- West Elevation of Coach house  
The applicant has included two alternatives for the proposed columns as described above. Additionally, the proposed garage doors have been revised to include vertical paneling.

## Public Comment

Staff has received no public comment to date.

## Recommendation

Staff finds the proposal to be appropriate in form, mass, and materiality and believes the revised submission to be more sympathetic to the existing integrity of the rear-volume of the residence while maintaining a consistent design vocabulary with adequate authenticity and identification of contemporary interventions.

Staff recommends the following standards be applied and appropriate action taken. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

### **Alteration**

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## **Construction**

1. Height. Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. Proportion of facades. The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. Rhythm of solids to voids in facades. The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. Rhythm of spacing and structures on streets. The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. Relationship of materials and texture. The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. Roof shapes and roof mounted equipment. The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. Scale of a structure. The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. Directional expression of facades. A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. Original qualities. For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. Archaeological resources. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. Innovative design. Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. New additions. Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **Demolition**

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.

2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.

3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.

4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.



## Application for Preservation Review of Certificate of Appropriateness (COA)

### Binding Review of Certificate of Appropriateness (COA) &

#### Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments

Thank you for submitting your COA application for Preservation Review. This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way. To process your application, submit no less than **15 business days** before the next scheduled Preservation Commission meeting the following: one (1) **hard copy** of the fully completed application and attachments including: plat of survey, site plan, elevation drawings of the existing and proposed, 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size); and one (1) **digital copy in PDF format of the same**. The Preservation Commission meetings are on the **second Tuesday** of the month. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. The submission of the completed COA **15 business days** prior to the next scheduled meeting date allows the City staff's review of the application and to provide the applicant feedback on the completeness of the COA application. **Incomplete applications will not be accepted.** Refer to the **Supplemental Information**, pages (i - iv) below.

Applications can be submitted in person, by regular mail, electronically via email at [cruiz@cityofevanston.org](mailto:cruiz@cityofevanston.org) or in a flash drive to the Preservation Coordinator, City of Evanston, Community Development Department, Planning & Zoning Division, Lorraine H. Morton Civic Center, 2100 Ridge Avenue, Room 3201, Evanston, Illinois 60201.

**For new construction, additions, major alterations, and demolition**, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff before or by no later than the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Depending on the case load and during construction season, zoning analysis may take longer. Applicants must give themselves enough time to request a zoning analysis to meet deadlines.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Preservation Commission meets on the **second Tuesday** of the month [see schedule on page (v) below].

Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

### Section A. Required Information (Print) \*Refer to the Supplemental Information for guidance [page (i) fifth below].

1) Property Address: <b>1735 ASBURY AVE</b>	<b>FOR STAFF USE ONLY</b> Application Number:
2) Owner's Name: <b>TOM ROWLAND</b>	Address: <b>1735 ASBURY AVE</b>
City: <b>EVANSTON</b> State: <b>IL</b> Zip: <b>60201</b>	Phone: <b>312 505 6667</b> Email/Fax: <b>ROWLAND@PBBINC.COM</b>
3) Architect's Name: <b>SAME AS OWNER</b>	Address:
City:	State:      Zip:      Phone:      Email/Fax:
4) Contractor's Name: <b>TO BE LET</b>	Address:
City:	State:      Zip:      Phone:      Email/Fax:
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    *Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;	
If yes, <input type="checkbox"/> Lakeshore <input checked="" type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires:	
<input checked="" type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.	
Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

**Section B: Application for Certificate of Appropriateness**

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

MAIN HOUSE - KITCHEN REMODEL, MUDD ROOM REMODEL AND COVERED DECK/PORCH ADDITION. DESIGN MATERIALS, TRIM AND DETAILS TO MATCH EXISTING MAIN HOUSE DETAILS.

COACH HOUSE - INTERIOR + EXTERIOR RENOVATION OF EXISTING COACH HOUSE. DESIGN MATERIALS, TRIM AND DETAILS TO MATCH EXISTING MAIN HOUSE DETAILS

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No COACH HOUSE MAIN HOUSE
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Restoration <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No COACH HOUSE MAIN HOUSE
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No COACH HOUSE SCOPE
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: TO MATCH MAIN HOUSE (EXISTING)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No COACH HOUSE SCOPE
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material: TO MATCH MAIN HOUSE (EXISTING)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No COACH HOUSE
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Air Conditioning Unit	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

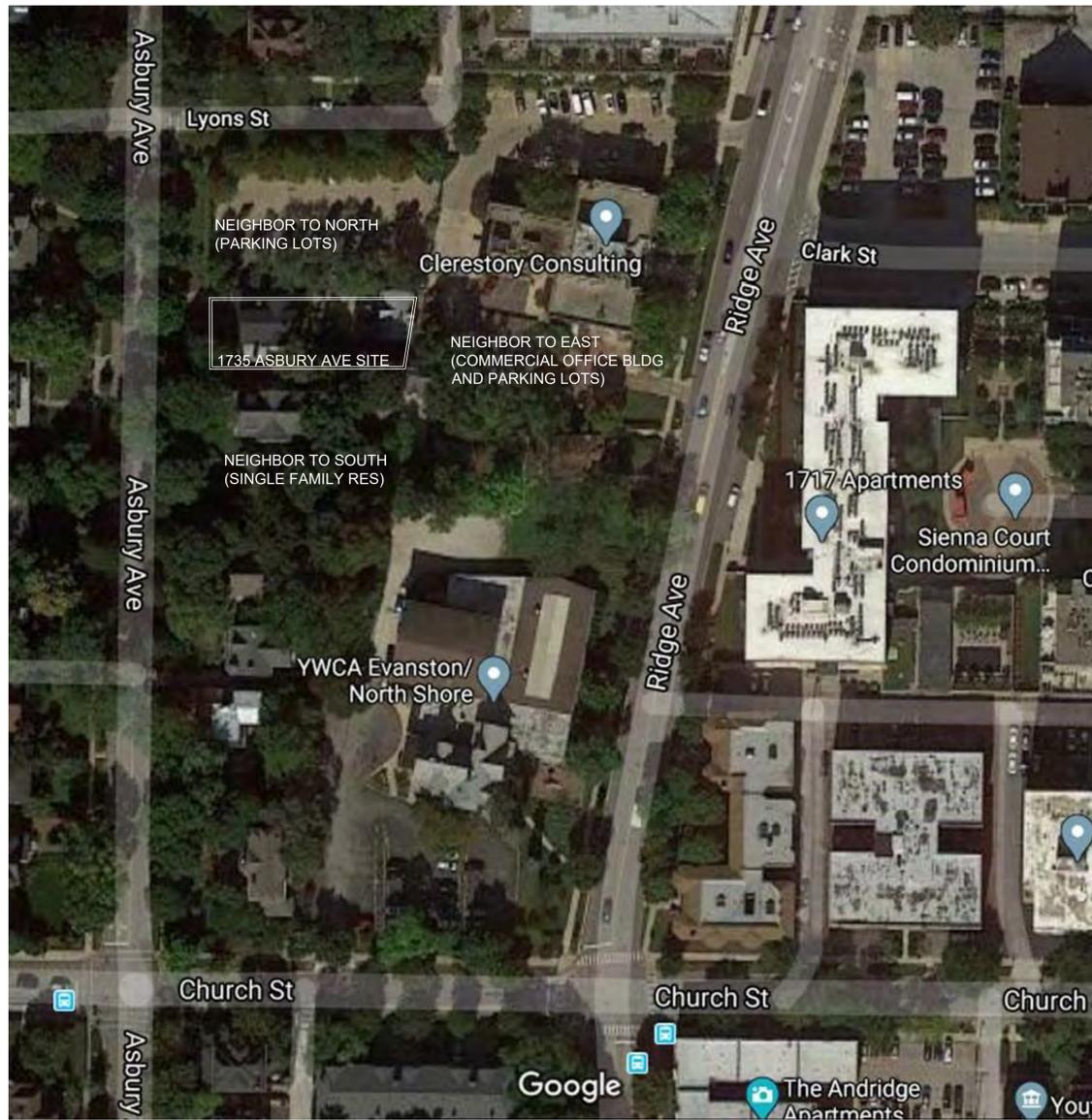
3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed					
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Façades/Front Porch &amp; Rear Porch Material</b> Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: <u>METAL</u> <u>+ ASPHALT</u> Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Flashing Material</b> Copper Sheet Metal Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Fences</b> Wood <u>(EXISTING)</u> Wrought Iron Aluminum Other: _____ Height: <u>6'-0"</u> Length: <u>225'-0"</u>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<b>Roofing Material</b> Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Fascias, Soffits, Rakeboards, Trim</b> Wood Metal Synthetic Material, Type: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Terraces, Patios, Decks</b> Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: _____			
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		
<input checked="" type="checkbox"/>	<input type="checkbox"/>			<b>Chimney Material</b> Brick Stone Stucco Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Door Material</b> Wood Metal Clad Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Driveway Material</b> Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____		
<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>				<b>Gutters/Downspouts</b> Copper Aluminum Galvanized Sheet Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Window Type</b> Double Hung Casement Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed):</b>  Air Conditioning Unit	
<input type="checkbox"/>	<input type="checkbox"/>					<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>					<b>Muntins</b> Not existing True divided lights Simulated divided lights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Window Material</b> Wood Aluminum Steel Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>						<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	

4) Applicant's Signature: [Signature]  
 Print Name: TOM RAWLAND

Date: 2-2-2021

Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].



LOCATION PLAN OF SITE / ADJACENT PROPERTIES



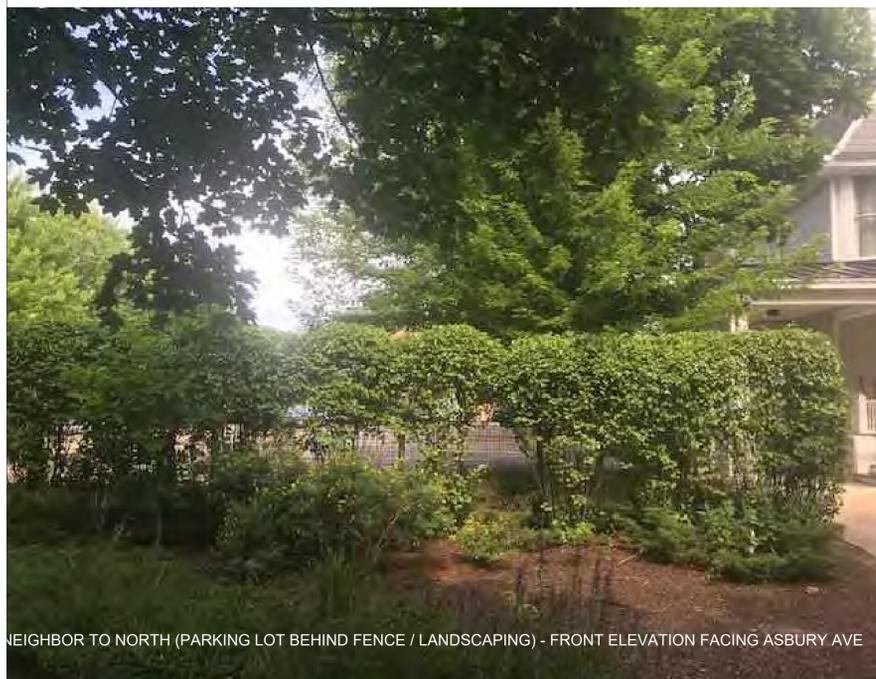
ENLARGED SITE PLAN / ADJACENT PROPERTIES

ARCHITECT OF RECORD:  
TOM ROWLAND  
OWNER / ARCHITECT  
ROWLAND@PBDINC.COM  
312-505-6667



RENOVATION OF  
**ROWLAND RESIDENCE**  
1735 ASBURY AVENUE  
EVANSTON, ILLINOIS 60201

1735 ASBURY AVE SURROUNDING  
LOCATION SITE PLAN  
STREET VIEW(S) ADJACENT LOTS



NEIGHBOR TO NORTH (PARKING LOT BEHIND FENCE / LANDSCAPING) - FRONT ELEVATION FACING ASBURY AVE



MAIN HOUSE - EXISTING WEST (FRONT YARD) ELEVATION FACING ASBURY AVE  
NO WORK THIS FACADE - INCLUDED FOR REFERENCE ONLY



NEIGHBOR TO SOUTH - FRONT ELEVATION FACING ASBURY AVE

Date	No.	Revision
02.02.2021		ISSUE FOR ZONING & COA

S H E E T  
**S-1.0**

# TOPOGRAPHIC SURVEY

by  
**ANDREW SPIEWAK LAND SURVEYOR, INC.**  
of

LOT FIFTEEN (15) AND THE NORTH 16 FEET OF LOT SIXTEEN (16) IN MONTJOIE ADDITION TO EVANSTON A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN ALSO PART OF SOUTHEAST QUARTER OF NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

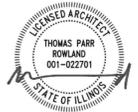
BEARINGS ARE SHOWN FOR ANGULAR REFERENCE ONLY AND ARE NOT RELATED TO TRUE OR MAGNETIC NORTH.



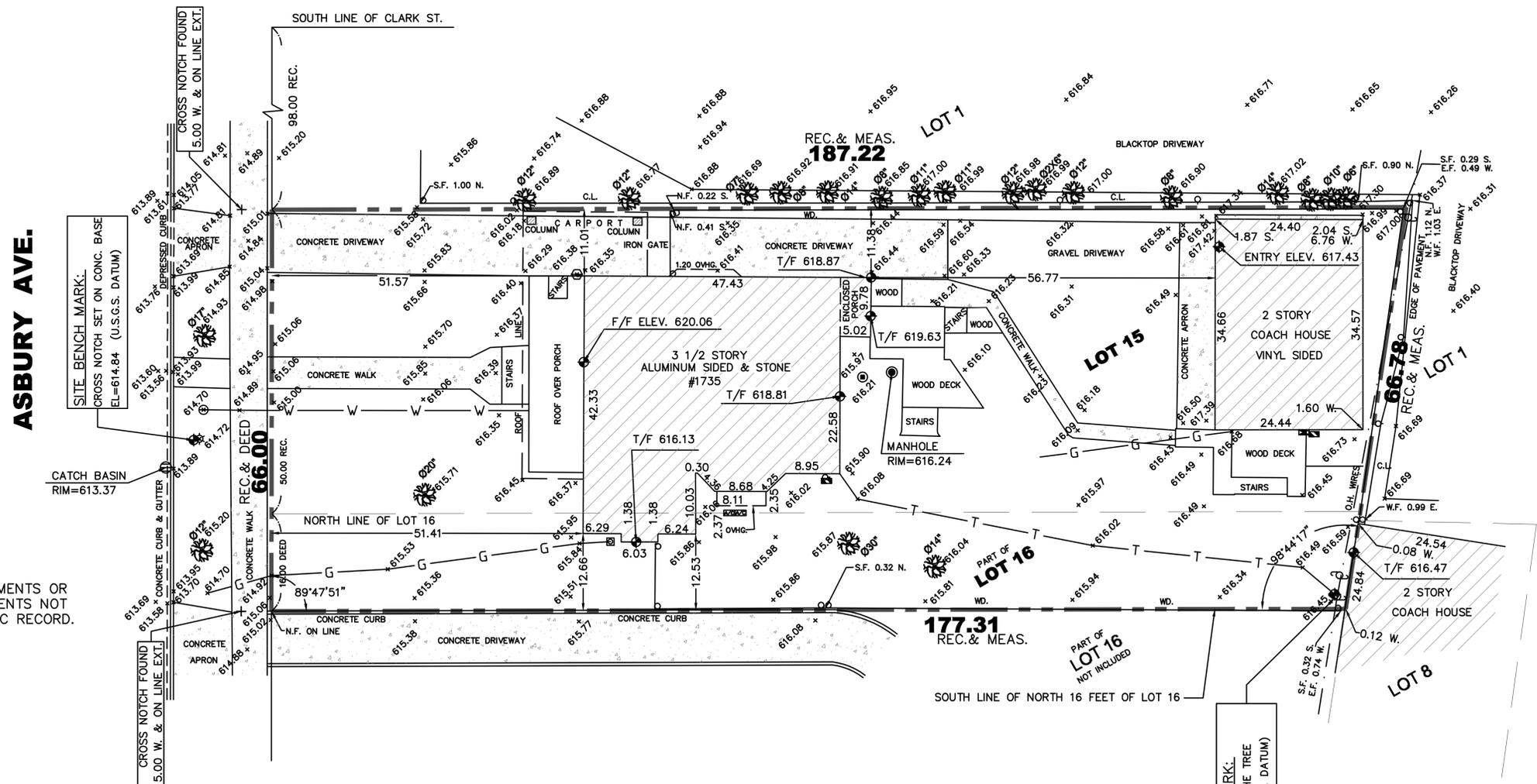
**SPIEWAK CONSULTING**  
PROFESSIONAL DESIGN FIRM  
1030 W. HIGGINS RD. SUITE 218 PARK RIDGE, IL 60068  
phone: (773) 952-2872  
andrew@spiewak.com

**SP**  
THIS DOCUMENT IS INSTRUMENT OF SERVICE REMAINING PROPERTY OF THE COMPANY AND NO PART MAY BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE COMPANY OWNER.

**GENERAL NOTES:**  
1) THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ONLY ON ABOVE GROUND EVIDENCE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.  
2) BEARINGS (IF SHOWN) ARE FOR ANGULAR REFERENCE ONLY AND ARE NOT RELATED TO TRUE OR MAGNETIC NORTH.



CALL JULIE TOLL FREE  
(800) 892-0123  
OPERATES 24 HOURS A DAY  
365 DAYS A YEAR  
**WARNING**  
  
CALL BEFORE YOU DIG  
CALL (800) 892-0123  
48 HOURS BEFORE YOU DIG



NOTE:  
SETBACKS, EASEMENTS OR CLAIM OF EASEMENTS NOT SHOWN BY PUBLIC RECORD.

**GENERAL NOTES:**  
1. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ONLY ON ABOVE GROUND EVIDENCE, TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT, AND MARKINGS BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES (IF NOTED HEREON). THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.

**LEGEND**

C = CURB	MEAS. = MEASURED	CABLE TV	CTV	BEDPINE	ELECTRIC VAULT	GUY POLE	LIGHT POLE	STORM DRAIN MANHOLE	TREE DECIDUOUS/EVERGREEN
CL. = CHAIN LINK	N.F. = NORTH FACE	COMBINED SEWER		BENCH MARK	ELECTRIC CONTROL BOX	INLET	MAIL BOX	STORM SEWER MANHOLE	UTILITY POLE
CONC. = CONCRETE	O.H. = OVERHEAD	ELECTRIC LINE		BUMPER GUARD	FENCE	INLET ROUND	MANHOLE - UNCLASSIFIED	STREET LIGHT	WALL HYDRANT
DS = DOWN SPOUT	P = PAVEMENT	EXST. GRADE/CONTOUR		CABLE TV CONTROL BOX	FIRE HYDRANT	IRON ROD FOUND	PARKING METER	TELEPHONE CONTROL BOX	WALL LIGHT
E.F. = EAST FACE	REC. = RECORD	GAS MAIN		CATCH BASIN	GAS MANHOLE	IRON ROD SET	PKN. FOUND	TELEPHONE VAULT & COMMUNICATION	WATER METER VAULT
EP = EDGE OF PAVEMENT	S.F. = SOUTH FACE	OVERHEAD WIRES	O.H. WIRES	CITY ELECTRIC MANHOLE	GAS METER	IRON PIPE FOUND	PKN. SET	TRAFFIC CONTROL BOX	WATER VALVE BOX
F = FLOW LINE	T/S = TOP OF SLAB	SANITARY SEWER		CLEAN OUT	GAS VALVE BOX	IRON PIPE SET	SANITARY SEWER MANHOLE	TRAFFIC LIGHT	WATER VALVE VAULT
F/F = FINISH FLOOR	T/F = TOP OF FOUNDATION	STORM SEWER							
G = GROUND	W = WALK	TELEPHONE LINE							
LD = ROAD SIDE	WD. = WOOD	WATERMAIN							

STATE OF ILLINOIS) S.S.  
COUNTY OF COOK)  
ANDREW SPIEWAK LAND SURVEYOR, INC. A PROFESSIONAL DESIGN FIRM, LAND SURVEYING CORPORATION, LICENSE No. 184.006518 HEREBY CERTIFIES THAT A SURVEY HAS BEEN MADE UNDER THE DIRECTION AND SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR LICENSE No. 035.003178 OF THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

FIELD WORK WAS COMPLETED ON 30th DAY OF JULY A.D. 2020.  
CHICAGO, ILLINOIS, DATE OF PLAT 6th DAY OF AUGUST A.D. 2020.

BY [Redacted]  
ILLINOIS PROFESSIONAL LAND SURVEYOR ANDRZEJ F. SPIEWAK LICENSE No. 035.003178 LICENSE EXPIRES 11/30/2020  
PROFESSIONAL DESIGN FIRM, LAND SURVEYING CORPORATION, LICENSE NO. 184.006518 LICENSE EXPIRES 04/30/2021

SITE BENCH MARK:  
P.K. NAIL SET ON THE TREE  
EL=618.00 (U.S.G.S. DATUM)

NO.	DATE	ISSUED	DESCRIPTION
1			

TOPOGRAPHIC SURVEY  
1735 ASBURY AVENUE  
EVANSTON, IL 60201

ORDERED BY:  
TOM ROWLAND  
SURVEYED BY: JG  
DRAWN BY: SJ  
REVIEWED BY: AFS  
ORDER No: 273-14  
TOPO-2020  
SCALE: 1" = 15'  
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF

ARCHITECT OF RECORD:  
TOM ROWLAND  
OWNER / ARCHITECT  
ROWLAND@PBDINC.COM  
312-505-6667

RENOVATION OF  
**ROWLAND RESIDENCE**  
1735 ASBURY AVENUE  
EVANSTON, ILLINOIS 60201

**SURVEY & TOPO**

Date	No.	Revision
02.02.2021		ISSUE FOR ZONING & COA

S H E E T  
**S-1.1**





RENOVATION OF  
**ROWLAND RESIDENCE**  
1735 ASBURY AVENUE  
EVANSTON, ILLINOIS 60201

**ARCHITECTURAL SITE PLAN**

Date	No.	Revision
02.02.2021		ISSUE FOR ZONING & COA

S H E E T  
**AS-0.2**

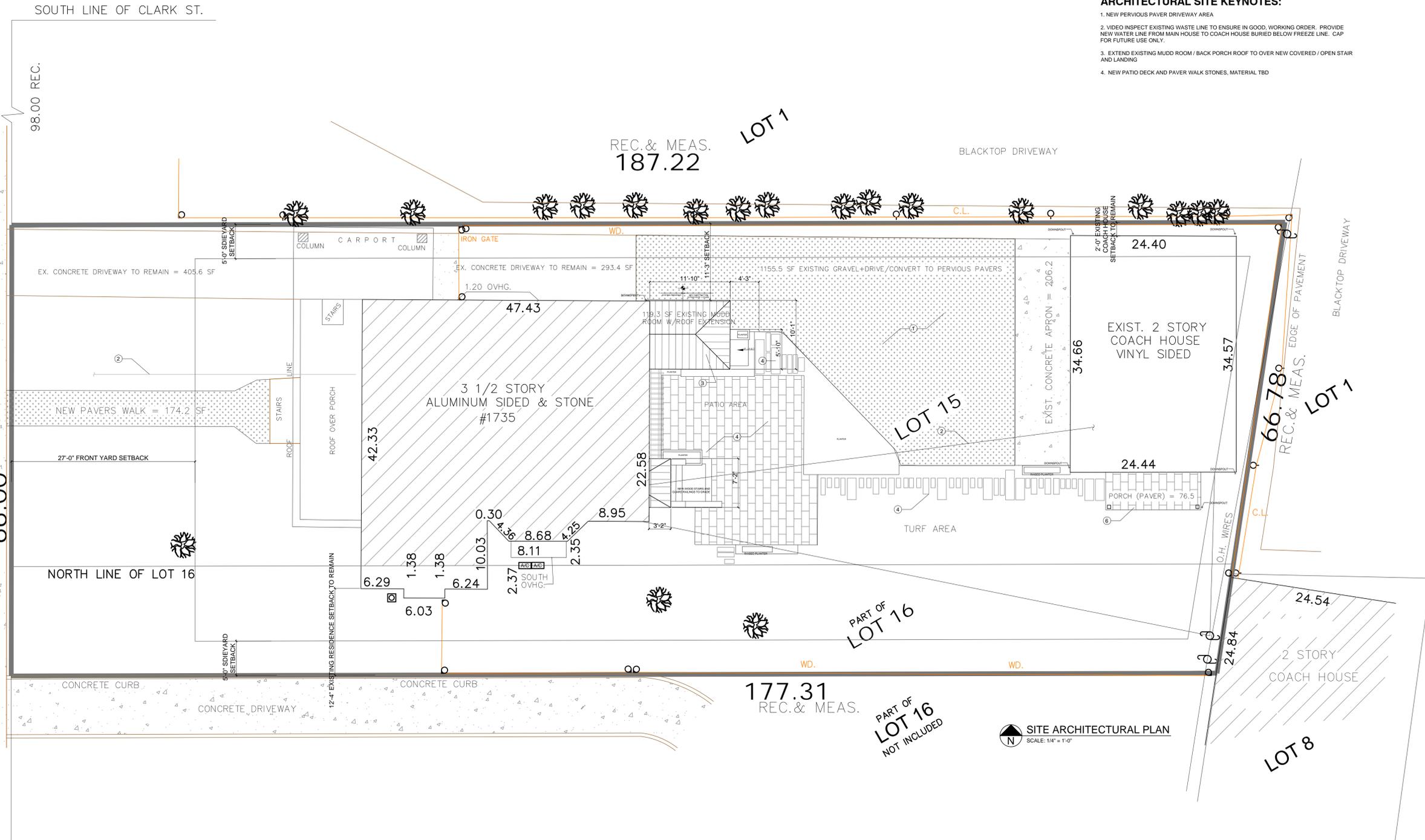
**ARCHITECTURAL SITE GENERAL NOTES:**

- GC TO COORDINATE ALL EXISTING AND NEW UNDERGROUND UTILITIES. CALL JULIE OR SUBMIT ON-LINE REQUEST PRIOR TO ANY EXCAVATIONS. IF ANY UTILITIES REQUIRE RELOCATION DUE TO NEW CONSTRUCTION, AS REQUIRED
- PROTECT EXISTING RESIDENCE, COACH HOUSE, FENCES, TREES AND ANY EXISTING SITE WORK TO REMAIN FROM DAMAGE OR INSTALLATION DURING CONSTRUCTION
- PROVIDE ADD ALTERNATE TO EXTEND ALL EXISTING AND NEW DOWNSPOUTS INTO BELOW GRADE. BURIED DRAINPIPE RESERVOIRS FURNISHED & INSTALLED BY GC. NEW DRAINPIPE AND ENTIRE PERIMETER OF MAIN HOUSE AND COACH. TYPICAL
- GC TO PROVIDE A LEVEL, CLEAN GRADE UPON COMPLETION OF NEW CONSTRUCTION

**ARCHITECTURAL SITE KEYNOTES:**

- NEW PERVIOUS PAVER DRIVEWAY AREA
- VIDEO INSPECT EXISTING WASTE LINE TO ENSURE IN GOOD, WORKING ORDER. PROVIDE NEW WATER LINE FROM MAIN HOUSE TO COACH HOUSE BURIED BELOW FREEZE LINE. CAP FOR FUTURE USE ONLY.
- EXTEND EXISTING MUDD ROOM / BACK PORCH ROOF TO OVER NEW COVERED / OPEN STAIR AND LANDING
- NEW PATIO DECK AND PAVER WALK STONES. MATERIAL TBD

ASBURY AVE.



**SITE ARCHITECTURAL PLAN**  
SCALE: 1/4" = 1'-0"

PART OF  
**LOT 16**  
NOT INCLUDED

177.31  
REC. & MEAS.

187.22  
REC. & MEAS.

98.00 REC.

66.00  
REC. & DEED

SOUTH LINE OF CLARK ST.

NORTH LINE OF LOT 16

LOT 1

LOT 15

PART OF  
LOT 16

LOT 8

EXIST. 2 STORY  
COACH HOUSE  
VINYL SIDED

2 STORY  
COACH HOUSE

3 1/2 STORY  
ALUMINUM SIDED & STONE  
#1735

EX. CONCRETE DRIVEWAY TO REMAIN = 405.6 SF

EX. CONCRETE DRIVEWAY TO REMAIN = 293.4 SF

1155.5 SF EXISTING GRAVEL+DRIVE/CONVERT TO PERVIOUS PAVERS

NEW PAVERS WALK = 174.2 SF

119.3 SF EXISTING MUDD ROOM W/ROOF EXTENSION

PORCH (PAVER) = 76.5

EXIST. CONCRETE APRON = 206.2

27'-0" FRONT YARD SETBACK

12'-4" EXISTING RESIDENCE SETBACK TO REMAIN

CONCRETE DRIVEWAY

BLACKTOP DRIVEWAY

BLACKTOP DRIVEWAY

EDGE OF PAVEMENT

TURF AREA

CONCRETE CURB

CONCRETE CURB

CONCRETE APRON

CONCRETE APRON

DEPRESSED CURB

CONCRETE CURB & GUTTER

ROOF OVER PORCH

ARCHITECT OF RECORD:  
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 312-505-6667



RENOVATION OF  
**ROWLAND RESIDENCE**  
 1735 ASBURY AVENUE  
 EVANSTON, ILLINOIS 60201

3D DRAWINGS  
 MAIN & COACH HOUSE

COVERED ENTRY ADDITION

COVERED STAIR ADDITION

COACH HOUSE RENOVATION



**AERIAL PHOTO (PROPOSED) OF 1735 ASBURY AVENUE**



**COACH HOUSE (PROPOSED) LOOKING EAST**



**MAIN HOUSE COVERED PORCH ADDITIONS (PROPOSED) LOOKING WEST**

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S H E E T  
**3D-1.0**

ARCHITECT OF RECORD:  
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RENOVATION OF  
**ROWLAND RESIDENCE**  
 1735 ASBURY AVENUE  
 EVANSTON, ILLINOIS 60201

**ROUND / TAPERED  
 COLUMN OPTION**



**COACH HOUSE (PROPOSED) LOOKING EAST**



**MAIN HOUSE COVERED PORCH ADDITIONS (PROPOSED) LOOKING WEST**

Date	No.	Revision
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S H E E T  
**3D-2.0**



RENOVATION OF  
**ROWLAND RESIDENCE**  
1735 ASBURY AVENUE  
EVANSTON, ILLINOIS 60201

**MAIN HOUSE - ELEVATIONS  
EXISTING & PROPOSED  
WEST (FRONT) & SOUTH (SIDE)**

Date	No.	Revision
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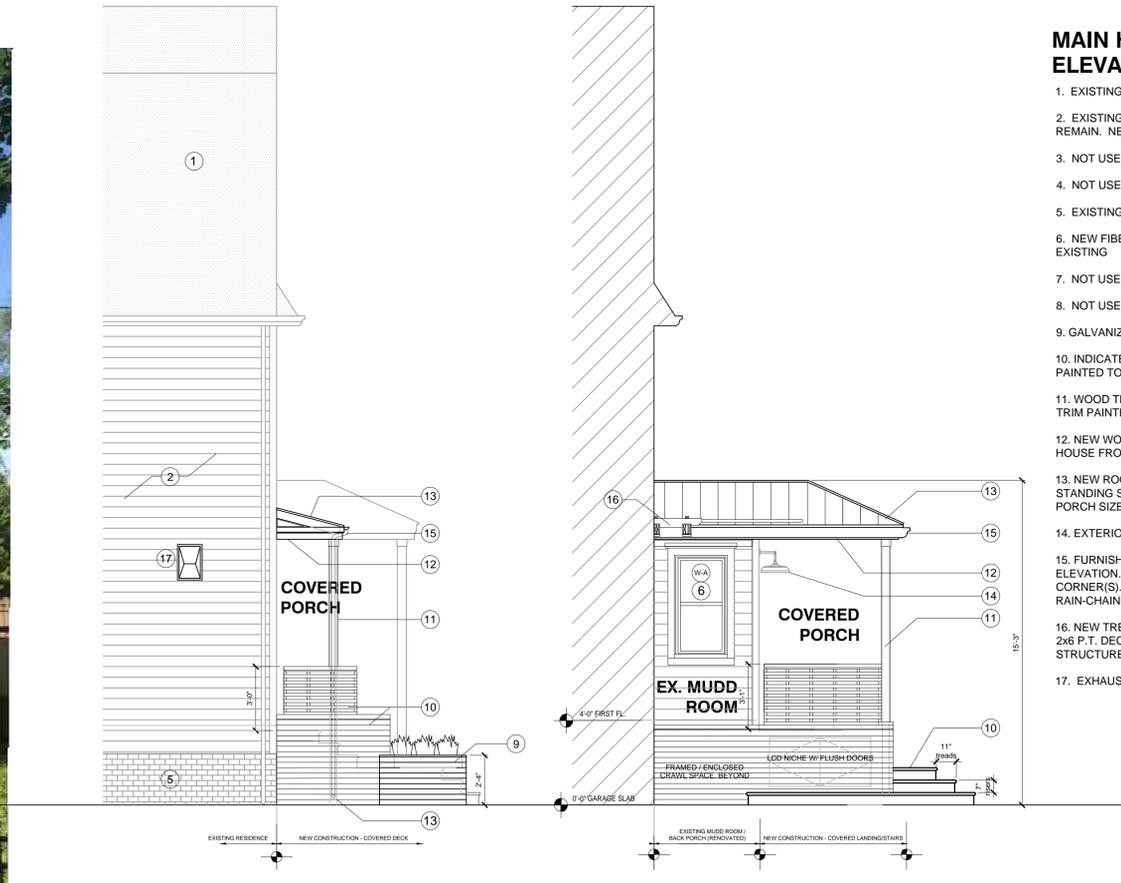
**MAIN HOUSE  
ELEVATION KEYNOTES:**

- EXISTING ROOFING: ASPHALT SHINGLES
- EXISTING MAIN HOUSE FACADE "SHAKES" AND/OR SIDING TO REMAIN. NEW ADDITIONS TO MATCH
- NOT USED
- NOT USED
- EXISTING STONE TO REMAIN
- NEW FIBERGLASS EXTERIOR WITH WOOD INTERIORS - TO MATCH EXISTING
- NOT USED
- NOT USED
- GALVANIZED PLANTER BOX, TYP
- INDICATES NEW P.T. WOOD DECK, RAILINGS, PICKETS AND TRIM; PAINTED TO MATCH ARCHITECTS SAMPLE
- WOOD TRIM, PAINTED AT COLUMN ENCLOSURE AND PT. WOOD TRIM PAINTED AT BASE
- NEW WOOD 1x3 PLANK BOARD CEILING AT ROOF. MATCH MAIN HOUSE FRONT PORCH CEILING
- NEW ROOF AT STAIR. COVERED DECK ENTRIES SHALL BE STANDING SEAM METAL ROOFING TO MATCH MAIN HOUSE FRONT PORCH SIZE AND FINISH
- EXTERIOR SCENCE LIGHT FIXTURE TO BE PERIOD-APPROPRIATE
- FURNISH AND INSTALL NEW GUTTER AT EXISTING ROOF. THIS ELEVATION. TIE INTO EXISTING DOWNSPOUTS AT ADJACENT CORNER(S). GUTTER TO BE HALF-ROUND PIPE (WHITE) WITH NEW RAIN-CHAIN DOWNSPOUTS
- NEW TRELLIS STRUCTURE WITH (2) 2x8 P.T. SUPPORT BEAMS AND 2x6 P.T. DECORATIVE SURFACE RAFTERS AND ATTACHED TO STRUCTURE WITH SOLID P.T. CORBEL DETAIL
- EXHAUST VENT COVER FOR OVEN RANGE/HOOD



- MAIN HOUSE EXISTING "SHAKE" TO REMAIN. NO WORK. MATCH SIMILAR DETAIL AT COACH HOUSE
- ASPHALT EXISTING ROOF TO REMAIN. PATCH AND REPAIR WOOD FASCIA AND SOFFITS, AS REQUIRED
- MAIN HOUSE EXISTING WINDOW TO REMAIN. NEW WINDOWS TO BE WOOD, PAINTED TO MATCH EXISTING. EXISTING TRIM TO REMAIN
- EXISTING SIDING TO REMAIN, NO WORK
- EXISTING STONE, COVERED PORCH BASE AND MUDD ROOM BASE, TO MATCH
- EXISTING 3'-6" TALL METAL FENCE

**MAIN HOUSE - EXISTING SOUTH (SIDE YARD) ELEVATION**  
THIS FACADE FACES SOUTH TOWARDS THE NEIGHBOR TO SOUTH



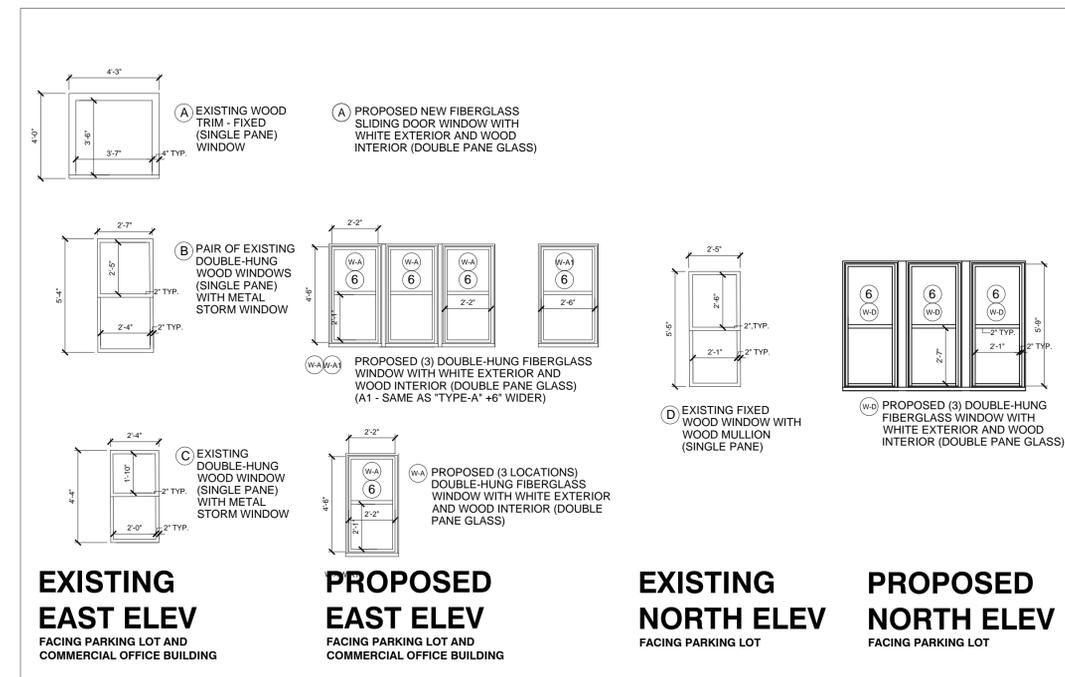
**SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"

**SOUTH PARTIAL ELEVATION**  
SCALE: 1/4"=1'-0"



- MAIN HOUSE EXISTING "SHAKE" TO REMAIN. NO WORK. MATCH SIMILAR DETAIL AT COACH HOUSE
- ASPHALT EXISTING ROOF TO REMAIN. PATCH AND REPAIR WOOD FASCIA AND SOFFITS, AS REQUIRED
- MAIN HOUSE EXISTING WINDOW(S) TO REMAIN
- EXISTING METAL ROOF TO REMAIN
- EXISTING COVERED DRIVE AREA TO REMAIN
- EXISTING SIDING TO REMAIN, NO WORK
- EXISTING PORCH TO REMAIN
- EXISTING STONE TO REMAIN

**MAIN HOUSE - EXISTING WEST (FRONT YARD) ELEVATION**  
NO WORK THIS FACADE - INCLUDED FOR REFERENCE ONLY

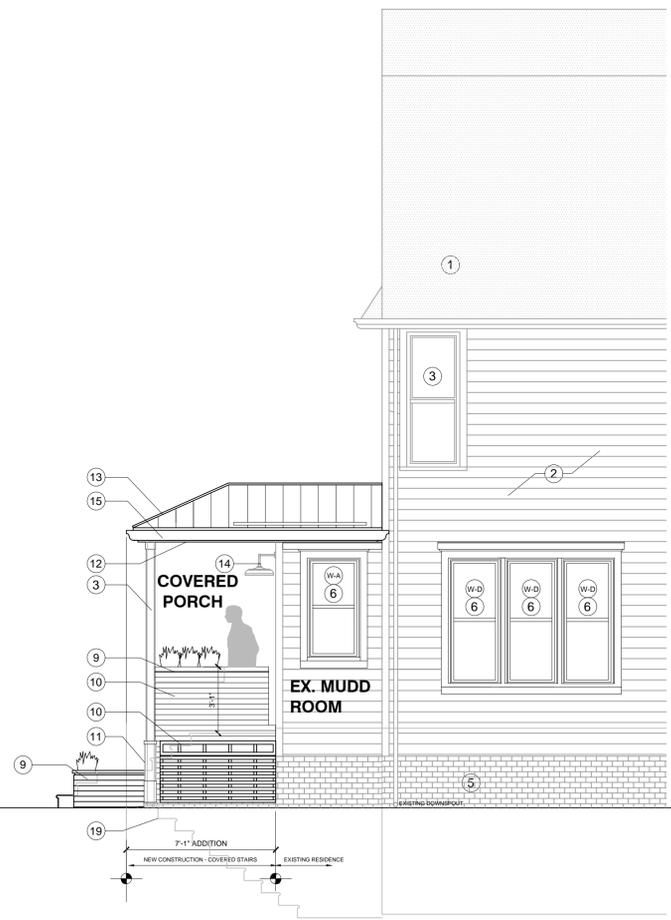


**WINDOW ELEVATIONS (EXISTING & PROPOSED)**  
SCALE: 1/4" = 1'-0"



- MAIN HOUSE EXISTING "SHAKE" TO REMAIN. NO WORK. MATCH SIMILAR DETAIL AT COACH HOUSE
- ASPHALT EXISTING ROOF TO REMAIN, PATCH AND REPAIR WOOD FASCIA AND SOFFITS, AS REQUIRED
- MAIN HOUSE EXISTING WINDOW TO REMAIN. NEW WINDOWS TO BE WOOD, PAINTED TO MATCH EXISTING. EXISTING TRIM TO REMAIN
- EXISTING SIDING TO REMAIN, NO WORK
- DEMO EXISTING MUDD ROOM AND EXPAND NEW MUDD ROOM PER PLANS
- DEMO EXISTING WINDOWS. PROVIDE NEW DOORS AND WINDOWS PER PROPOSED ELEVATION
- EXISTING 6' TALL WOOD FENCE

NEW CONSTRUCTION - MUDD ROOM / COVERED PORCH AREA | EXISTING U.O.O. - INTERIOR RENOVATION OF KITCHEN FLOOR 1 | NO EXTERIOR WORK (EXISTING TO REMAIN) | MAIN HOUSE - EXISTING NORTH (SIDE YARD) ELEVATION | THIS FACADE FACES EAST TOWARDS THE EXISTING PROPERTY DRIVEWAY & ADJACENT PROPERTY PARKING LOT



B MAIN HOUSE - NORTH (SIDE YARD) ELEVATION | SCALE: 1/4"=1'-0"

**MAIN HOUSE ELEVATION KEYNOTES:**

1. EXISTING ROOFING: ASPHALT SHINGLES
2. EXISTING MAIN HOUSE FACADE "SHAKES" AND/OR SIDING TO REMAIN. NEW ADDITIONS TO MATCH
3. EXISTING WINDOWS TO REMAIN. NEW WINDOWS SHALL BE WOOD, PAINTED - TO MATCH EXISTING
4. NOT USED
5. EXISTING STONE TO REMAIN
6. NEW FIBERGLASS EXTERIOR WITH WOOD INTERIORS - TO MATCH EXISTING
7. NOT USED
8. NOT USED
9. GALVANIZED PLANTER BOX, TYP
10. INDICATES NEW P.T. WOOD DECK, RAILINGS, PICKETS AND TRIM; PAINTED TO MATCH ARCHITECT'S SAMPLE
11. WOOD TRIM, PAINTED AT COLUMN ENCLOSURE AND PT. WOOD TRIM PAINTED AT BASE
12. NEW WOOD 1x3 PLANK BOARD CEILING AT ROOF. MATCH MAIN HOUSE FRONT PORCH CEILING
13. NEW ROOF AT STAIR, COVERED DECK ENTRIES SHALL BE STANDING SEAM METAL ROOFING TO MATCH MAIN HOUSE FRONT PORCH SIZE AND FINISH
14. EXTERIOR SCONCE LIGHT FIXTURE TO BE PERIOD-APPROPRIATE
15. FURNISH AND INSTALL NEW GUTTER AT EXISTING ROOF, THIS ELEVATION. TIE INTO EXISTING DOWNSPOUTS AT ADJACENT CORNER(S). GUTTER TO BE HALF-ROUND PIPE (WHITE) WITH NEW RAIN-CHAIN DOWNSPOUTS
16. NOT USED
17. NOT USED
18. NEW P.T. WOOD DECKING, RAILING AND GUARDS FIELD PAINTED AND SEALED
19. EXISTING BASEMENT STAIR ACCESS

ARCHITECT OF RECORD:  
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RENOVATION OF  
**ROWLAND RESIDENCE**  
1735 ASBURY AVENUE  
EVANSTON, ILLINOIS 60201

**MAIN HOUSE ELEVATION KEYNOTES:**

1. EXISTING ROOFING: ASPHALT SHINGLES
2. EXISTING MAIN HOUSE FACADE "SHAKES" AND/OR SIDING TO REMAIN. NEW ADDITIONS TO MATCH
3. EXISTING WINDOWS TO REMAIN. NEW WINDOWS SHALL BE WOOD, PAINTED - TO MATCH EXISTING
4. EXISTING BRICK CHIMNEYS TO REMAIN - NO WORK
5. EXISTING STONE TO REMAIN
6. NEW FIBERGLASS EXTERIOR WITH WOOD INTERIORS - TO MATCH EXISTING
7. NEW (2) UNIT FRENCH SLIDING DOOR SYSTEM WITH GLASS LIGHTS, WOOD TRIM PAINTED
8. NEW WOOD, PAINTED MAN DOOR WITH GLASS LITE AND TRIM
9. GALVANIZED PLANTER BOX, TYP
10. INDICATES NEW P.T. WOOD DECK, RAILINGS, PICKETS AND TRIM; PAINTED TO MATCH ARCHITECT'S SAMPLE
11. WOOD TRIM, PAINTED AT COLUMN ENCLOSURE AND PT. WOOD TRIM PAINTED AT BASE
12. NEW WOOD 1x3 PLANK BOARD CEILING AT ROOF. MATCH MAIN HOUSE FRONT PORCH CEILING
13. NEW ROOF AT STAIR, COVERED DECK ENTRIES SHALL BE STANDING SEAM METAL ROOFING TO MATCH MAIN HOUSE FRONT PORCH SIZE AND FINISH
14. EXTERIOR SCONCE LIGHT FIXTURE TO BE PERIOD-APPROPRIATE
15. FURNISH AND INSTALL NEW GUTTER AT EXISTING ROOF, THIS ELEVATION. TIE INTO EXISTING DOWNSPOUTS AT ADJACENT CORNER(S). GUTTER TO BE HALF-ROUND PIPE (WHITE) WITH NEW RAIN-CHAIN DOWNSPOUTS
16. NEW TRELLIS STRUCTURE WITH (2) 2x8 P.T. SUPPORT BEAMS AND 2x6 P.T. DECORATIVE SURFACE RAFTERS AND ATTACHED TO STRUCTURE WITH SOLID P.T. CORBEL DETAIL
17. NEW WOOD CORBEL(S) WITH PLANTER BOX. CORBEL DETAILS TO MATCH MAIN HOUSE, NORTH FACADE, EXISTING CORBELS
18. NEW P.T. WOOD DECKING, RAILING AND GUARDS FIELD PAINTED AND SEALED
19. EXISTING BASEMENT STAIR ACCESS. REPLACE EXISTING BASEMENT DOOR WITH NEW, MATCH EXISTING



A MAIN HOUSE - EAST (REAR YARD) ELEVATION | SCALE: 1/4"=1'-0"

- MAIN HOUSE EXISTING "SHAKE" TO REMAIN. NO WORK. MATCH SIMILAR DETAIL AT COACH HOUSE
- MAIN HOUSE EXISTING WINDOW TO REMAIN. NEW WINDOWS TO BE WOOD, PAINTED TO MATCH EXISTING. EXISTING TRIM TO REMAIN
- ASPHALT EXISTING ROOF TO REMAIN, PATCH AND REPAIR WOOD FASCIA AND SOFFITS, AS REQUIRED
- EXISTING SIDING TO REMAIN, NO WORK
- DEMO EXISTING MUDD ROOM AND EXPAND NEW MUDD ROOM PER PLANS
- DEMO EXISTING WINDOWS. PROVIDE NEW DOORS AND WINDOWS PER PROPOSED ELEVATION
- EXISTING STONE TO REMAIN, MATCH PER PROPOSED ELEVATION
- DEMO EXISTING WOOD DECK, STAIRS AND RAMP PER SITE PLAN



MAIN HOUSE - EXISTING EAST (REAR YARD) ELEVATION | THIS FACADE FACES EAST TOWARDS THE EXISTING COACH HOUSE ON THE PROPERTY

**MAIN HOUSE - ELEVATIONS  
EXISTING & PROPOSED  
EAST(REAR) & NORTH (SIDE)**

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RENOVATION OF  
**ROWLAND RESIDENCE**  
1735 ASBURY AVENUE  
EVANSTON, ILLINOIS 60201

EXTERIOR ELEVATIONS  
EXISTING & PROPOSED  
COACH HOUSE



**EXISTING EAST ELEVATION**  
FACING PARKING LOT AND COMMERCIAL OFFICE BUILDING

- 1 DEMO EXISTING WOOD DECK AND STAIRS
- 2 MATCH CONSTRUCTION TO EXTEND "EYEBROW" ROOF TO NORTH
- 3 EXISTING VINYL SIDING TO BE REMOVED AND REPLACED WITH SIDING TO MATCH MAIN HOUSE
- 4 EXISTING 6" TALL WOOD FENCE



**A EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

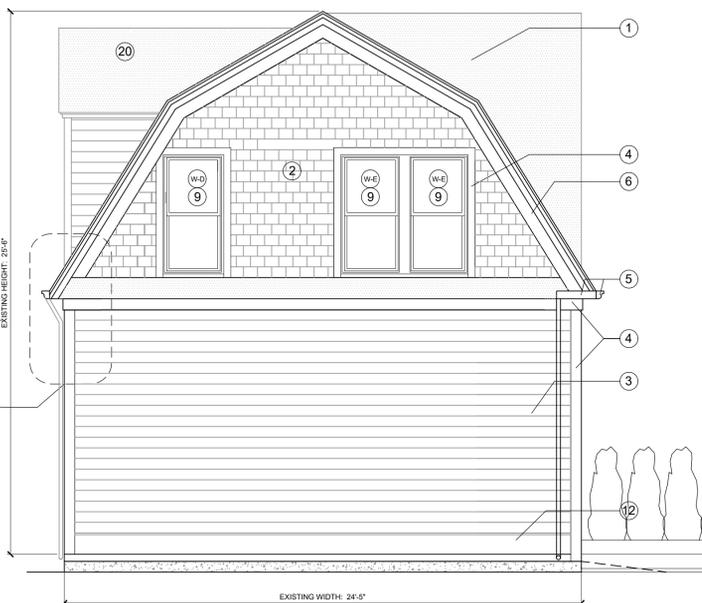
**COACH HOUSE ELEVATION KEYNOTES:**

1. NEW ASPHALT SHINGLES (TO MATCH MAIN HOUSE)
2. HARDI-BOARD "SHAKE" SIDING (MATCH EXISTING) DARK GRAY FROM MAIN HOUSE
3. HARDI-BOARD SIDING (MATCH EXISTING) OVER AIR INFILTRATION BARRIER OVER P.T. PLYWOOD FRAMING - MATCH MAIN HOUSE
4. NEW BOARD TRIM, TYPICAL, MATCH MAIN HOUSE
5. INDICATES NEW 3" DIAMETER WHITE ALUM. DOWNSPOUT TIED INTO NEW DRAIN-TILE SYSTEM. MATCH NEW ADDITION AT MAIN HOUSE
6. EXISTING WOOD TRIM TO REMAIN, IF FEASIBLE. IF NOT, PROVIDE NEW P.T. SOLID WOOD TRIM READY TO RECEIVE PAINT FINISH
7. NEW WHITE ALUMINUM GUTTER, TYP
8. NOT USED
9. INDICATES NEW WOOD WINDOWS, PAINTED. MATCH EXISTING PROFILE.
10. INDICATES NEW P.T. WOOD DECK, RAILINGS, PICKETS AND TRIM. PAINTED TO MATCH ARCHITECT'S SAMPLE.
11. NEW GARAGE DOOR & SYSTEM 9'-0" w. x 8'-0" h. WITH GLASS LIGHTS
12. CEDAR BOARD, PAINTED; EXTERIOR FASCIA TRIM BASE (18" TALL - V.I.F.)
13. EXISTING EYEBROW ROOF LINE - MATCH EXISTING ON SOUTH FACADE OF COACH HOUSE
14. PERIOD-APPROPRIATE WALL SCONCE LIGHTING
15. WOOD PAINTED COLUMN WRAPS - TO MATCH MAIN HOUSE
16. NOT USED
17. NOT USED
18. CONCRETE STOOP AND LANDING AREA
19. EXISTING WOOD SCROLL, DECORATIVE WINDOW AND TRIM TO REMAIN. REPAIR AS REQUIRED
20. NEW DORMER



**EXISTING NORTH ELEVATION**  
FACING PARKING LOT

- 1 DEMO EXISTING CEDAR "SHAKE"
- 2 DEMO EXISTING WINDOWS - RELOCATE PER NEW ELEVATION
- 3 EXISTING VINYL SIDING TO BE REMOVED AND REPLACED WITH SIDING TO MATCH MAIN HOUSE
- 4 EXISTING 6" TALL WOOD FENCE



**D NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

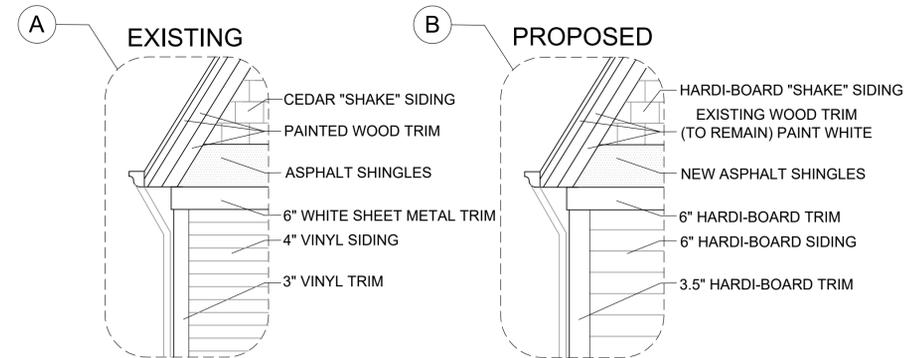
**WINDOW ELEVATIONS (EXISTING & PROPOSED)**  
SCALE: 1/2" = 1'-0"

**EXISTING EAST ELEV**  
FACING PARKING LOT AND COMMERCIAL OFFICE BUILDING

**PROPOSED EAST ELEV**  
FACING PARKING LOT AND COMMERCIAL OFFICE BUILDING

**EXISTING NORTH ELEV**  
FACING PARKING LOT

**PROPOSED NORTH ELEV**  
FACING PARKING LOT



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RENOVATION OF  
**ROWLAND RESIDENCE**  
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EXTERIOR ELEVATIONS  
EXISTING & PROPOSED  
COACH HOUSE



**EXISTING WEST ELEVATION**  
FACING REAR FACADE OF MAIN HOUSE ON PROPERTY

- EXISTING WOOD SCROLL WINDOW AND TRIM TO REMAIN. REPAIR AS REQUIRED
- EXISTING CEDAR "SHAKE"
- MATCH TRIM & WINDOWS WITH NEW CONSTRUCTION
- EXISTING VINYL SIDING TO BE REMOVED AND REPLACED WITH SIDING TO MATCH MAIN HOUSE
- DEMO EXISTING DECK & STAIRS
- EXISTING WOOD DOORS TO BE SALVAGED AND REUSED AS BARN DOOR AT INTERIOR
- DEMO EXISTING GARAGE DOORS AND MAIN DOOR. REPLACE WITH DOORS TO MATCH ORIGINAL WOOD CARRIAGE DOORS THAT ARE BEING SALVAGED FOR REUSE



**COACH HOUSE  
ELEVATION KEYNOTES:**

1. NEW ASPHALT SHINGLES (TO MATCH MAIN HOUSE)
2. HARDI-BOARD "SHAKE" SIDING (MATCH EXISTING) DARK GRAY FROM MAIN HOUSE
3. HARDI-BOARD SIDING (MATCH EXISTING) OVER AIR INFILTRATION BARRIER OVER P.T. PLYWOOD FRAMING - MATCH MAIN HOUSE
4. NEW BOARD TRIM, TYPICAL, MATCH MAIN HOUSE
5. INDICATES NEW 3" DIAMETER WHITE ALUM. DOWNSPOUT TIED INTO NEW DRAIN-TILE SYSTEM. MATCH NEW ADDITION AT MAIN HOUSE
6. EXISTING WOOD TRIM TO REMAIN, IF FEASIBLE. IF NOT, PROVIDE NEW P.T. SOLID WOOD TRIM READY TO RECEIVE PAINT FINISH
7. NEW WHITE ALUMINUM GUTTER, TYP
8. NOT USED
9. INDICATES NEW WOOD WINDOWS, PAINTED. MATCH EXISTING PROFILE.
10. INDICATES NEW P.T. WOOD DECK, RAILINGS, PICKETS AND TRIM; PAINTED TO MATCH ARCHITECTS SAMPLE.
11. NEW GARAGE DOOR & SYSTEM 9'-0" w. x 8'-0" h. WITH GLASS LIGHTS
12. CEDAR BOARD, PAINTED; EXTERIOR FASCIA TRIM BASE (18" TALL - V.I.F.)
13. EXISTING EYEBROW ROOF LINE - MATCH EXISTING ON SOUTH FACADE OF COACH HOUSE
14. PERIOD-APPROPRIATE WALL SCONCE LIGHTING
15. WOOD PAINTED COLUMN WRAPS - TO MATCH MAIN HOUSE
16. NOT USED
17. NOT USED
18. CONCRETE STOOP AND LANDING AREA
19. EXISTING WOOD SCROLL, DECORATIVE WINDOW AND TRIM TO REMAIN. REPAIR AS REQUIRED
20. NEW DORMER

**(B) WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

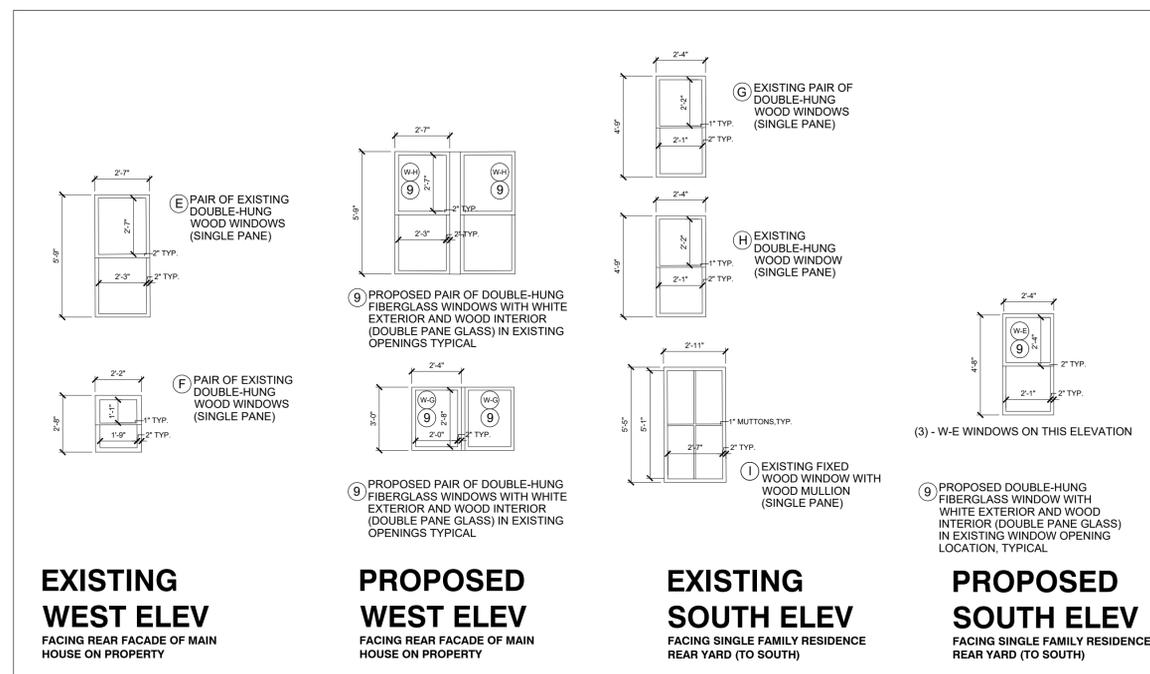


**EXISTING SOUTH ELEVATION**  
FACING SINGLE FAMILY RESIDENCE REAR YARD (TO SOUTH)

- EXISTING DOUBLE-HUNG WINDOW WITH METAL BARS AT OUTSIDE TO BE REMOVED. NEW WINDOW IN EXISTING OPENING
- EXISTING SINGLE MAN-DOOR WITH GLASS LITE TO BE REPLACED
- EXISTING DOUBLE-HUNG WINDOW WITH METAL BARS AT OUTSIDE TO BE REMOVED. NEW WINDOW IN EXISTING OPENING
- DEMO EXISTING DECK & STAIRS
- EXISTING WOOD DOORS TO BE SALVAGED AND REUSED AS BARN DOOR AT INTERIOR
- EXISTING VINYL SIDING TO BE REMOVED AND REPLACED WITH SIDING TO MATCH MAIN HOUSE



**(C) SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING WEST ELEV**  
FACING REAR FACADE OF MAIN HOUSE ON PROPERTY

**PROPOSED WEST ELEV**  
FACING REAR FACADE OF MAIN HOUSE ON PROPERTY

**EXISTING SOUTH ELEV**  
FACING SINGLE FAMILY RESIDENCE REAR YARD (TO SOUTH)

**PROPOSED SOUTH ELEV**  
FACING SINGLE FAMILY RESIDENCE REAR YARD (TO SOUTH)

Date	No.	Revision
02.01.2021		ISSUE FOR ZONING & COA

# 2009 Dodge Avenue 20PRES-0317

Juan Rosas, submits for a Certificate of Appropriateness to remove existing aluminum siding from the main house. Install new Hardie plank siding (4" exposure). Retain wood siding and shakes under the front gable. Replace existing roof asphalt shingles with asphalt shingles. **Applicable standards: [Alteration 1-10]**



# MEMORANDUM

To: Honorable Members of the Preservation Commission  
From: Cade W. Sterling, City Planner  
Subject: 2009 Dodge Avenue – 20PRES-0317  
Date: February 5, 2021

## Public Notice

Juan Rosas, submits for a Certificate of Appropriateness to remove existing aluminum siding from the main house. Install new Hardie plank siding (4" exposure). Retain wood siding and shakes under the front gable. Replace existing roof asphalt shingles with asphalt shingles. Applicable standards: [Alteration 1-10]

## Update

The case has been on the agenda since December and has been continued on two occasions. Staff has been unable to get in touch with both the contractor and property owner despite multiple attempts to do so. In December, the pre-review subcommittee asked for additional information. Staff has not received any additional information.

## Recommendation

Staff recommends a motion to dismiss this case for failure to appear and lack of necessary documentation to make action possible. The applicant shall re-apply if the project wishes to move forward in the future. Staff will visit the property to ensure the work was not completed without permit and COA.

**IMPORTANT NOTE:** Administrative approval is not allowed for special use, zoning or fence variance, or a building permit for demolition, new construction or an addition. For major work, one must apply for a certificate of appropriateness for review with the Preservation Commission. Ask staff for the major work application form if needed. Minor work involves no or minimal alteration to the integrity of a structure in terms of design and/or materials (i.e. adding a new window to match existing, restoration, or replacement in kind).

1) No. & Street of property: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Seeking for any variance or special use? Check  Yes \_\_\_; No \_\_\_ If yes, read **IMPORTANT NOTE** above!

2) Is the property an Evanston Landmark? Check  Yes \_\_\_; No \_\_\_

3) Is the Property located within a historic district? Check  Yes \_\_\_; No \_\_\_ If yes: Lakeshore H.D. \_\_\_; Ridge H.D. \_\_\_  
 2009 DODGE AVE., EVANSTON  
 Northeast Evanston H.D.; \_\_\_ Suburban Apartment Thematic Resources \_\_\_

4) Owner's name: PANDORA BROWN No. & Street: 2009 DODGE AVE City: EVANSTON  
 State: IL Zip: 60201 Phone: 6305291975 Fax: 6305291955 Email: CONTACT@ECOSHIELDCONTRACTORS.COM

5) Applicant/business name: ECD GENERAL CONTRACTORS No. & Street: 1030 SUMMERFIELD DR City: ROSELLE  
 (if different from owner) State: IL Zip: 60172 Phone: 6305291975 Fax: 6305291955 Email: CONTACT@ECOSHIELDCONTRACTORS.COM

6) Architect's name: \_\_\_\_\_ No. & Street: \_\_\_\_\_ City: \_\_\_\_\_  
 (if different from applicant) State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

7) Contractor's name: ECD GENERAL CONTRACTORS No. & Street: 1030 SUMMERFIELD DR City: ROSELLE  
 (if different from applicant) State: IL Zip: 60172 Phone: 6305291975 Fax: 6305291955 Email: CONTACT@ECOSHIELDCONTRACTORS.COM

8) Activity (for minor work only): Check  and/or write in the matrix below the proposed activity and requested information as applicable:

Activity (circle activity as needed)	Location			Proposed Work			Existing and Proposed		Dimensions		Visible from the public way	
	Front	Side	Rear	Restoration	Replacing in kind	New Installation	Material(s)	Style/type	Height	Length Width	Yes	No
Altering minimally main house or other structure												
Restoring main house or other structure	X	X	X		HARDIE SIDING							
Roof on house/garage/other Fence/gate							ASPHALT SHINGLES	ARCH.				
Doors/storm doors												
Windows/storm windows												
Stairs/railing/landings												
Land altering activity, i.e. berming, excavating												
Sign/Awning												
Air conditioning unit(s)												

9) **Description of activity:** Describe briefly below the activity as checked in the matrix and submit as applicable: photos of existing conditions, site plan or plat of survey showing the location of the activity and the design and materials of stairs, fences/gates, signs, air conditioning units, land altering activity. Also, submit proposed plans, existing and proposed exterior elevations showing the activity (i.e. windows, doors, fence design/style, dimensions, and building materials - documentation should not exceed 11"x17" paper size)

*Jal* - JUAN C ROSAS 09/14/2020

Applicant's name: (print) \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Carlos Ruiz &lt;cruiz@cityofevanston.org&gt;

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**Re: IMPORTANT - Re: 2009 Dodge Ave. - Permit application for roof and siding - Approved COA required**

1 message

**General Email** <contact@ecosshieldcontractors.com>

Mon, Oct 5, 2020 at 3:57 PM

To: Carlos Ruiz &lt;cruiz@cityofevanston.org&gt;

Dear Mr. Ruiz,

Sorry for the delay in response. We have been busy and have been unable to go take pictures of the house to be able to accurately respond to your questions, until now.

To answer your questions;

1. What is the material underneath the aluminum siding and is it the original siding? **From what we can tell, there are several different types of material underneath the aluminum siding for the most part. We found 1/2" Builder Board, Shingles, and wood siding. We are attaching pictures of those for your review. Some small areas that seem to be extensions to the home have nothing behind the aluminum siding, only plywood.**
2. If the original siding is still on the building, could it be restored? **We will not be able to be 100% sure until we do a complete tear off, but considering how many layers of materials there are present, it is unlikely that we will be able to restore the original wood siding.**
3. What is the exposure of the original siding below the aluminum siding (if still on the house)? **5" exposure.**
4. Is the new proposed siding a match in exposure, material (cedar), texture (smooth siding) to the presumable cedar siding? **We are proposing to install an 6" exposure smooth James Hardie cement board**
5. Are you repairing or restoring all of the exposed original material, such as the front facade gable and architectural features? **No, we will not be repairing, restoring or replacing the front facade gable and architectural features.**
6. Provide photos of all facades showing the damaged material. **Please see pictures attached to this email.**
7. Provide detailed drawings of how the new proposed material (James Hardi siding) is going to be installed at corners, trim around windows and doors, fascia, and eaves. **We propose to install 4" corners, Hardie trim board on all windows as recommended by the manufacturer. Please see sample pictures attached to this email.**

If you have any questions please let us know.

Thanks,

Daniel Rosas  
Eco General Contractors, Inc.



PRIVATE  
PROPERTY

2009

# City of EVANSTON

2009 DODGE AVENUE

BEGINNING STREET NUMBER   
END STREET NUMBER   
STREET #   
SUFFIX   
STREET NAME   
PIN

## LOCAL

WITHIN LOCAL DISTRICT?   
LOCAL DIST CONTRIB/NON-CONTRIB?   
LOCAL LANDMARK?   
YEAR   
LOCAL LANDMARK ELIGIBLE?   
CRITERIA



PHOTO ID:

## NATIONAL REGISTER

NR DISTRICT CONTRIB/NON-CONTRIB   
WITHIN DISTRICT?  NR LANDMARK?  YEAR   
NR ELIGIBLE?  CRITERIA  ALTERNATE ADDRESS?

## GENERAL INFORMATION

CATEGORY  CONDITION   
INTEGRITY  CURRENT USE   
HISTORIC USE   
SECONDARY STRUCTURE  NR SECOND

## ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION   
DETAILS  
  
CONSTRUCTION YEAR  OTHER YEAR   
DATE SOURCE  WALL MATERIAL (CURRENT)   
WALL MATERIAL 2 (CURRENT)  PLAN   
NO OF STORIES  ROOF TYPE   
ROOF MATERIAL  FOUNDATION   
PORCH  WINDOW MATERIAL   
WINDOW MATERIAL 2  WINDOW TYPE   
WINDOW CONFIGURATION  SIGNIFICANCE   
HISTORIC FEATURES   
ALTERATIONS

## HISTORIC INFORMATION

OLD ADDRESS (CITY DIR.YEAR)  BUILDING MOVED?   
MOVED FROM  ORIGINAL OWNER   
ORIGINAL ARCHITECT  ARCHITECT SOURCE   
BUILDER  SURVEYOR   
SURVEYOR ORGANIZATION   
SURVEY DATE  SURVEY AREA

**Aluminum  
Siding**

**Builder Board 1/2"**

**Asphalt shingle**









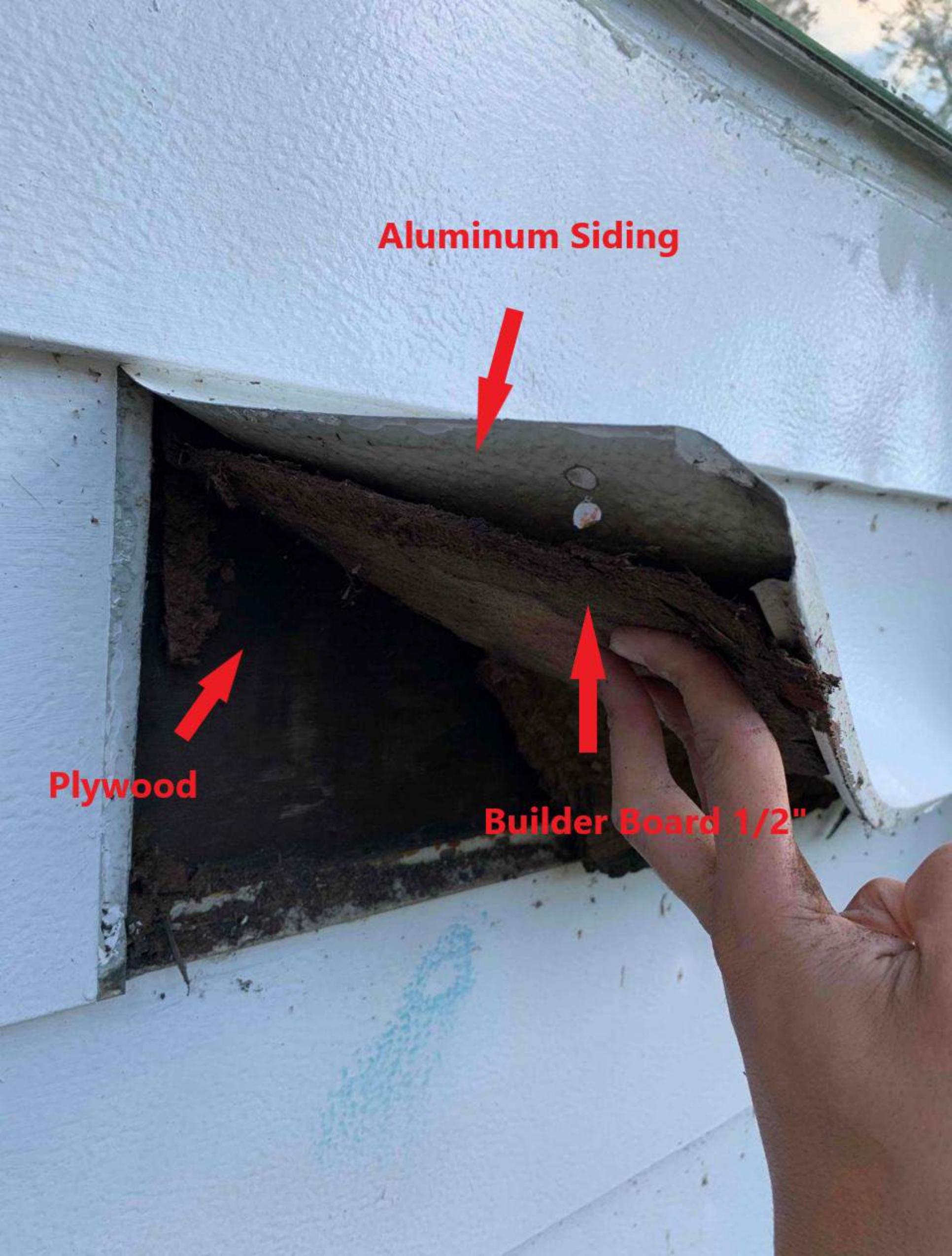
**Aluminum Siding**



**Plywood**



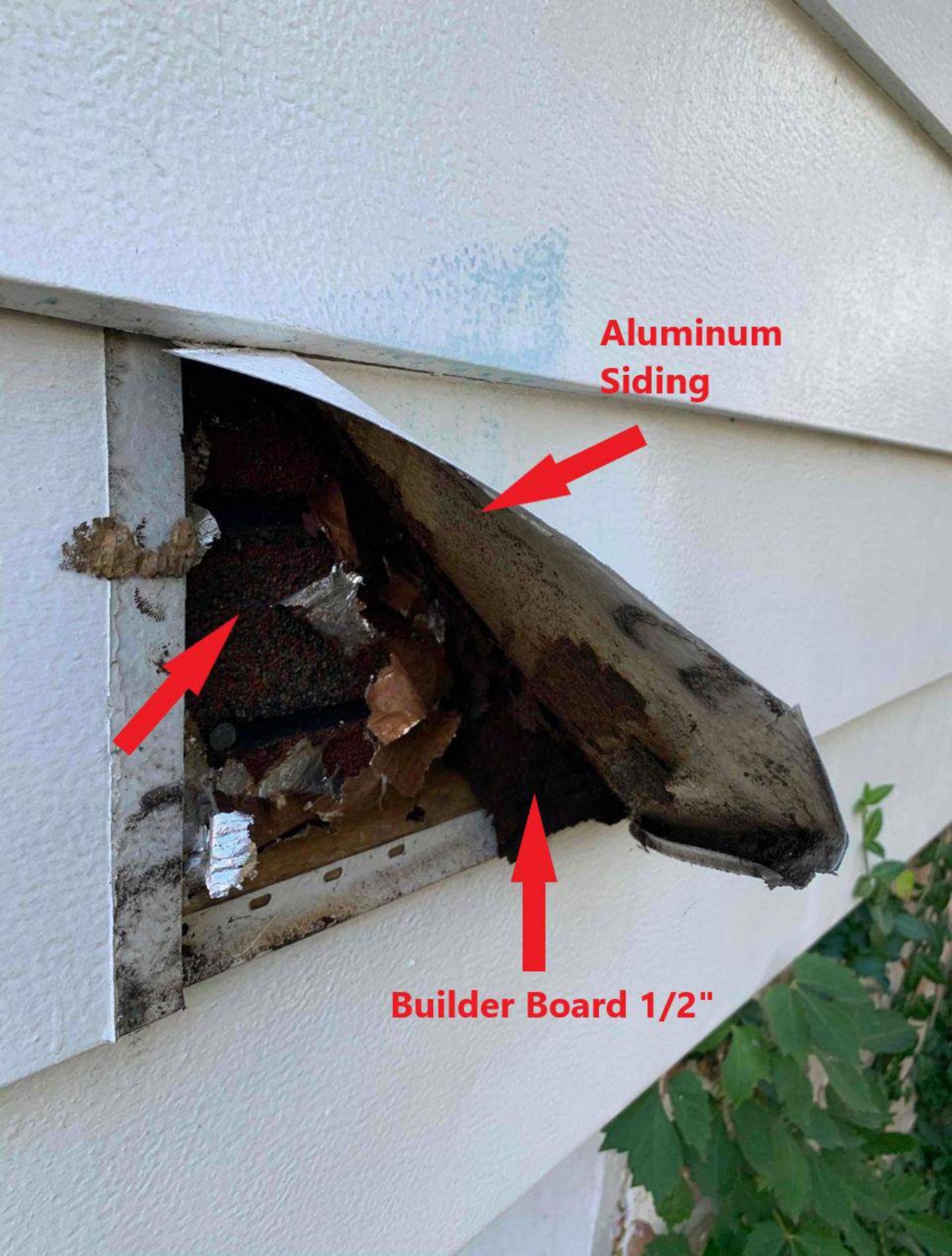
**Builder Board 1/2"**



**Aluminum  
Siding**



**Builder Board 1/2"**





**Wood  
Siding**

This image shows a close-up of a roof edge. On the left, there is a vertical wooden board. To its right is a dark, textured strip of asphalt shingles. Further right is a light-colored, diagonal wooden siding. A red arrow points from the text 'Wood Siding' to the top edge of the dark shingle strip. Another red arrow points from 'Asphalt Shingles' to the middle of the dark strip. A third red arrow points from 'Builder Board 1/2"' to the bottom edge of the dark strip. The diagonal siding is visible on the right side of the image.

**Asphalt  
Shingles**

**Builder  
Board  
1/2"**

**9 attachments**



**Siding - Layers - Front extension.jpg**  
188K



**Siding - Layers 3.jpg**  
117K



**Siding - Layers.jpg**  
308K



**Siding - Layers 2.jpg**  
224K



**Sample - Corner trim - White.jpg**  
370K



**Sample - James Hardie Sample - 4inch corners and trim.jpg**  
450K



**Sample - historic look - James Hardie siding & trim.jpg**  
1147K

 **green\_tech.pdf**  
169K

 **James Hardie Catalog.pdf**  
4706K

1206 Hinman Avenue  
21PRES-0012

## Certificate of Appropriateness

Paul Lang, owner of record, applies for a Certificate Of Appropriateness for demolition, alteration, and construction. Specifically, the applicant proposes to demolish the existing enclosed front and side porch on the east and south volumes of the residence, construct an open roofed front-porch, and covered stair portico on the east volume of the residence, construct an addition and open side-porch on the south volume of the residence, and enlarge the open roofed porch at the rear volume of the residence. Additional alterations include window replacements and re-cladding the home in hardieboard lap siding. A previous application for Certificate of Appropriateness was denied and the applicant has since modified the proposal. Applicable standards: [Alteration 1-10]; Construction [1-8, and 10-15]; Demolition [1-5]



# MEMORANDUM

To: Honorable Members of the Preservation Commission  
From: Cade W. Sterling, City Planner  
Subject: 1206 Hinman Avenue – 21PRES-0012  
Date: February 3, 2021

## Public Notice

Paul Lang, owner of record, applies for a Certificate Of Appropriateness for demolition, alteration, and construction. Specifically, the applicant proposes to demolish the existing enclosed front and side porch on the east and south volumes of the residence, construct an open roofed front-porch, and covered stair portico on the east volume of the residence, construct an addition and open side-porch on the south volume of the residence, and enlarge the open roofed porch at the rear volume of the residence. Additional alterations include window replacements and re-cladding the home in hardieboard lap siding. A previous application for Certificate of Appropriateness was denied and the applicant has since modified the proposal. Applicable standards: [Alteration 1-10]; Construction [1-8, and 10-15]; Demolition [1-5]

## Architectural Significance

Located in the west-central portion of the Lakeshore Historic District on the west side of Hinman Avenue between Dempster Street to the North and Hamilton Street to the South, 1206 Hinman Avenue is a heavily altered vernacular Greek Revival constructed circa 1857 and moved to its current location in 1889. The original architect is unknown. The home was commissioned by Evanston's first physician, Dr. Jacob Ludlam. The property is a contributing structure in good condition and retains poor integrity.

Surrounding properties are predominately single-family residences on mid-sized lots. The individual properties on the block are a mix of vernacular Gable Front, Greek Revival, and American Four-Square homes and more highly styled Italianate, Queen Anne, and Stick Style homes the majority of which retain significant architectural integrity with the exception of two highly altered structures and one of contemporary vintage. The block as a whole retains good integrity of setting with mature shade trees. The block contains six (6) Local Landmarks.

## Legislative History

### **November 10, 2020 Preservation Commission**

The case was presented by Paul Lang, owner and applicant. During the meeting Commissioners had concerns with the lack of detail provided on the submitted plans, particularly the lack of a legible site-plan, elevations, and a roof plan. Commissioners had

additional concerns related to the mixing of styles, the lack of a common expression of design, and the added horizontality and proportions of the front-facing façade.

The case was continued to provide time for revisions.

### **January 12, 2021 Preservation Commission**

The case was presented by Paul Lang, owner and applicant. Mr. Lang described the changes to the proposal since the previous meeting including additional ornamentation in the Greek Revival style in an effort to unify the original design elements with those proposed. The form and massing remained similar from the earlier proposal.

Commissioners had similar concerns related to the form and massing of the proposal, particularly the added horizontality of the front volume of the structure created through the detached three-season room to the south and the large roofed entry to the north. The added horizontality was thought to lack context with the rest of the forms on the block. Commissioners has additional concerns with the unnecessary ornamentation which had not existed previously on what was a vernacular rather than highly-styled Greek Revival structure, as well as the reorientation of the front entry stair and it no longer being identifiable from the street.

The application for COA was denied 8-0.

### Update

Since the January 12 meeting, the applicant has provided revised drawings with the following significant changes.

- East Elevation (Front-Volume)  
The proposed east elevation has been revised significantly. The revised proposal re-orientes the front-stair with front entry easily identifiable and a contextual relationship between the home and the street/sidewalk. The roof form has been changed from hipped to flat and raised slightly. The three-season room has been attached to the principle structure, and the covered front porch terminates at the original structures south elevation with a wraparound open porch continuing along the south elevation.
- West Elevation (Rear-Volume)  
No Changes
- North Elevation  
The large covered “Port Cochere” and entry stair has been removed.
- South Elevation  
The detached three-season room has been replaced with a slightly setback (from east elevation) attached addition. The large overhead pergola has been removed in favor of wood lattice screening to incorporate privacy.

### Public Comment

Staff has received no public comment to date.

## Recommendation

Staff finds the proposal to be a significant improvement from the original proposal and finds the massing, proportion, and materiality to be appropriate and contextual.

The flat roof form is sympathetic to the original structure -- removing the unnecessary replication of the non-contributing circa 1950s alterations. The revisions reduce the previous horizontality in favor of more appropriate and contextual proportions. The three-season room, although near the front-façade (setback one foot), is adequately subordinate to the original structure, particularly due to the covered front porch terminating where the three-season room begins – creating proper authenticity (ability to identify it as an addition). In summary, the alterations proposed provide for identification of the original structure where the previous proposal and non-contributing circa 1950s alterations had obscured it. The design vocabulary is adequately vernacular and the unnecessary ornamentation except for the enlarged frieze board, have been largely removed. Re-orientation of the front-stair to front the street is appropriate although the extended covered stair “portico” unnecessarily complicates the balance of the front-porch and creates awkward asymmetric porch column placement.

Staff recommends the following standards be applied and appropriate action taken. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

## **Alteration**

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other

visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## **Construction**

1. Height. Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. Proportion of facades. The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. Rhythm of solids to voids in facades. The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. Rhythm of spacing and structures on streets. The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. Relationship of materials and texture. The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. Roof shapes and roof mounted equipment. The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. Scale of a structure. The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. Directional expression of facades. A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. Original qualities. For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. Archaeological resources. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. Innovative design. Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. New additions. Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **Demolition**

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.

2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.

3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.

4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that

retention, remediation, or repair are not physically possible or require great difficulty and/or expense.



# Application for Preservation Review of Certificate of Appropriateness (COA)

## Binding Review of Certificate of Appropriateness (COA) &

### Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments

Thank you for submitting your COA application for Preservation Review. This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way. To process your application, submit no less than **15 business days** before the next scheduled Preservation Commission meeting the following: one **(1) hard copy** of the fully completed application and attachments including: plat of survey, site plan, elevation drawings of the existing and proposed, **3D drawings** of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size); and one **(1) digital copy in PDF format of the same**. The Preservation Commission meetings are on the **second Tuesday** of the month. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. The submission of the completed COA **15 business days** prior to the next scheduled meeting date allows the City staff's review of the application and to provide the applicant feedback on the completeness of the COA application. **Incomplete applications will not be accepted.** Refer to the **Supplemental Information**, pages (i - iv) below.

Applications can be submitted in person, by regular mail, electronically via email at [cruiz@cityofevanston.org](mailto:cruiz@cityofevanston.org) or in a flash drive to the Preservation Coordinator, City of Evanston, Community Development Department, Planning & Zoning Division, Lorraine H. Morton Civic Center, 2100 Ridge Avenue, Room 3201, Evanston, Illinois 60201.

**For new construction, additions, major alterations, and demolition**, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Depending on the case load and during construction season, zoning analysis may take longer. Applicants must give themselves enough time to request a zoning analysis to meet deadlines.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Preservation Commission meets on the **second Tuesday** of the month [see schedule on page (v) below].

Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

## Section A. Required Information (Print) \* Refer to the Supplemental Information for guidance [page "i" fifth below].

<b>1) Property Address:</b> 1206 Hinman Ave	<b>FOR STAFF USE ONLY</b> <b>Application Number:</b>
<b>2) Owner's Name:</b> Paul Lang	<b>Address:</b> 1206 Hinman Ave
City: Evanston	State: IL
Zip: 60202	Phone: 8157120559
Email/Fax: plangbiz@gmail.com	
<b>3) Architect's Name:</b>	<b>Address:</b>
City:	State:
Zip:	Phone:
Email/Fax:	
<b>4) Contractor's Name:</b>	<b>Address:</b>
City:	State:
Zip:	Phone:
Email/Fax:	
<b>5) Landmark:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
<b>6) Within Local Historic District:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No; If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
<b>7) Refer to the completed Zoning Analysis and check as applicable if project requires:</b> <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → <b>If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.</b> <b>Check if your project requires:</b> <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → <b>Refer to Supplemental Information on page (i) below.</b>	

**Section B: Application for Certificate of Appropriateness**

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

According to the Lakeshore Historic District survey the original home built in 1850s was considered a Greek Revival style home including rectangular massing, front gable roof with cornice returns, and regular fenestration pattern on facade. The original homes has since been moved, constructed an addition, re-sided with stucco, with an exterior front porch that was later enclosed.

The proposal serves to improve the exterior living space and return the facade to similar style as the original home. The project includes re-siding the home with fiber cement board, new window trim, rehabilitation of the box gutters, demolition of the side porch and rebuilding with structural footings, opening of the front porch with new flat roof line which extends to the side, widening the rear porch with new flat roof, adding a portico over new front stairs, and adding a three season room on the south deck.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material: Fiber Cement	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

**3) Checklist for Exterior Materials—Check all that apply.**

Existing	Proposed		Existing	Proposed		Existing	Proposed		
<input type="checkbox"/>	<input type="checkbox"/>	<b>Façades/Front Porch &amp; Rear Porch Material</b> Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: <u>fiber cement siding</u>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Flashing Material</b> Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fences</b> Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input checked="" type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<b>Fascias, Soffits, Rakeboards, Trim</b> Wood Metal Synthetic Material, Type: <u>fiber cement/PVC</u> Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Terraces, Patios, Decks</b> Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: <u>composite decking</u>
<input type="checkbox"/>	<input type="checkbox"/>			<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<b>Door Material</b> Wood Metal Clad Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Driveway Material</b> Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____
<input type="checkbox"/>	<input type="checkbox"/>			<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<b>Roofing Material</b> Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Window Type</b> Double Hung Casement Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed):</b>  Air Conditioning Unit
<input type="checkbox"/>	<input type="checkbox"/>			<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<b>Chimney Material</b> Brick Stone Stucco Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Window Material</b> Wood Aluminum Steel Other: <u>wood clad</u>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	<b>Gutters/Downspouts</b> Copper Aluminum Galvanized Sheet Other: <u>box gutters</u>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Muntins</b> Not existing True divided lights Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>		
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		

4) Applicant's Signature: Paul Lang  
 Print Name: Paul Lang

Date: January 21, 2021

Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].

BEGINNING STREET #

END STREET #

STREET # SUFFIX

STREET NAME

SUFFIX

PIN



**LOCAL**

WITHIN LOCAL DISTRICT?

LOCAL DISTRICT CONTRIB/NON-CONTRIB?

LOCAL LANDMARK?  YEAR

LOCAL LANDMARK ELIGIBLE?

CRITERIA:

**NATIONAL REGISTER**

WITHIN NR DISTRICT?

NR DISTRICT CONTRIB/NON-CONTRIB?

NR LANDMARK?  YEAR

NR ELIGIBLE?  CRITERIA

PHOTO ID

ALTERNATE ADDRESS?

**GENERAL INFORMATION**

CATEGORY  CURRENT USE

CONDITION  HISTORIC USE

INTEGRITY  SECONDARY STRUCTURE

NRSECOND

**ARCHITECTURAL DESCRIPTION**

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Greek Revival"/>	ROOF TYPE	<input type="text" value="Front gable"/>
DETAILS	<input type="text" value="Craftsman"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1857 (circa)"/>	FOUNDATION	<input type="text" value="Parged"/>
OTHER YEAR	<input type="text" value="1889 (moved); 1910"/>	PORCH	<input type="text" value="Wraparound"/>
DATESOURCE	<input type="text" value="Northwestern University minutes; Evanston Press; permits"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Stucco"/>	WINDOW MATERIAL 2	<input type="text"/>
WALL MATERIAL 2 (current)	<input type="text"/>	WINDOW TYPE	<input type="text" value="Double hung/fixd"/>
PLAN	<input type="text" value="Rectangular"/>	WINDOW CONFIGURATION	<input type="text" value="1/1; 3/1; 1-light"/>
NO OF STORIES	<input type="text" value="2"/>		

SIGNIFICANCE

HISTORIC FEATURES

**ADDRESS**

1206		HINMAN	AVENUE
------	--	--------	--------

**ALTERATIONS**

Historic alterations dating from 1910 remodeling include wraparound hipped porch with square stucco piers and knee walls, with center section along façade enclosed as a sun porch; historic replacement windows--SEE CONTINUATION SHEET

**HISTORIC INFORMATION**

**OLD ADDRESS  
(city dir.year)**

108n Hinman Ave (Ludlam), Village of Evanston. In 1893 the City of Evanston renumbered the once-separate villages of Evanston (n) & South Evanston (s).

**ORIGINAL OWNER**

Ludlam, Dr. Jacob

**ORIGINAL ARCHITECT**

**ARCHITECT SOURCE**

**BUILDER**

**BUILDING MOVED?**

Yes

**MOVED FROM**

NW corner Chicago Ave & Grove (present-day 1510 Chicago Ave) for Mrs Ludlam.

**ADDITIONAL PHOTOGRAPHS**



PHOTO ID2

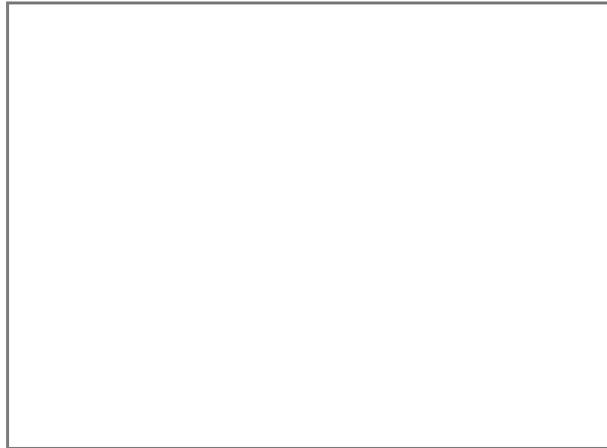


PHOTO ID3

**OTHER PINS**

**SURVEYOR**

Lara Ramsey

**SURVEYOR ORGANIZATION**

GRANACKI HISTORIC CONSULTANTS

**SURVEY DATE**

2/17/2012

**Historic Info Compiler**

aoe

**SURVEYAREA**

EVANSTON LAKESHORE PHASE II

**PERMIT/HISTORIC INFORMATION**

**CURRENT ADDRESS**

1206 [ ] HINMAN AVENUE

**OLD ADDRESS (city dir.year)** 108n Hinman Ave (Ludlam), Village of Evanston. In 1893 the City of Evanston renumbered the once-separate villages of Evanston (n) & South Evanston (s).

**DATE OF CONSTRUCTION** 1857 (circa)

**MOVING INFORMATION**

**BUILDING MOVED?** Yes

**MOVING PERMIT #** Ev Press 1889.04.20 **DATE** 1889

**MOVED FROM** NW corner Chicago Ave & Grove (present-day 1510 Chicago Ave) for Mrs Ludlam.

**ORIGINAL PERMIT INFORMATION**

**BLDG PERMIT #** NU minutes **DATE** c1857

**BUILDING PERMIT DESCRIPTION** [2-story dwelling at 1206 Hinman Ave (after moved) on 1899 Sanborn map]

**COST** [ ]

**ORIGINAL OWNER** Ludlam, Dr. Jacob

**ORIGINAL OWNER OCCUPIED?** yes

**ORIGINAL ARCHITECT** [ ]

**ARCHITECT SOURC** [ ]

**BUILDER** [ ]

**EXTERIOR ALTERATION PERMITS**

BP3887, 1910.02.15, 2-story dwelling 28'x56'x35'h, 8 rooms \$1500, owner/archt JW Hebert.

**OTHER PERMIT INFO**

BP7783, 1918.12.26, additionto garage plaster on metallath 10x10x12'h \$125, ownerJW Hebert. BP10998, 1923.05.03, 1-story frame playhouse 10'x10'x7'h \$75, owner EL Hughes.

**COA INFO**

[ ]

**HISTORIC INFO**

Evanston was platted in 1854. Dr Ludlam (d. 1859) was Evanston's first physician. In 1889 his widow sold her 135'x260' grounds at NW corner Chicago & Grove to the Evanston Club & moved here with her old house.

**OTHER SOURCES**

ELHD n/a. PHOTO at EHC: Ludlam house & grounds, NW corner Chicago & Grove before moved to 1206 Hin; 5"x7" 1206 Hin 1962; real estate photo 1961.

**HISTORIC INFO COMPILER** aoe

1206 Hinman was originally built at Chicago and Grove in 1857 to Evanston's first physician Dr. Jacob Ludlam. The two photos below reveal the original architecture from the late 19th century located on the original plot and its transformation over the years to circa 1970s located on its current plot.

*Figure 1. Property at Chicago and Grove in late 19th century and on current plot c.1970s*



The proposal serves to improve the exterior living space and return the facade to similar style as the original home. The project includes re-siding the home with fiber cement board, new window trim, rehabilitation of the box gutters, demolition of the side porch and rebuilding with structural footings, opening of the front porch with similar roof line, widening the rear porch, moving the front stair entrance to the north elevation, and adding two new roof structures over the north entrance and above a three season room on the south deck.

Factors considered for historical significance:

1. Ownership - Built as a Greek revival to Jacob and Mary Ludlam. After dying of typhoid, Mary donated the land and relocated to current plot.
2. Relative to historical district - The home sits on a 1.5x plot and backs up to commercial.
3. Architectural detail - Original wood siding with shudders, crown window trim, box gutters, front entrance to the south east, and gable roof. Home rear addition in early 20th century when the wood siding was covered in stucco. Later, box gutter were roofed over and aluminum gutters attached to fascia added aluminum soffits. Front porch entrance was enclosed as a sun porch.

The current mix of architectural details is inconsistent. The renovations were likely influenced by local Prairie style movement. The enclosed front porch echos some of this style with wide picture windows, solid railing, and cantilevered corners eaves. Unfortunately, this style is unmatched with all other elevations and is even conflicted with the gable roof in the same elevation. Further, the extent of the cantilevered eaves are distorted by the roofed over gutters.

Figure 2. Stucco applied directly on top of old wood siding and roof over box gutters.



Figure 3. Views of the home



**Demolition:**

- Stucco, and underlying wood siding where applicable
- Rear porch structure including wood framing, brick footings, roof, railing and stairs
- Approximately 3ft of existing roof including asphalt shingles, ice and shield, sheathing, and rafters to rebuild slope of roof to previous box gutters
- Front porch facade including wood framing, windows, and beams. Structural framing to remain.
- Front entrance structure (north side only) including wood framing, railing, and stairs
- Side porch structure including wood posts, wood railing, concrete floor, concrete steps. Final grading to remove dirt and level.
- Front and side porch roof
- Gutters, fascia, frieze, soffits, and moldings

**Finishes**

- Railing for the front and side porch to be custom wood rail 24" tall with white square balusters
- Railing for the back porch to be TimberTech Impression Rail Express with white square balusters
- Decking to be of TimberTech AZEK patio boards, standard (5.5") width
- Columns to be wrapped with flat PVC, color white
- Siding to be of Hardie Plank Lap Siding, Smooth, 5.25" width (5" exposure), with non-vented smooth soffit panels. Fascia and frieze board to be of flat white
- Window and door casing to be of PVC

**Design Loads and Soil**

- Decks: 70 P.S.F.
- Soil Bearing Capacity: 3000 P.S.F.
- Stairs: 40 P.S.F.
- Guardrails: 200 P.S.F.
- Frost line: 42 in.

**Footings**

- 18in diameter x 18" thickness footing, sitting 42" deep at front line
- 12 in diameter pier to surface with #4 rebar dowels connecting footing and pier, approx. 26" thick
- Simpson Strong Tie Z-Max ABA post base with J anchor

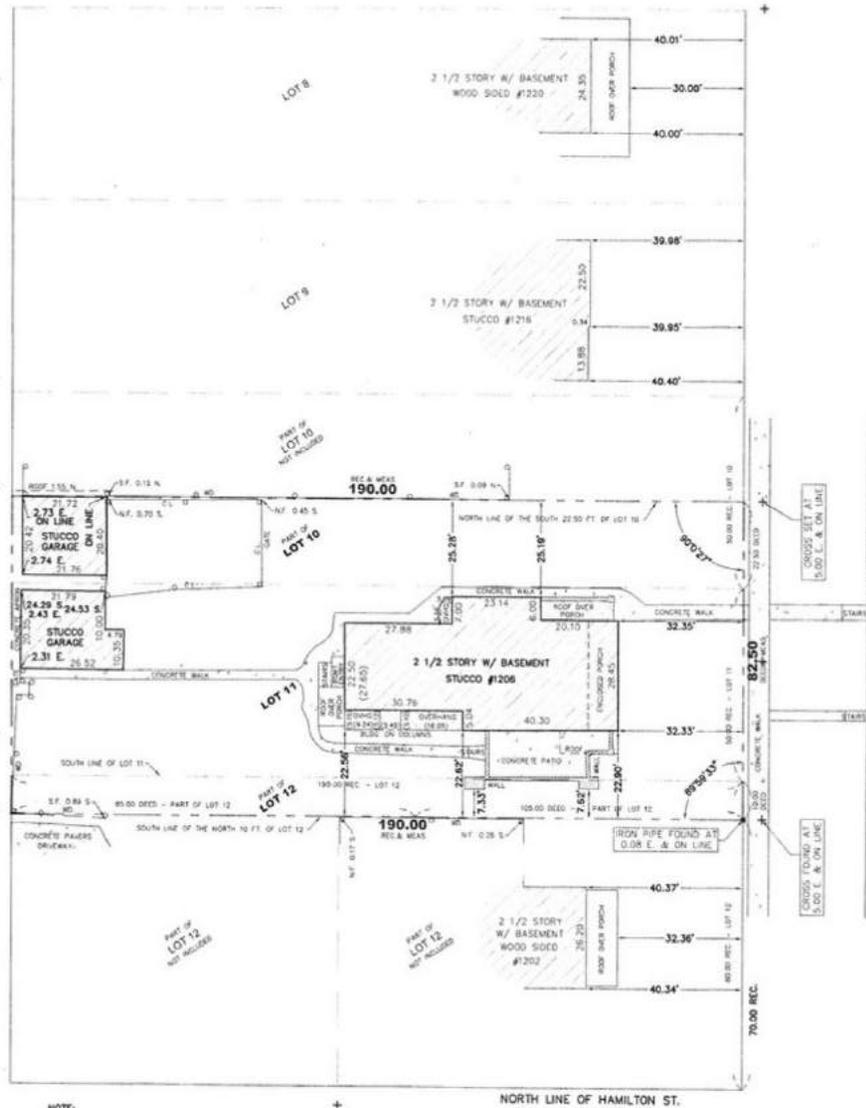
**Lumber**

- All material to be of pressure treated pine
- Side Porch:
  - 6x6 post @ 15 pcs
  - 4x12 beam (x2)
  - 2x10 joists spaced 12 in oc
- Front Porch (new):
  - 6x6 post @ 5 pcs
  - 4x10 beam
  - 2x8 joist spaced 12 in oc
  - 4x8 porch roof beam (1 LVL required between two beams outside portico)
  - 2x6 rafters spaced 16 in oc
- Back Porch:
  - 6x6 post @ 2 pcs
  - 4x10 beam
  - 2x8 joist spaced 12 in oc
  - 4x8 porch roof beam
  - 2x6 rafters spaced 16 in oc

**Three Season Room**

- 2x6 studs for framing spaced 16 in oc
- 4x8 porch roof beam (2 pcs, LVLs to support bi-fold doors)
- 2x6 rafters spaces 16 in oc
- Insulated ZIP system sheathing R9 insulated panel, tape all seams
- Rockwool R23 batt insulation between studs
- 1/2 in drywall
- Fiberglass insulation between floor joists, covered with rigid foam insulation and wire mesh





**HINMAN AVE.**  
100 FT. PUBLIC R.O.W. (BLACKTOP)

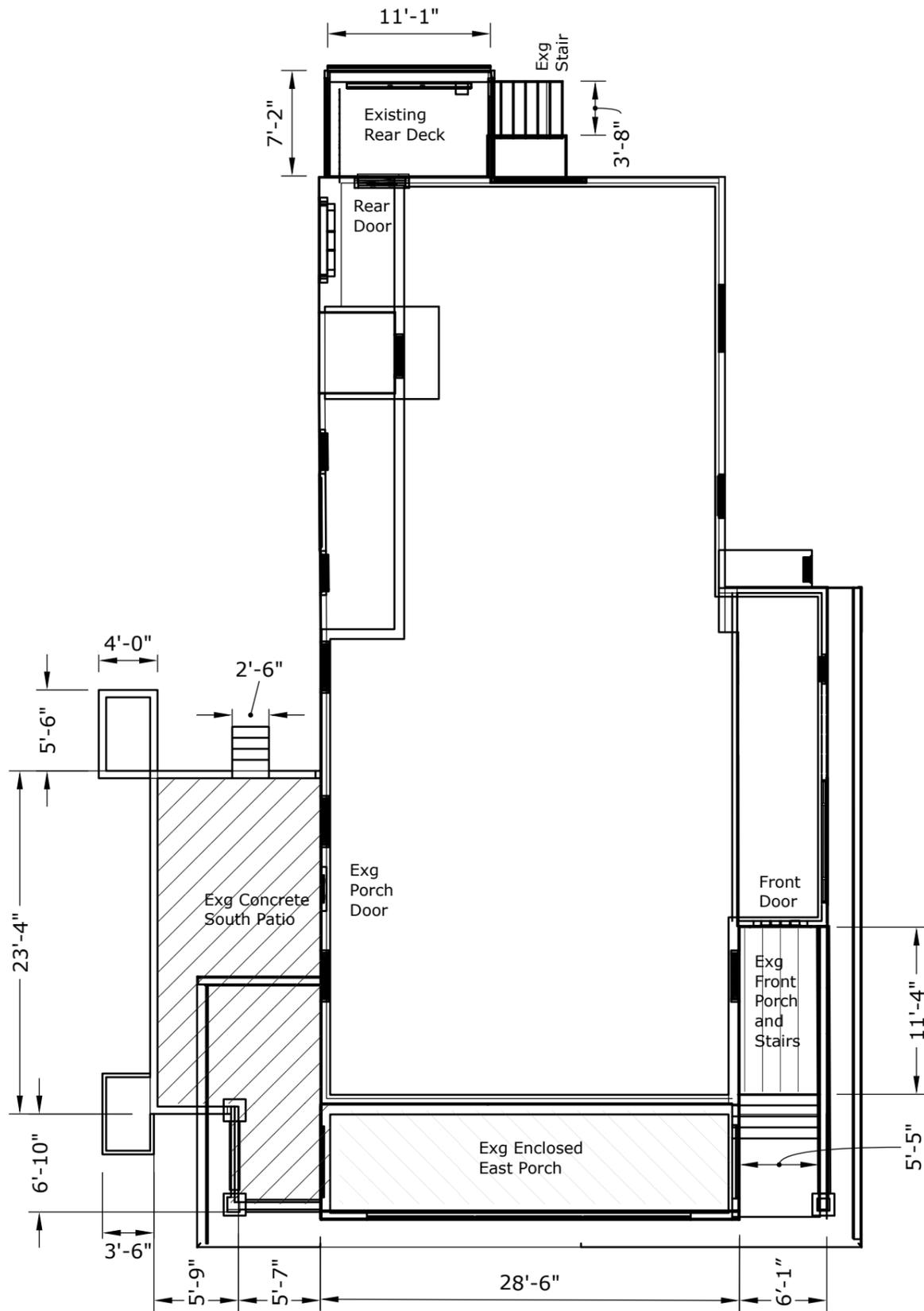
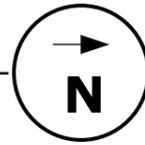
NOTE:  
1. SETBACKS, EASEMENTS OR CLAIM OF EASEMENTS (IF ANY) NOT KNOWN FOR SURVEYOR.  
2. POSSIBLE EASEMENT ALONG NORTH PROPERTY LINE (PER FIELD OBSERVATION).



STATE OF ILLINOIS  
COUNTY OF COOK, S.S.  
ANDREW SREBNIK LAND SURVEYOR, INC. A PROFESSIONAL DESIGN FIRM  
LAND SURVEYING CORPORATION LICENSE No. 184-000118  
HEREBY CERTIFIES THAT A SURVEY HAS BEEN MADE UNDER THE DIRECTION  
AND SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR OF THE  
ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT  
REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE  
CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.  
FIELD WORK WAS COMPLETED ON 15<sup>TH</sup> DAY OF JUNE A.D. 2018  
CHICAGO, ILLINOIS DATE OF PLAT 27<sup>TH</sup> DAY OF JUNE A.D. 2018

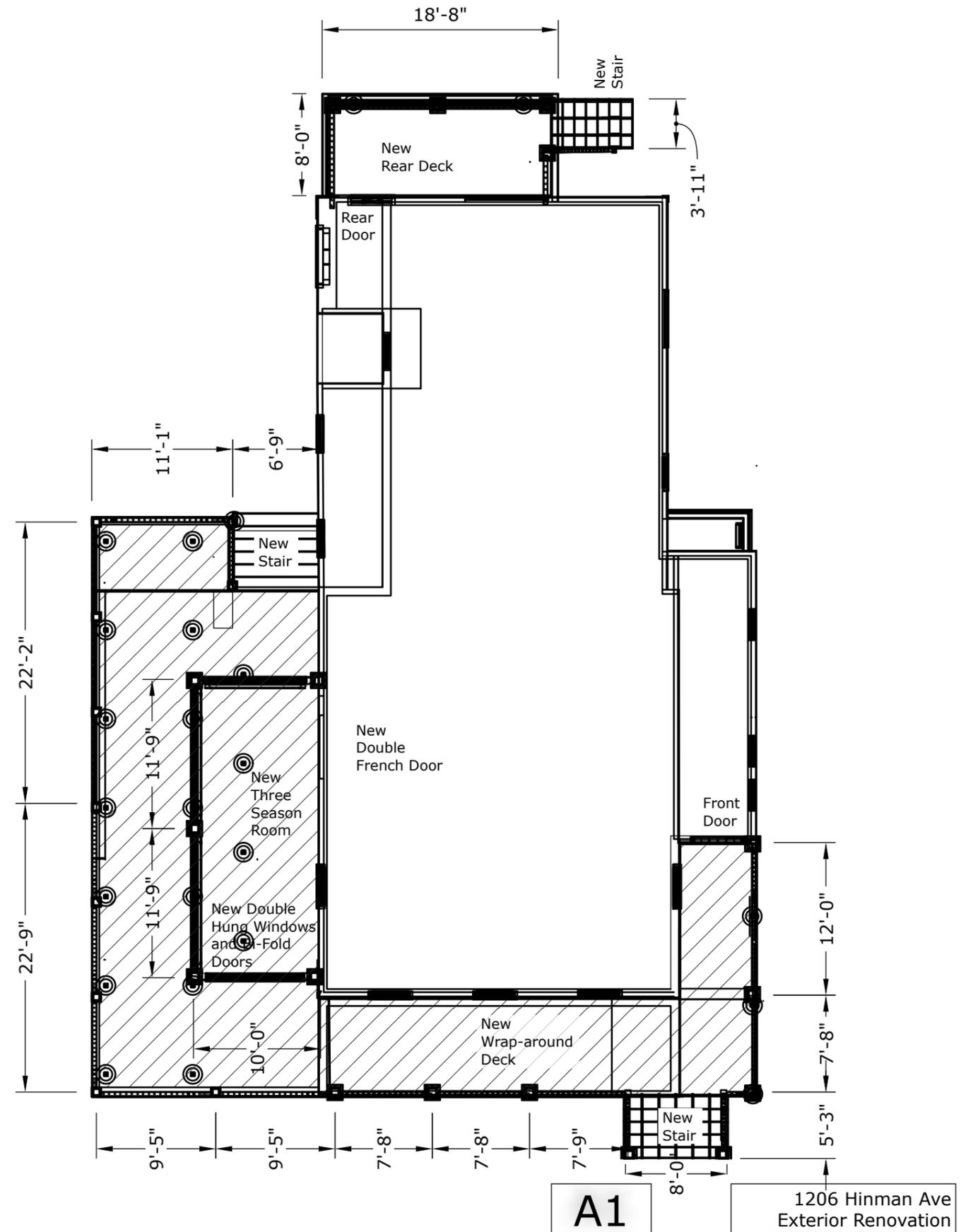
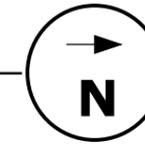
# Existing Site Plan

1" = 10'



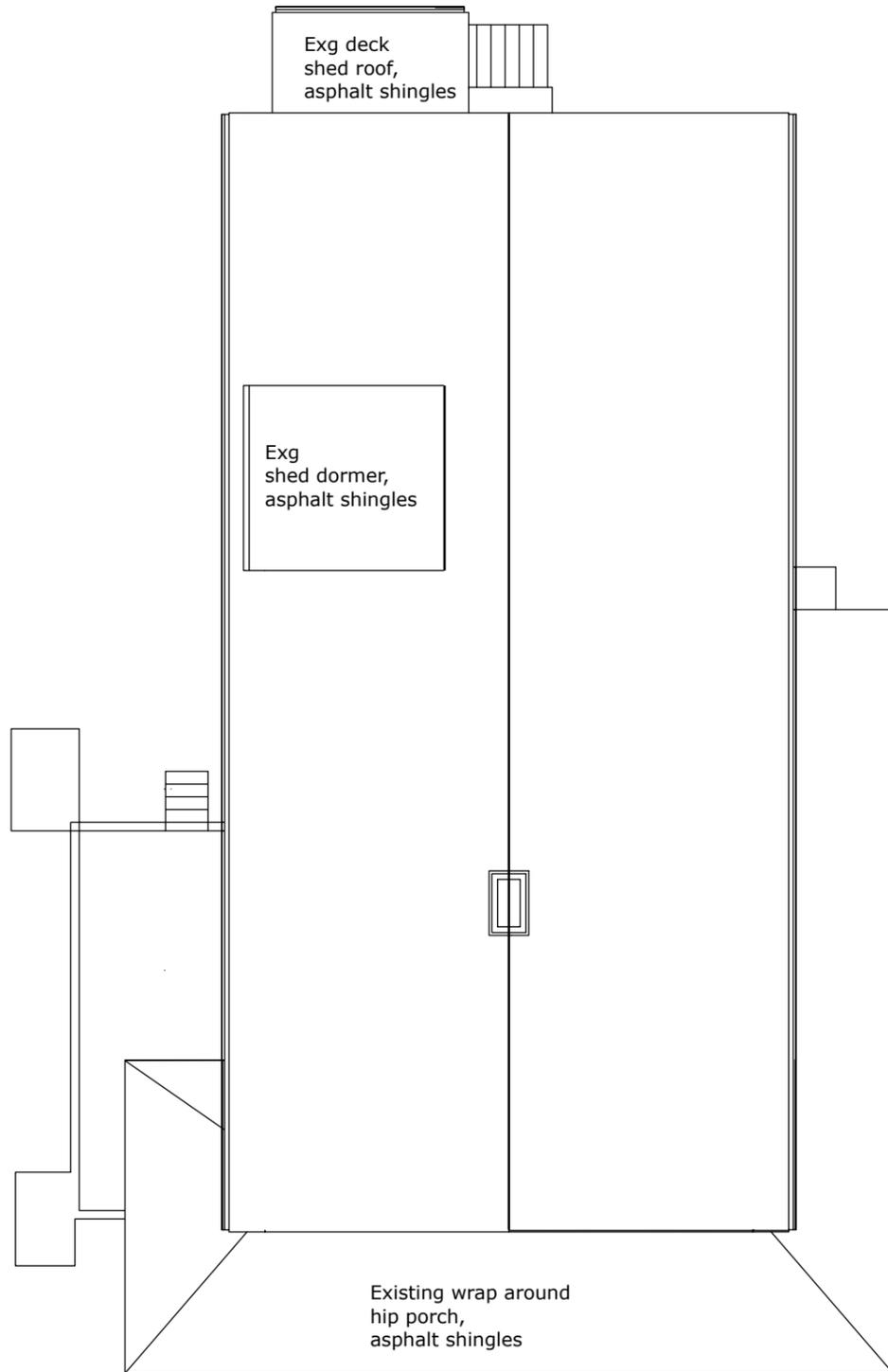
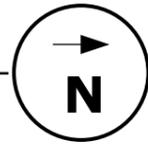
# Proposed Site Plan

1" = 10'



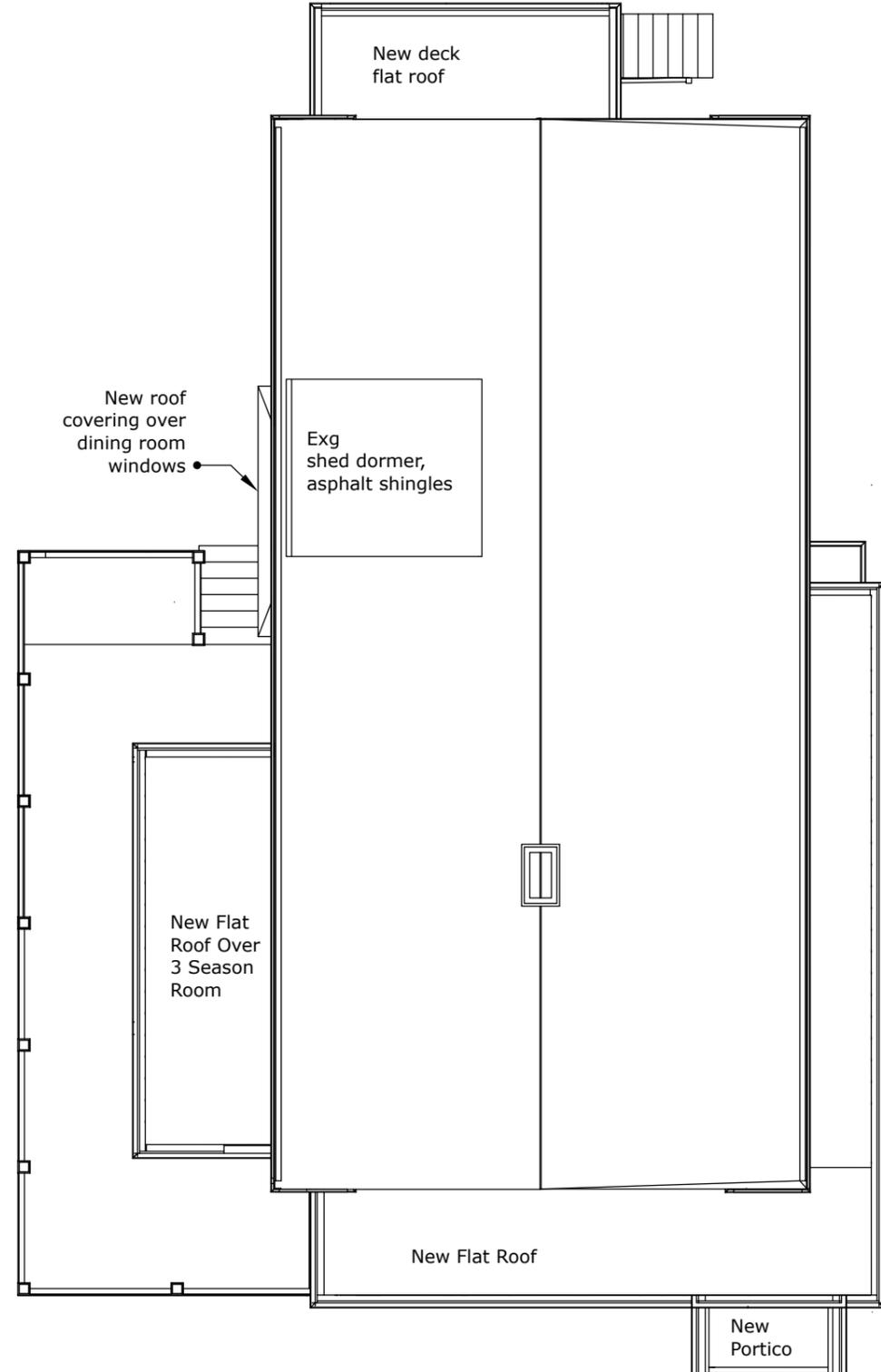
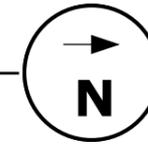
# Existing Roof

1" = 10'



# Proposed Roof

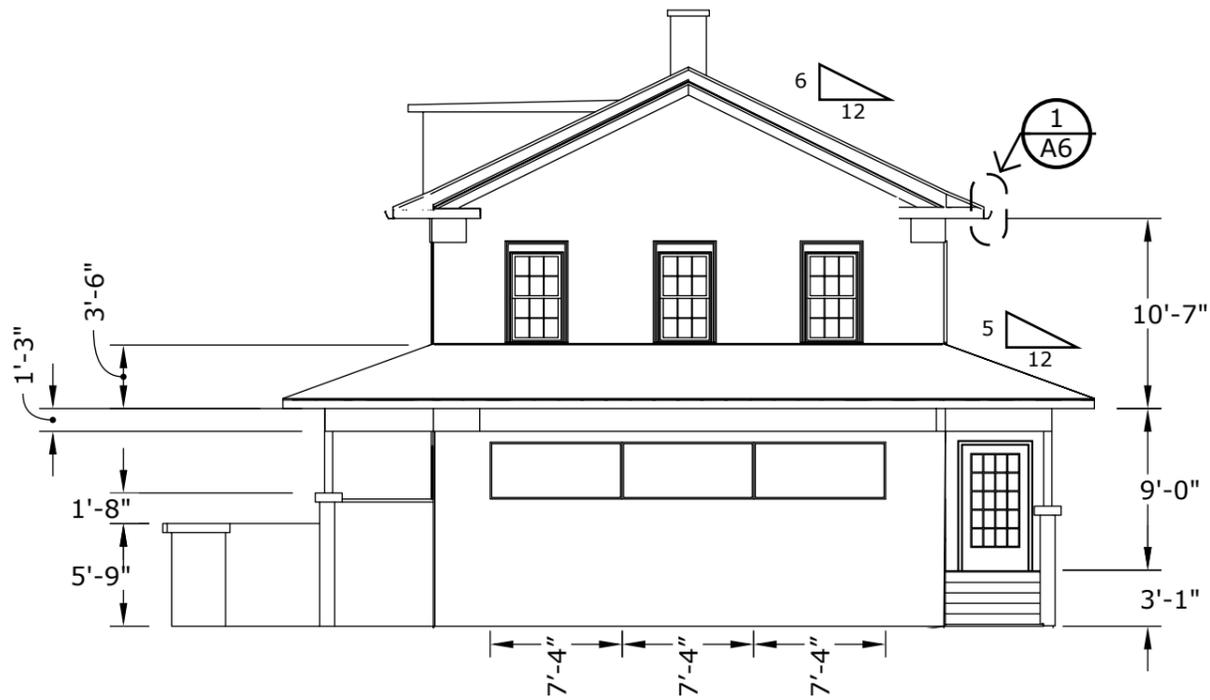
1" = 10'



### East Elevation Existing

1

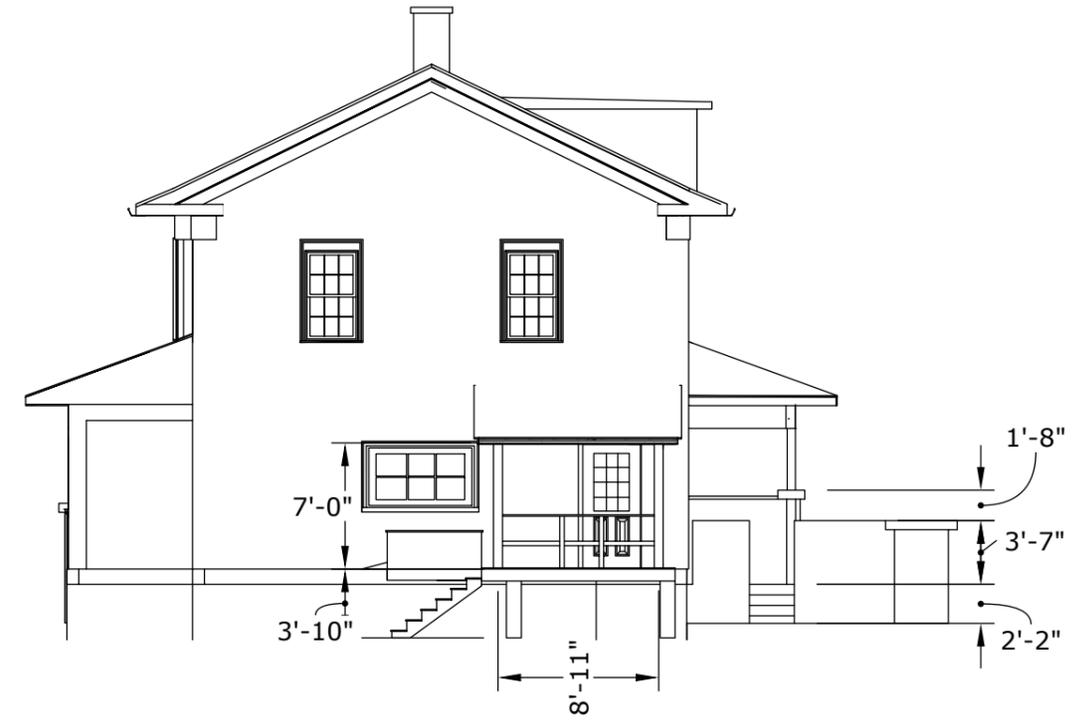
1" = 10'



### West Elevation Existing

3

1" = 10'

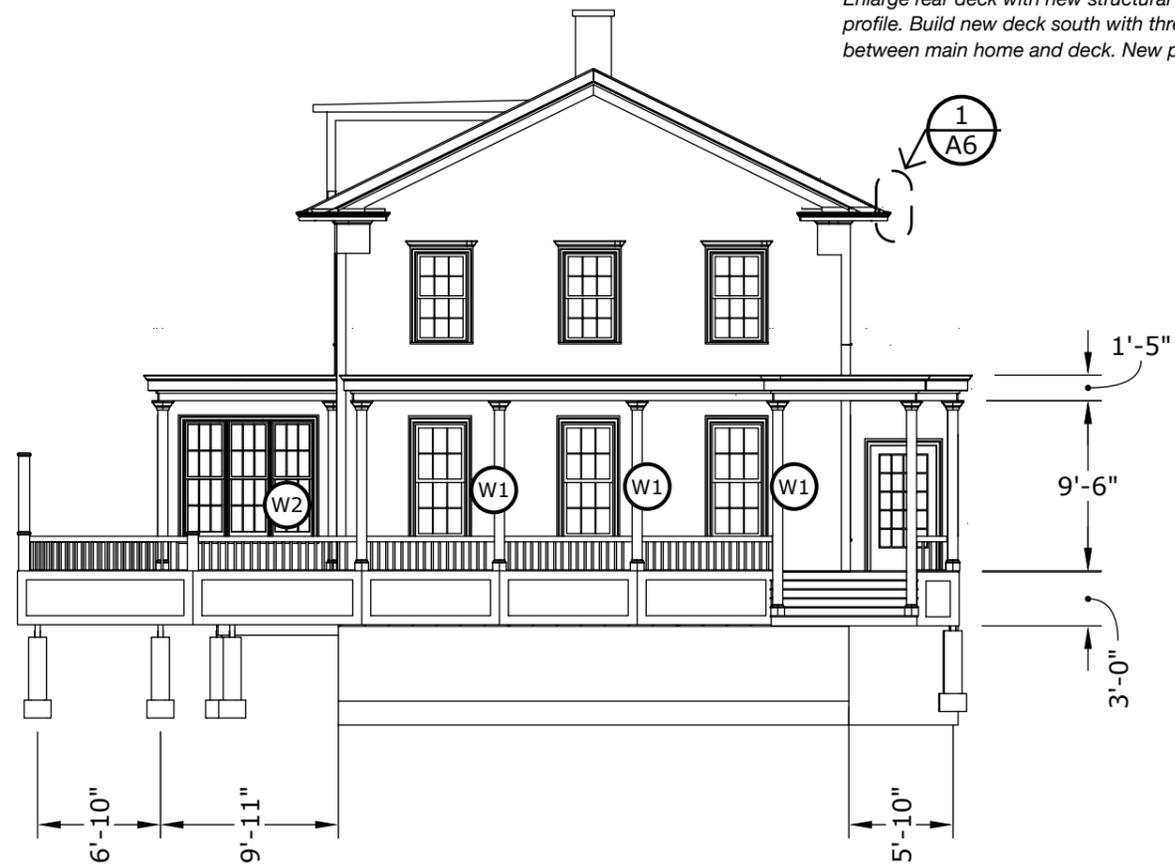


### East Elevation Proposed

2

1" = 10'

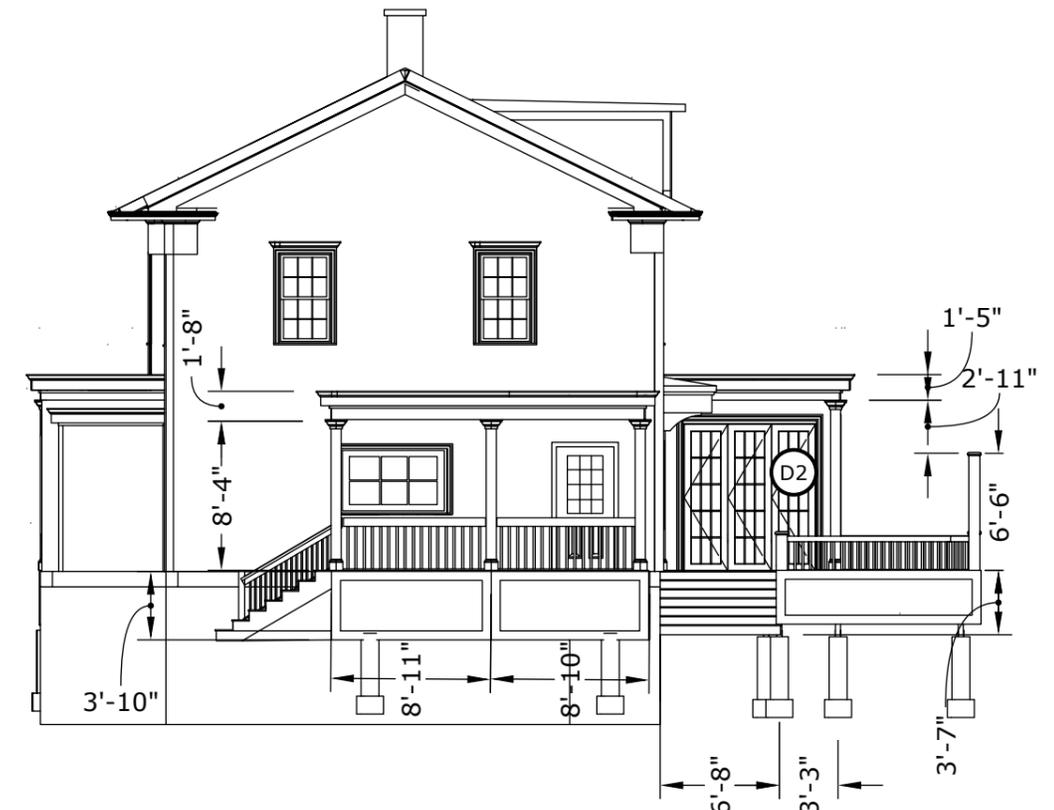
*Proposal is to re-open the front porch to reveal the home's original frame. Enlarge rear deck with new structural footings and new roof with flat roof profile. Build new deck south with three season room for transition between main home and deck. New portico. Front porch railing 2 ft. high.*



### West Elevation Proposed

4

1" = 10'



A3

1206 Hinman Ave  
Exterior Renovation

# South Elevation Existing

1

1" = 10'



Windows and Door Schedule  
 All windows to be of Marvin Ultimate with 7/8" SDL.  
 Front patio door to be of Marvin Ultimate but side patio and three season room doors to be of Marvin Elevate.

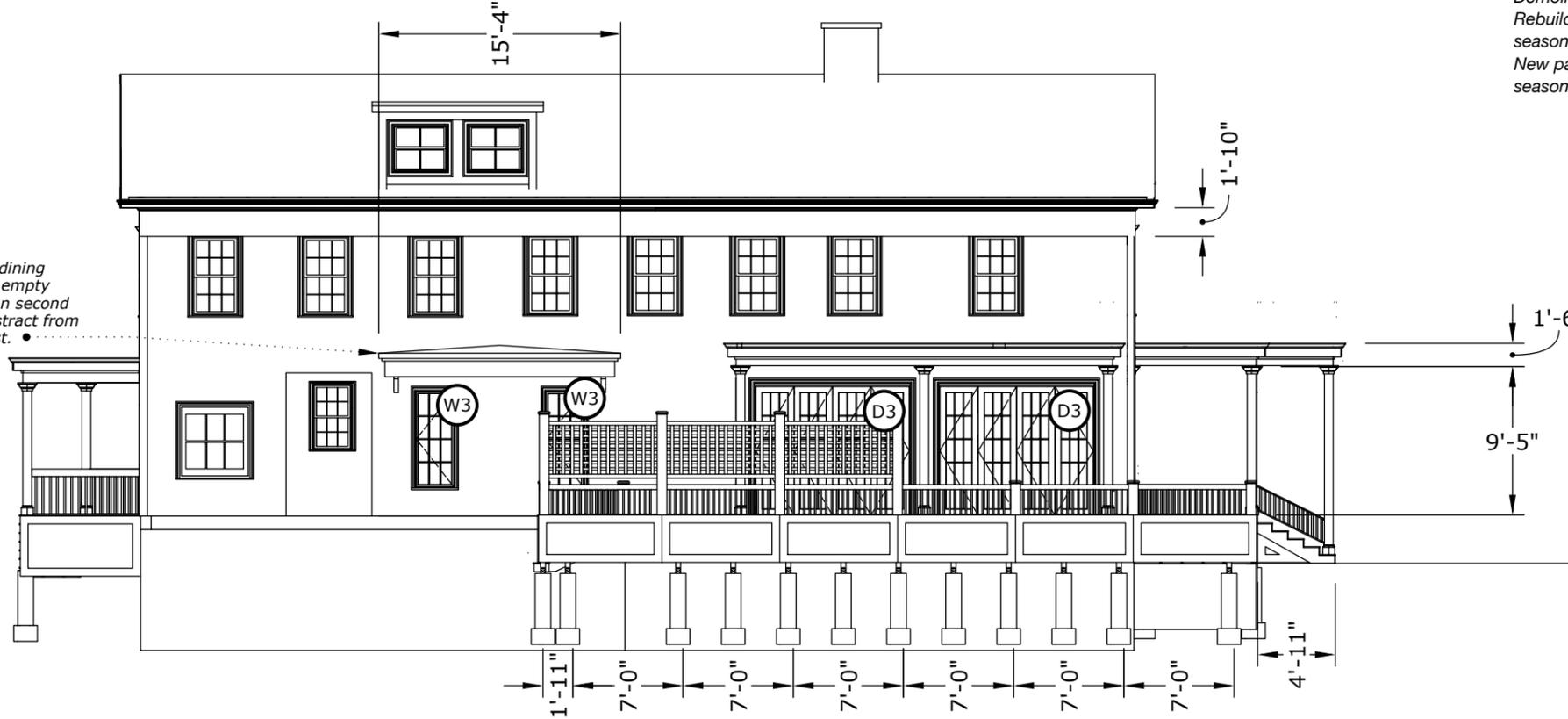
	Type	Frame Size
W1	Double Hung UDHG2 3036	35 1/4" x 79 1/2"
W2	Double Hung UDHG2 2436	29 1/4" x 79 1/2"
W3	Casement UCA 3272	32" x 71 1/8"
W4	Casement UCA 2464	24" x 63 1/8"
W5	Double Hung UDHG2 2028	25 1/4" x 63 1/2"
D1	Elevate French ELIFD5080XX	59" x 95 1/2"
D2	Ultimate BiFold 4L0R/4R0L	120 3/4" x 103 7/8"
D3	Ultimate BiFold 2L1R	91 1/2" x 103 7/8"

# South Elevation Proposed

2

1" = 10'

Roof covering above dining windows to break up empty space between first and second for window and to distract from the recess to the west.

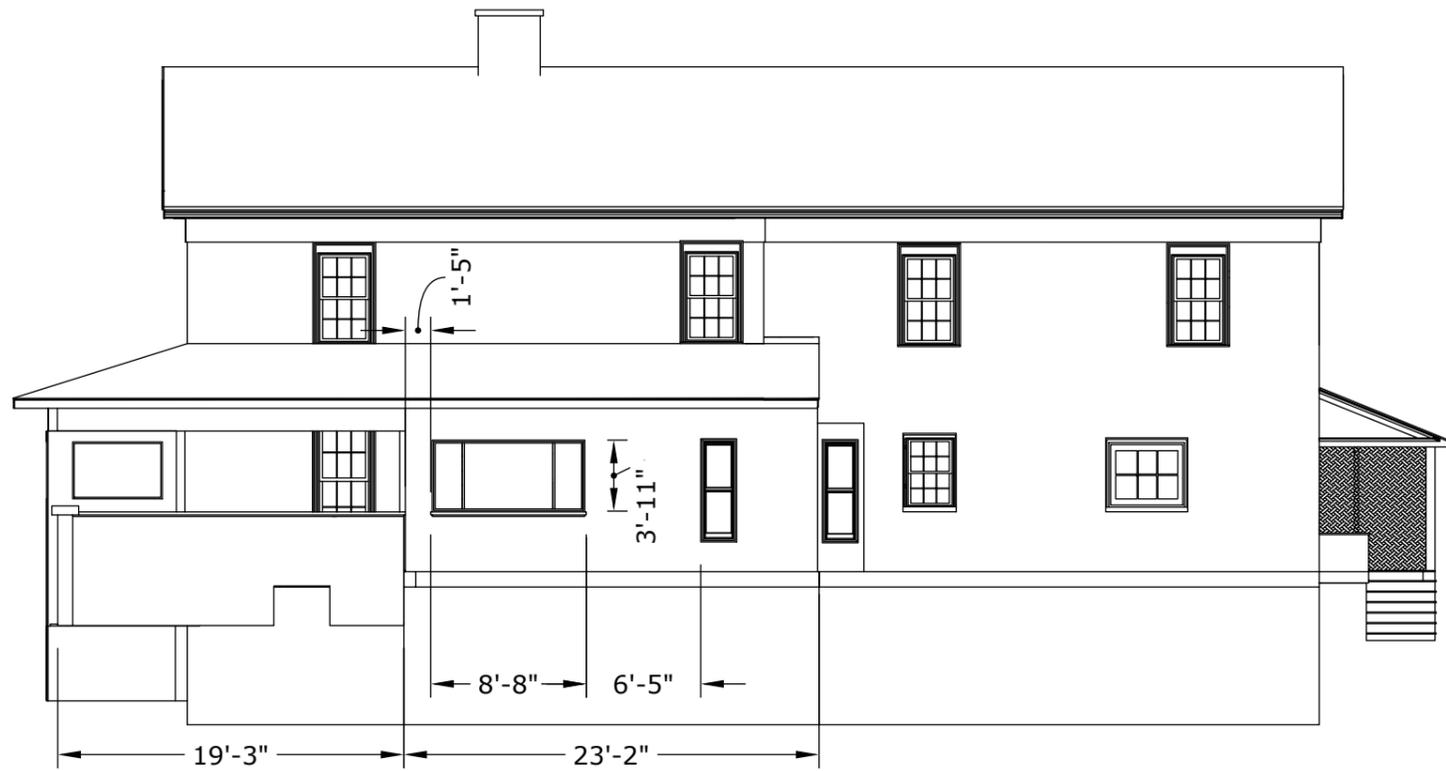


Demolition the concrete patio due to poor structural integrity. Rebuild the deck with new structural footings. Add new three season room on the deck to include 3 bi-fold door and windows. New patio French doors from the existing home to the three season room.

# North Elevation Existing

1

1" = 10'

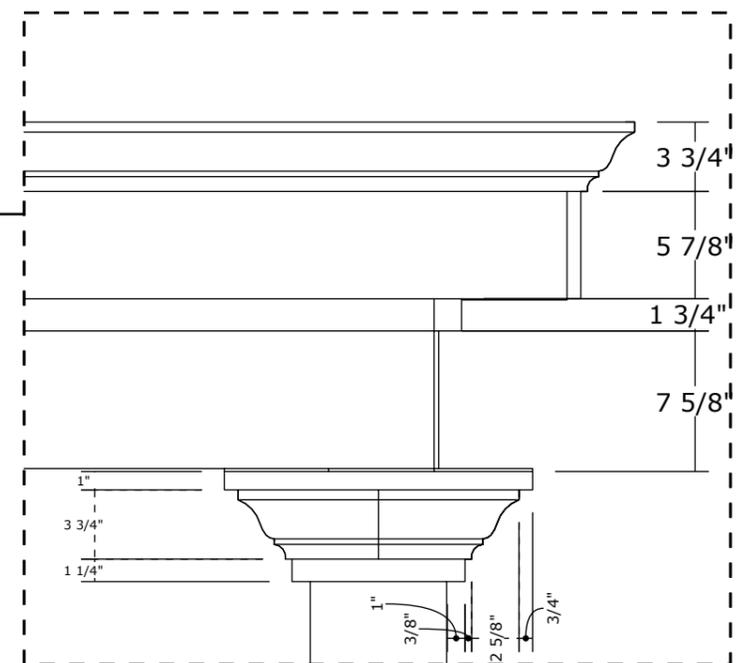


# North Elevation Proposed

2

1" = 10'

Add new roof covering patio and stairs to front entrance.  
Connect porch from East and South elevations.



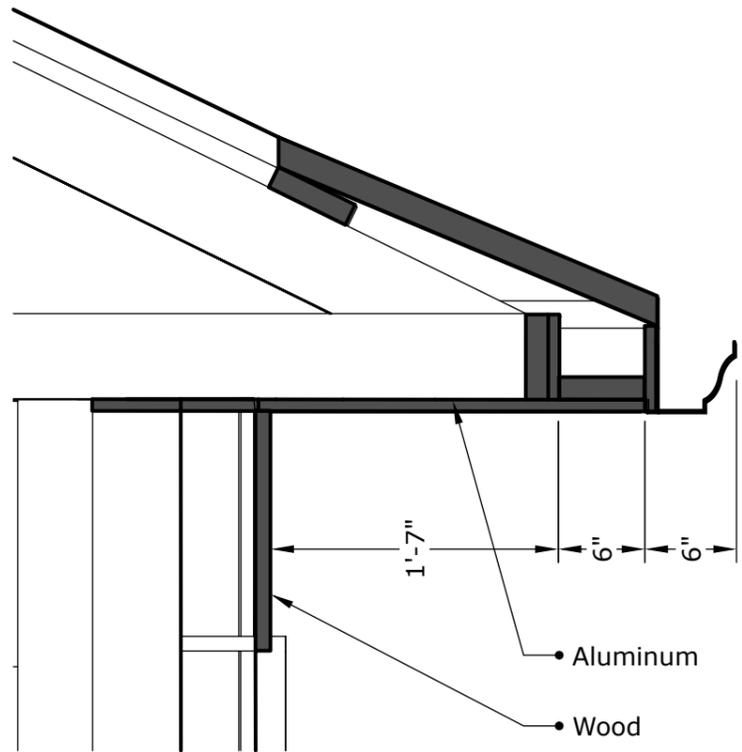
A5

1206 Hinman Ave  
Exterior Renovation

### Gutter Existing

1" = 1'

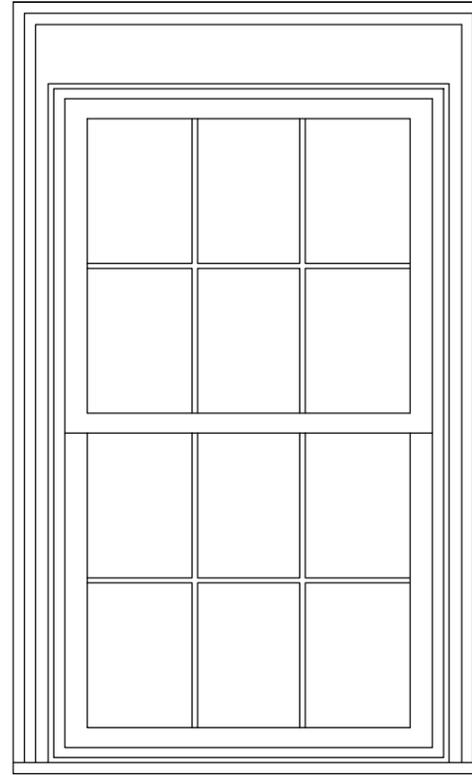
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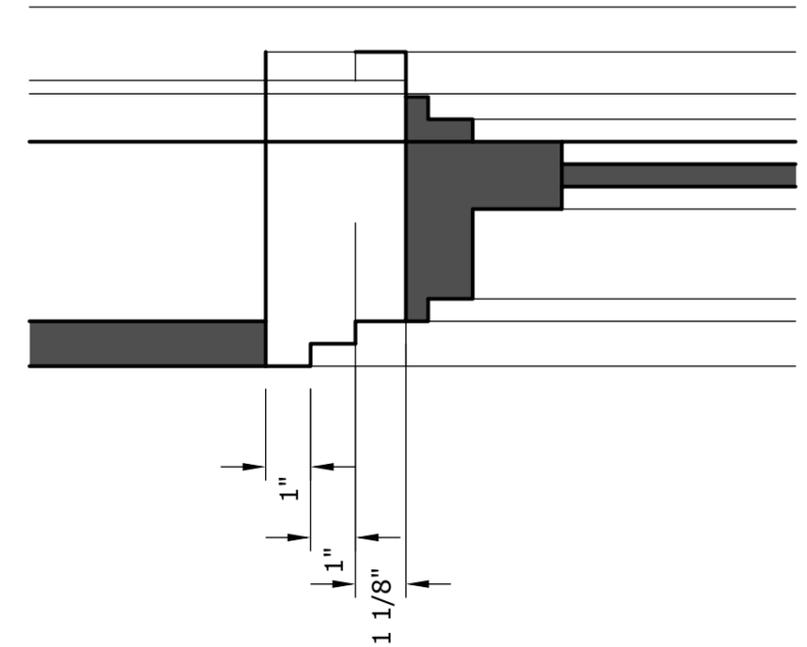
### Trim Existing

3/4" = 1'

3



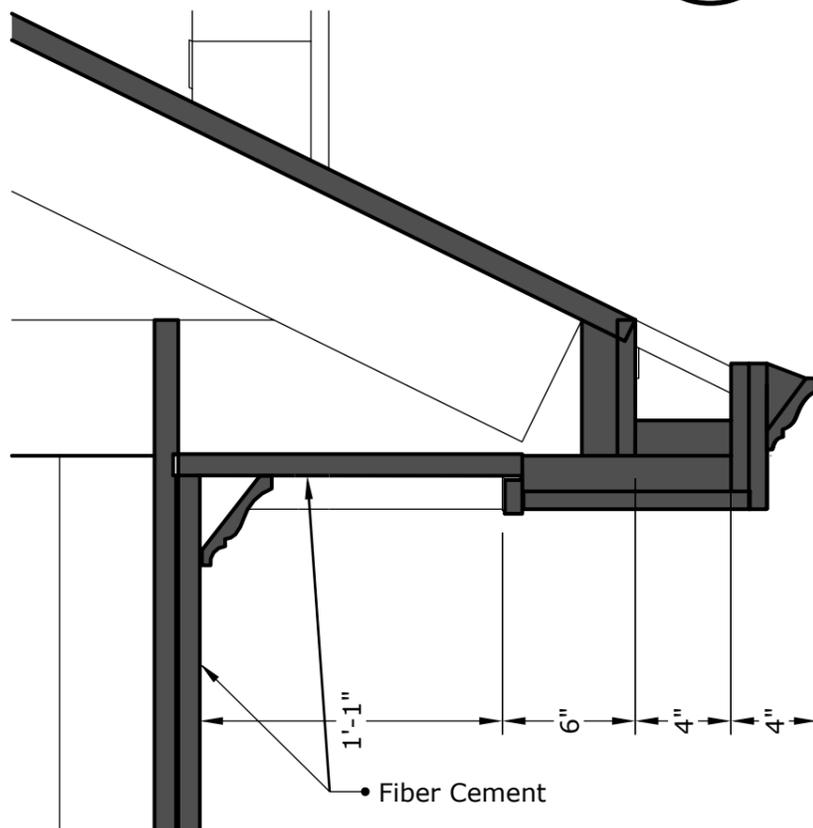
3" = 1'



### Gutter Proposed

1" = 1'

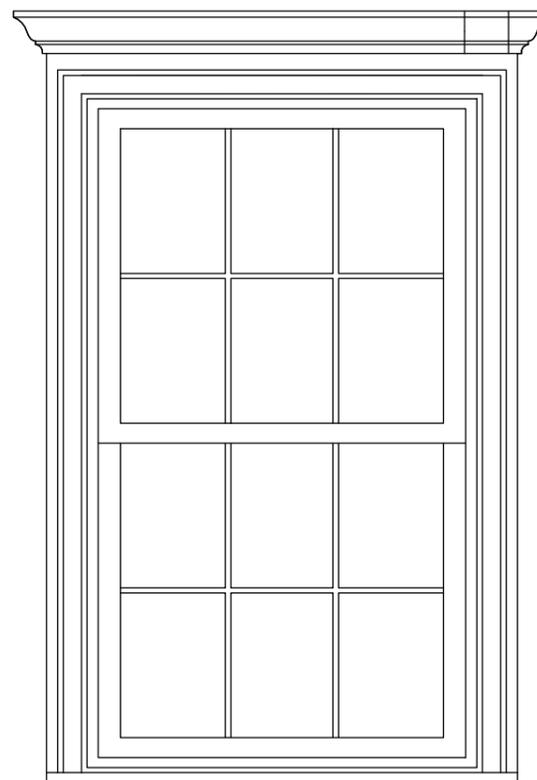
2



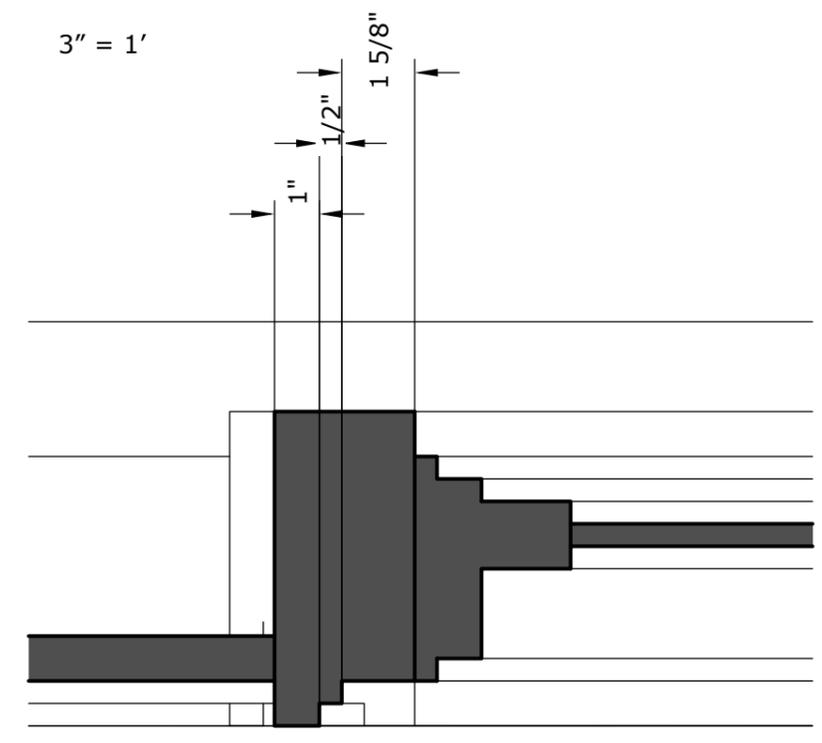
### Trim Proposed

3/4" = 1'

4



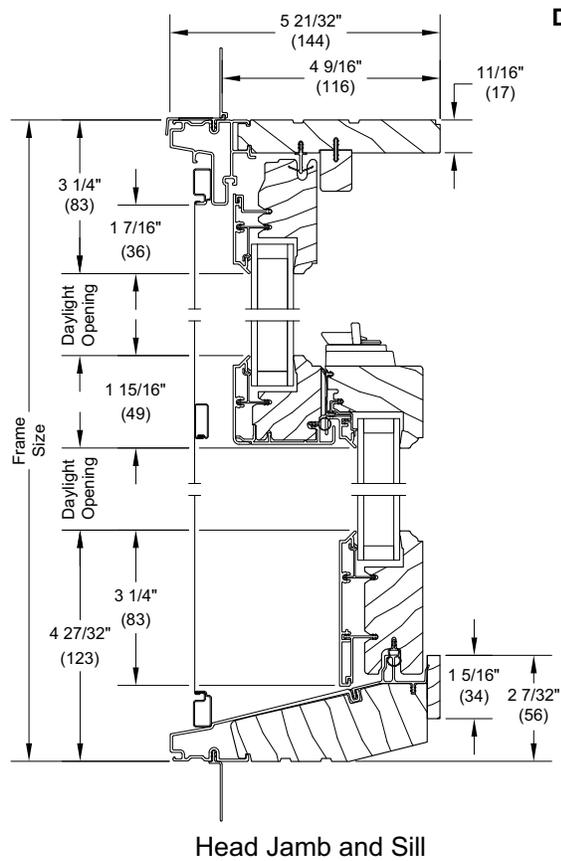
3" = 1'



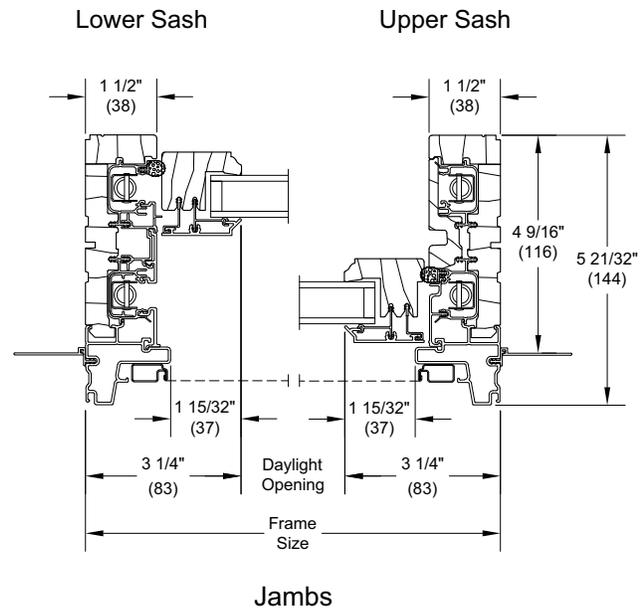
*New siding recessed to window and door trim to accommodate varying depth of wall sheathing.*

**Section Details: Operating**

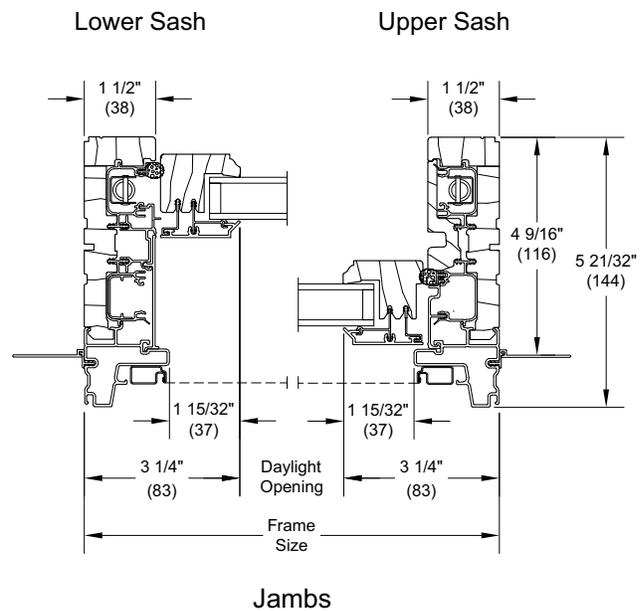
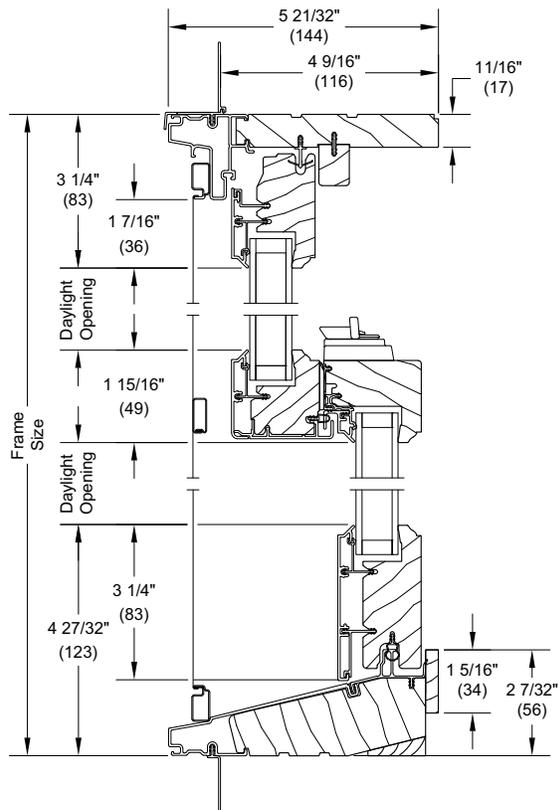
Scale: 3" = 1' 0"



**Double Hung**

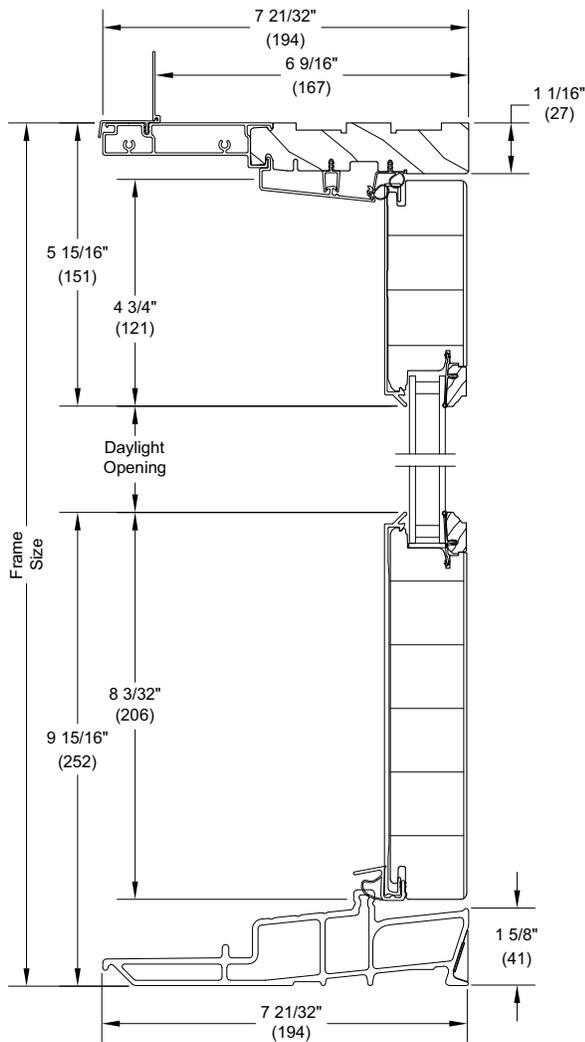


**Single Hung**

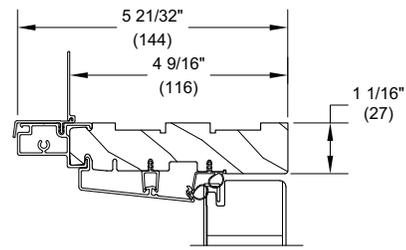


**Inswing Section Details: Operating**

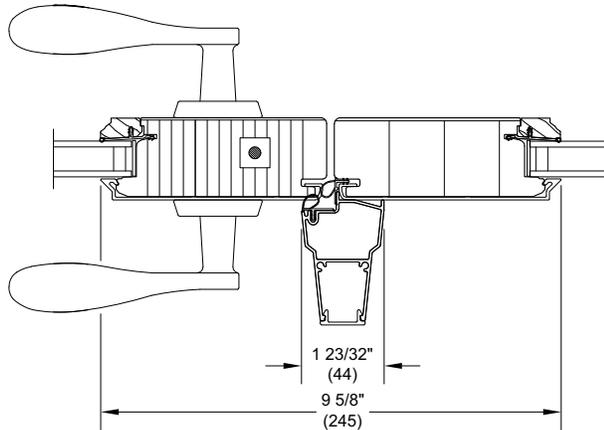
Scale: 3" = 1' 0"



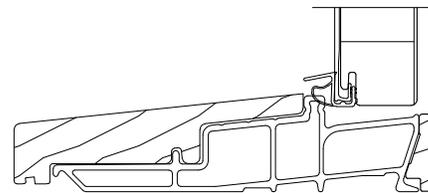
**Head Jamb and Sill**



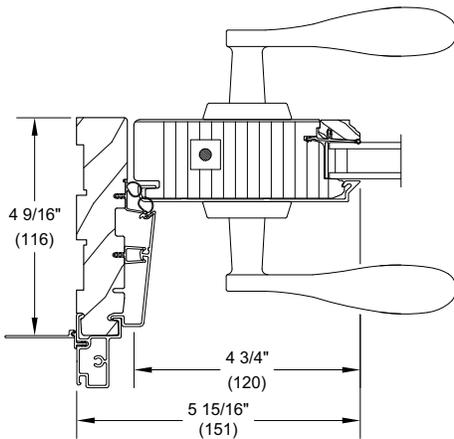
**4 9/16" Head Jamb**



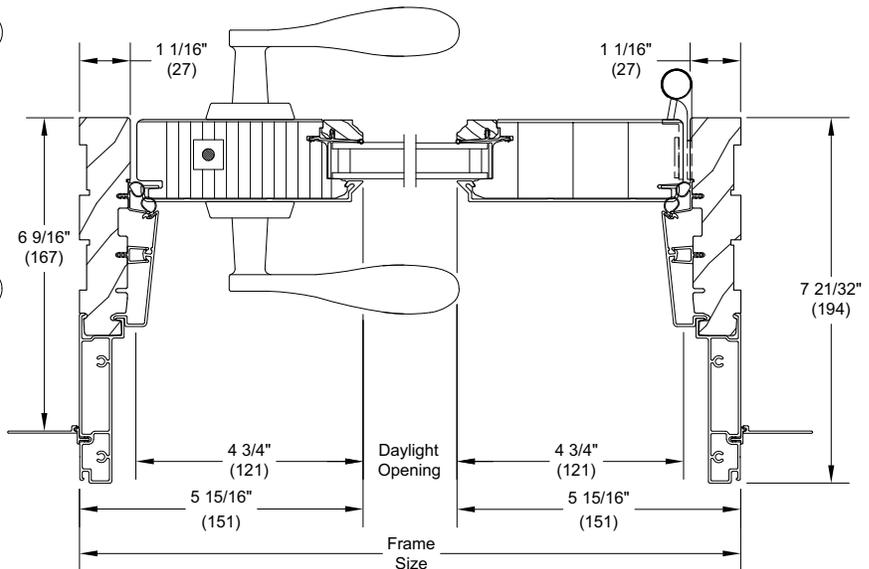
**XO L - Meeting Stiles**



**Optional Exterior Mahogany Sill Cover  
Optional Interior Sill Liner**



**4 9/16" Jamb**



**X R Jamb**

2243 Orrington Avenue  
21PRES-0011

## Certificate of Appropriateness

Jeanie Petrick, architect, applies for a Certificate of Appropriateness to demolish an existing detached, alley-accessible garage, and construct a two-story detached Accessory Dwelling Unit with first floor garage and second floor living space in the Northeast Historic District and R-1 Single-Family Residential Zoning District. The Preservation Commission is the determining body for this case. Applicable standards: [Construction 1-5, 7, 8, and 10-16]; and Demolition [1-6]



# MEMORANDUM

To: Honorable Members of the Preservation Commission  
From: Cade W. Sterling, City Planner  
Subject: 2243 Orrington Avenue – 21PRES-0011  
Date: February 4, 2021

## Public Notice

Jeanie Petrick, architect, applies for a Certificate of Appropriateness to demolish an existing detached, alley-accessible garage, and construct a two-story detached Accessory Dwelling Unit with first floor garage and second floor living space in the Northeast Historic District and R-1 Single-Family Residential Zoning District. The Preservation Commission is the determining body for this case. Applicable standards: [Construction 1-5, 7, 8, and 10-16]; and Demolition [1-6]

## Architectural Significance

Located midblock in the north central portion of the Northeast Historic District on the east side of Orrington Avenue between Dartmouth Place to the North and Noyes Street to the South, 2243 Orrington Avenue is a masonry Queen Anne styled home constructed in 1892. The property was designed by Stephan A. Jennings, a prolific architect in Evanston who designed many additional Landmark homes. The property was commissioned by Northwestern University. The property is a contributing structure in excellent condition and retains excellent integrity despite window replacement on the front elevation.

The property includes a contemporary single-story two-car detached garage clad in aluminum siding and hipped roof.

Surrounding properties are predominately large-lot single-family residences although many institutional resources are located immediately east of the subject property. The individual properties within and surrounding the block retain significant architectural integrity and the block as a whole retains significant integrity of setting with mature shade trees and expansive front-yards. The immediate area contains five (5) Local Landmarks including the property immediately to the south and those across the street to the west.

## Proposal

The applicant proposed demolition of the contemporary vintage single-car garage and replacement with a two-story coach house with similar ground floor footprint. The coach house is clad in 4" wood siding at the ground floor and wood shingles at the top floor with a tapered transition between stories. The structure has an open gable roof with deep eaves and asphalt shingles.

- East Elevation (Rear-Volume)  
The proposed east elevation has asymmetric fenestration with off-center paneled wood garage doors below a series of three aluminum clad wood double-hung multi-light six-over-one (SDL) windows.
- West Elevation (Front Elevation facing rear of principle structure)  
The west elevation has similar irregular fenestration with main entry to the ground floor garage with a standing seam metal roof covering with curved bracketing below a series of two aluminum clad wood double-hung multi-light six-over-one (SDL) windows to the north and a smaller double outswing casement to the south.
- North Elevation  
The north elevation has minimal fenestration with three smaller fixed windows, one centered below the open gable, one offset to the east, and one double fixed window centered below the tapered wood trim. This elevation is the closest to the neighboring property to the north – facing an open backyard with no adjacent accessory structure.
- South Elevation  
The south elevation has a regular fenestration pattern with single fixed window centered below the open gable and above two centered aluminum clad wood double-hung multi-light six-over-one (SDL) windows. This elevation has single wood door accessing the stair to the dwelling unit above.

#### Public Comment

Staff has received no public comment to date.

#### Recommendation

The Northeast Historic District is well known for its significant outbuildings including garages, barns, and coach houses. Contributing and Landmark coach houses within the District (17 in total) are generally high style in design and a miniature of their generally large and substantive corresponding main houses. As such, staff finds the proposal to be appropriate in form, mass, and materiality and believes the proposal is a companion piece to the main house as well as the Districts history of significant outbuildings which maintain a consistent design vocabulary with their principle structures while exhibiting their own contemporary authenticity.

Staff recommends the following standards be applied and appropriate action taken. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

#### **Construction**

1. Height. Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. Proportion of facades. The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. Rhythm of solids to voids in facades. The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. Rhythm of spacing and structures on streets. The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. Relationship of materials and texture. The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. Roof shapes and roof mounted equipment. The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. Scale of a structure. The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. Directional expression of facades. A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. Original qualities. For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. Archaeological resources. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. Innovative design. Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. New additions. Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

16. New construction. In considering new construction such as a new free standing structure, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

## **Demolition**

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.

2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.

3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.

4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

6. Except in cases where the owner has no plans for a period of up to five (5) years to replace an existing landmark or property, structure or object in a district, no certificate of appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.



**Binding Review of Certificate of Appropriateness (COA) &**

**Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

Thank you for submitting your COA application for Preservation Review. This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way. To process your application, submit no less than **15 business days** before the next scheduled Preservation Commission meeting the following: one **(1) hard copy** of the fully completed application and attachments including: plat of survey, site plan, elevation drawings of the existing and proposed, **3D drawings** of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size); and one **(1) digital copy in PDF format of the same**. The Preservation Commission meetings are on the **second Tuesday** of the month. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. The submission of the completed COA **15 business days** prior to the next scheduled meeting date allows the City staff's review of the application and to provide the applicant feedback on the completeness of the COA application. **Incomplete applications will not be accepted.** Refer to the **Supplemental Information**, pages (i - iv) below.

Applications can be submitted in person, by regular mail, electronically via email at [cruz@cityofevanston.org](mailto:cruz@cityofevanston.org) or in a flash drive to the Preservation Coordinator, City of Evanston, Community Development Department, Planning & Zoning Division, Lorraine H. Morton Civic Center, 2100 Ridge Avenue, Room 3201, Evanston, Illinois 60201.

**For new construction, additions, major alterations, and demolition**, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Depending on the case load and during construction season, zoning analysis may take longer. Applicants must give themselves enough time to request a zoning analysis to meet deadlines.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Preservation Commission meets on the **second Tuesday** of the month [see schedule on page (v) below].

Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

**Section A Required Information (Print) \*Refer to the Supplemental Information for guidance [page "i" fifth below].**

<b>1) Property Address:</b> 2243 ORRINGTON AVE.		<b>FOR STAFF USE ONLY</b> Application Number:		
<b>2) Owner's Name:</b> BRIAN PLATHICK & BRYNA KRA		Address: 2243 ORRINGTON		
City: EVANSTON	State: IL.	Zip: 60202	Phone: 847.721.5975	Email/Fax:
<b>3) Architect's Name:</b> JEANIE PETRICK		Address: 240 LEE ST. #2		
City: EVANSTON	State: IL.	Zip: 60202	Phone: 847.721.5975	Email/Fax:
<b>4) Contractor's Name:</b>		Address:		
City:	State:	Zip:	Phone:	Email/Fax:
<b>5) Landmark:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No *Refer to the Supplemental Information for guidance on page (i) (fifth page below).				
<b>6) Within Local Historic District:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No; If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input checked="" type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources				
<b>7) Refer to the completed Zoning Analysis and check as applicable if project requires:</b> <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only. Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.				

**Section B: Application for Certificate of Appropriateness**

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

MY CLIENTS ARE IN NEED OF A COACH HOUSE TO HOUSE THEIR IN-LAWS/PARENTS. THE EXISTING GARAGE STRUCTURE DOESN'T HAVE THE SPACE AND FOUNDATION TO SUPPORT A SECOND STORY.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total GARAGE ONLY	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: WOOD	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material: WOOD	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Air Conditioning Unit	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Façades/Front Porch &amp; Rear Porch Material</b>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Flashing Material</b>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fences</b>
<input type="checkbox"/>	<input type="checkbox"/>	Wood Frame	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Copper	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Stone	<input type="checkbox"/>	<input type="checkbox"/>	Sheet Metal	<input type="checkbox"/>	<input type="checkbox"/>	Wrought Iron
<input type="checkbox"/>	<input type="checkbox"/>	Brick	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Fascias, Soffits, Rakeboards, Trim</b>	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Stucco	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Height: _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Siding	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Length: _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Material, Type: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Terraces, Patios, Decks</b>
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shingle, Material: <u>stained cedar</u>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stone ( <u>Bluestone</u> )
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brick Pavers
<input type="checkbox"/>	<input type="checkbox"/>	<b>Roofing Material</b>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Door Material</b>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete Pavers
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingles	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Poured Concrete
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shakes	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Slate	<input type="checkbox"/>	<input type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>	<b>Driveway Material</b>
<input type="checkbox"/>	<input type="checkbox"/>	Clay Tile	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Other: <u>PTD. WOOD</u>	<input type="checkbox"/>	<input type="checkbox"/>	Asphalt
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Asphalt Shingles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Window Type</b>	<input type="checkbox"/>	<input type="checkbox"/>	Poured Concrete
<input type="checkbox"/>	<input type="checkbox"/>	Metal Sheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Double Hung	<input type="checkbox"/>	<input type="checkbox"/>	Brick Pavers
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Casement	<input type="checkbox"/>	<input type="checkbox"/>	Concrete Pavers
<input type="checkbox"/>	<input type="checkbox"/>	<b>Chimney Material</b>	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Crushed Stone
<input type="checkbox"/>	<input type="checkbox"/>	Brick	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Window Material</b>	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Stone	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wood	<b>Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed):</b>		
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum			
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Steel			
<input type="checkbox"/>	<input type="checkbox"/>	<b>Gutters/Downspouts</b>	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____			
<input type="checkbox"/>	<input type="checkbox"/>	Copper	<input type="checkbox"/>	<input type="checkbox"/>	<b>Muntins</b>	<input type="checkbox"/>	<input type="checkbox"/>	Air Conditioning Unit
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Aluminum <u>PTD.</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Galvanized Sheet	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>	

4) Applicant's Signature: [Signature]  
 Print Name: \_\_\_\_\_

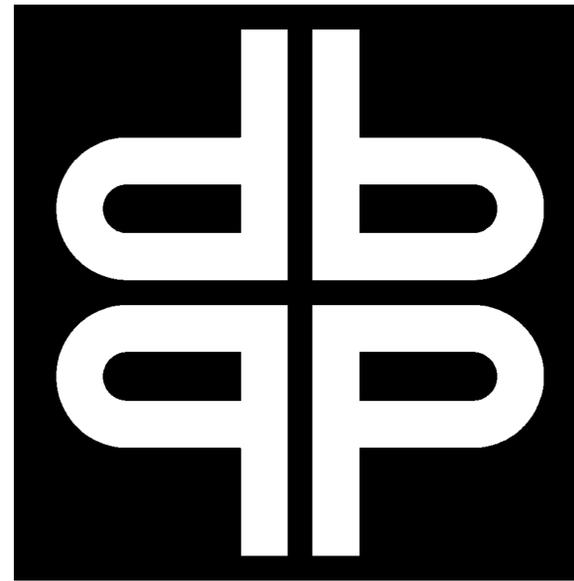
Date: 12/8/2020

Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].

## LIST OF DRAWINGS:

PLATT OF SURVEY  
C1 - CIVIL DRAWINGS  
C2 - CIVIL DRAWINGS  
C2.1- CIVIL DRAWINGS  
A0 - GENERAL NOTES / SPECIFICATIONS / SITE PLAN  
A1 - FLOOR PLANS + ROOF PLAN  
A2 - EXTERIOR ELEVATIONS  
A3 - BUILDING AND WALL SECTIONS  
A4 - INTERIOR ELEVATIONS

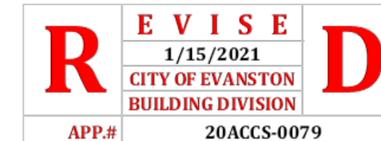
COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH REPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS. INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED COPYRIGHT 2018, PETRICK ARCHITECTURE 2018.



PETRICK  
ARCHITECTURE + INTERIORS

## CODE COMPLIANCE:

2012 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS  
2012 INTERNATIONAL MECHANICAL CODE  
2012 INTERNATIONAL FUEL GAS CODE  
2011 NATIONAL ELECTRICAL CODE  
2012 NFPA LIFE SAFETY CODE  
2012 NATIONAL FIRE CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
ILLINOIS PLUMBING CODE  
ILLINOIS ACCESSABILTY CODE  
LOCAL CODE REQUIREMENTS



FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS. OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

# PLATNICK RESIDENCE

2243 ORRINGTON AVENUE  
EVANSTON, ILLINOIS  
60201



28 DECEMBER 2020

# PLAT OF TOPOGRAPHY

OF

THE NORTH 10.00 FEET OF LOT 12, ALL OF LOT 13 AND THE SOUTH 10.00 FEET OF LOT 14, IN BLOCK 86, IN NORTHWESTERN UNIVERSITY SUBDIVISION OF PART OF SECTIONS 7 AND 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 11-07-206-003-0000 TOTAL LEND AREA: 12,600 SQ.FT.

COMMONLY KNOWN AS: 2243 ORRINGTON AVENUE, EVANSTON, ILLINOIS 60201

PREPARED BY:  
**GEODETIC SURVEY, LTD.**  
 PROFESSIONAL DESIGN FIRM NO. 184-004394  
 CONSTRUCTION AND LAND SURVEYORS  
 200 WAUKEGAN ROAD, GLENVIEW, IL 60025  
 TEL. (847) 904-7690; FAX (847) 904-7691  
 info@gsurvey.net www.gslandsurveying.com



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

SIGNATURE: *RGW* DATE: 1/4/2021

MY LICENSE EXPIRES ON NOVEMBER 30, 2021

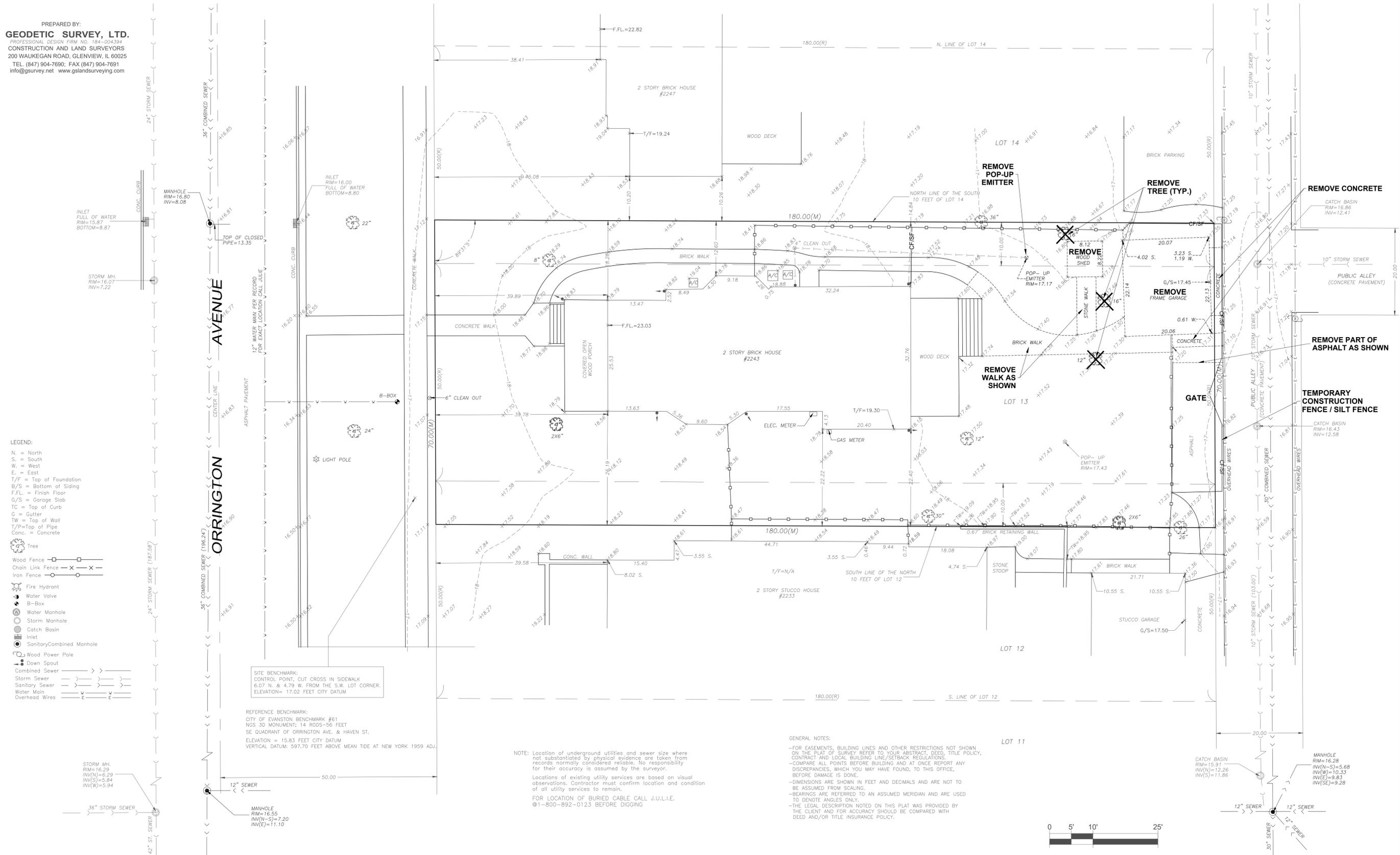
PAGES OR SHEETS COVERED BY THIS SEAL: C-1, C-2

### SITE PREPARATION/DEMOLITION NOTES:

1. INSTALL SILT FENCE FOR SEDIMENT EROSION CONTROL AROUND THE PROPOSED WORK AREA AS SHOWN ON THE DRAWING.
2. CALL JULIE 1-800-892-0123 BEFORE EXCAVATING.
3. CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL. STOCKPILE EXCESS SOIL FOR YARD RE-GRADING AWAY FROM TREE ROOTS. ALL EXCAVATED MATERIAL TO BE REMOVED FROM SITE PRIOR TO FINAL INSPECTION.
4. CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE JOB SITE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY AND THE OWNER, OR REPLACED.
6. CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SOIL TRACKED ONTO THE ROAD OR ALLEY AT THE END OF EACH DAY.
7. 6' HIGH FENCE TO BE PUT AROUND CONSTRUCTION AREA AS SPECIFIED

### GENERAL TREE PRESERVATION NOTES

1. ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED LOT DEVELOPMENT/TREE PRESERVATION PLAN.
2. STAY WITHIN DESIGNATED WORK ACCESS AREAS SHOWN ON THE PLAN.
3. THERE SHALL BE NO GRADING OR FILLING WITHIN THE PROTECTED CRITICAL ROOT ZONES.
4. ALL EXCESS FILL SHALL BE EITHER REMOVED FROM THE SITE OR STORED IN A LOCATION APPROVED BY THE VILLAGE FORESTER.
5. NO EQUIPMENT SHALL BE DRIVEN OVER OR MATERIAL SITED ON THE PROTECTED CRITICAL ROOT ZONES.
6. ALL REQUIRED TREE PROTECTION FENCE AND SILT FENCING SHALL REMAIN IN PLACE UNTIL THE TIME OF FINISH GRADING AND LANDSCAPING AND CAN ONLY BE REMOVED UPON REVIEW AND APPROVAL BY THE VILLAGE FORESTER.
7. ATTACHMENTS (WIRES, ETC.) OTHER THAN THOSE APPROVED FOR GUYING, BRACING OR WRAPPING MUST NOT BE ATTACHED TO PROTECTED TREES.



**SITE BENCHMARK:**  
 CONTROL POINT, CUT CROSS IN SIDEWALK  
 6.07 N. & 4.79 W. FROM THE S.W. LOT CORNER.  
 ELEVATION = 17.02 FEET CITY DATUM

**REFERENCE BENCHMARK:**  
 CITY OF EVANSTON BENCHMARK #61  
 NGS 3D MONUMENT; 14 RODS-56 FEET  
 SE QUADRANT OF ORRINGTON AVE. & HAVEN ST.  
 ELEVATION = 15.83 FEET CITY DATUM  
 VERTICAL DATUM: 597.70 FEET ABOVE MEAN TIDE AT NEW YORK 1959 ADJ.

**NOTE:** Location of underground utilities and sewer size where not substantiated by physical evidence are taken from records normally considered reliable. No responsibility for their accuracy is assumed by the surveyor.  
 Locations of existing utility services are based on visual observations. Contractor must confirm location and condition of all utility services to remain.  
 FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E.  
 ☎1-800-892-0123 BEFORE DIGGING

**GENERAL NOTES:**  
 -FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THE PLAT OF SURVEY REFER TO YOUR ABSTRACT, DEED, TITLE POLICY, CONTRACT AND LOCAL BUILDING LINE/SETBACK REGULATIONS.  
 -COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DISCREPANCIES, WHICH YOU MAY HAVE FOUND, TO THIS OFFICE, BEFORE DAMAGE IS DONE.  
 -DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE NOT TO BE ASSUMED FROM SCALING.  
 -BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.  
 -THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND FOR ACCURACY SHOULD BE COMPARED WITH DEED AND/OR TITLE INSURANCE POLICY.

DATE	REVISIONS
1/20/21	

PROJECT STAFF	ISSUE	BOND P.E.	M. WING
PROJECT MANAGER: [Blank]	1		
ENGINEER: [Blank]			
TECHNICIAN: [Blank]			

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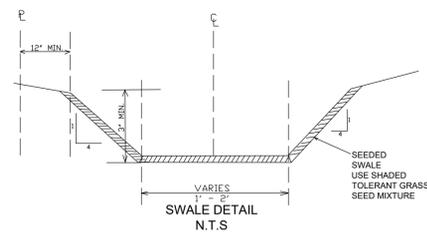
  

**EXISTING TOPOGRAPHY & TREE PROTECTION**  
**NEW GARAGE**  
**2243 ORRINGTON AVE., EVANSTON, IL**

PROJECT NO.: 20519  
 BASE FILE:  
 SHEET FILE:  
 ISSUE DATE: Jan. 2, 2021  
 SCALE: 1"=10'  
 SHEET NUMBER  
**C-1**

2243 ORRINGTON, EVANSTON		
LOT SIZE:	12600 SF	
	EXISTING IMPERVIOUS AREA ENTIRE LOT (sq.ft.)	PROPOSED IMPERVIOUS AREA ENTIRE LOT (sq.ft.)
HOUSE	2112	2112
GARAGE/COACH HOUSE	444	725
DRIVEWAY	418	427
PORCH, PATIO & DECK	555	878
STOOPS, STEPS, WALKS	985	870
AC PAD, WINDOW WELLS, SHED	81	14
<b>TOTALS</b>	<b>4595</b>	<b>5026</b>
% OF LOT	36.47%	39.89%
<b>INCREASE IN IMPERVIOUS AREA</b>	<b>431 SF</b>	



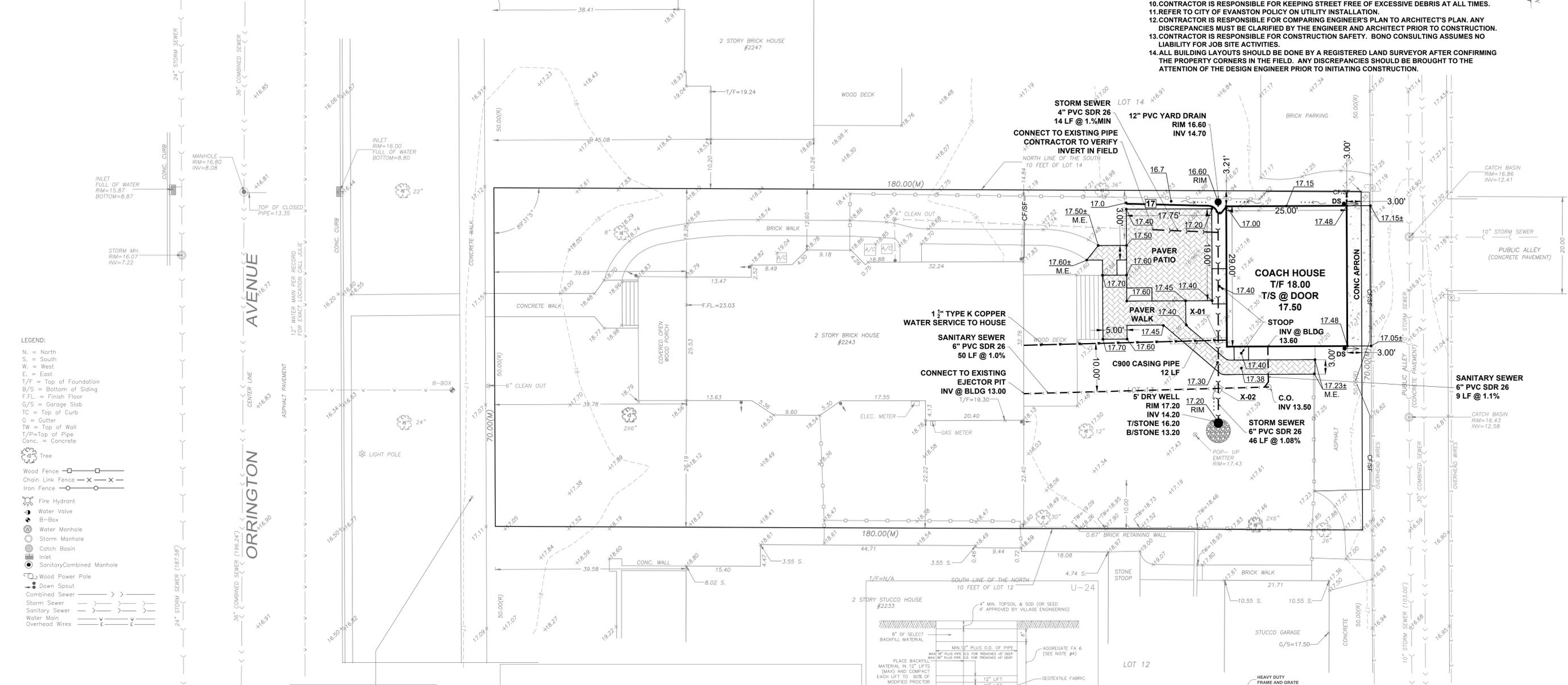
UTILITY CROSSING:	
X-01	
BOT. OF STORM	14.38
TOP OF WATER	12.00
X-02	
BOT. OF STORM	14.27
TOP OF SANITARY	13.90

**BCI NOTES:**

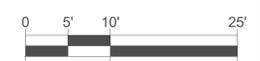
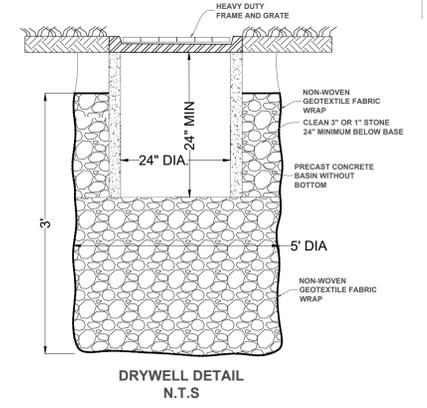
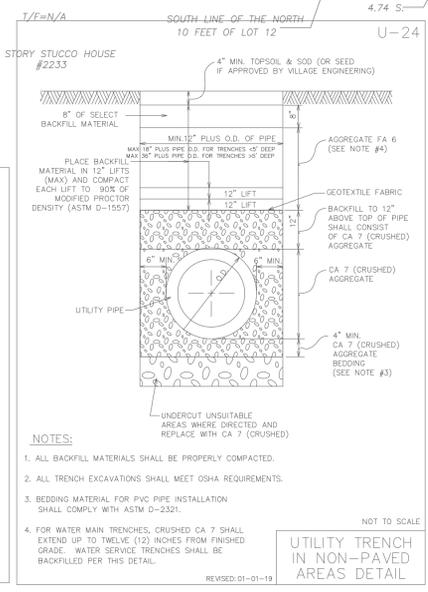
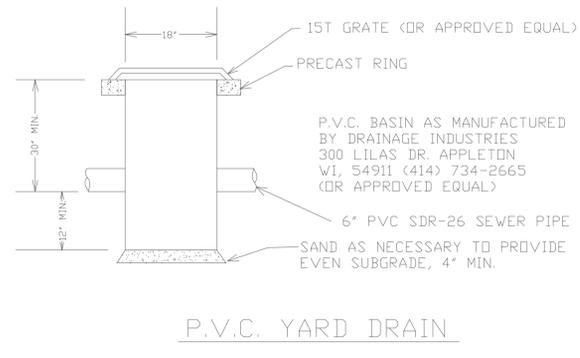
- REAR YARD BASINS MAY EXPERIENCE STANDING WATER DURING HEAVY RAIN EVENTS.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AS WELL AS O.S.H.A. STANDARDS.
- SHOULD IT APPEAR THAT THE WORK COVERED BY THE CONTRACT DOCUMENTS IS NOT SUFFICIENTLY DETAILED OR EXPLAINED, AN RFI FORM SHALL BE SUBMITTED TO THE ENGINEER FOR FURTHER DRAWINGS OR EXPLANATIONS AS MAY BE NECESSARY TO CLARIFY THE POINT IN QUESTION PRIOR TO THE CONTRACT AWARD. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE A JOB COMPLETE IN EVERY RESPECT. THE CONTRACTOR IS RESPONSIBLE FOR THIS RESULT AND TO TURN OVER THE PROJECT IN COMPLETE OPERATING CONDITION, IRRESPECTIVE OF WHETHER THE CONTRACT DOCUMENTS COVER EVERY INDIVIDUAL ITEM IN MINUTE DETAIL.
- ALL BUILDING LAYOUTS SHOULD BE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.

**NOTES:**

- PROPOSED TOP OF NEW FOUNDATION IS SHOWN ON DRAWING. EXPOSED FOUNDATION SHALL BE MINIMUM OF 4" AND A MAXIMUM OF 8".
- A SPOT SURVEY IS REQUIRED TO BE APPROVED PRIOR TO FRAMING.
- PROPOSED GROUND ELEVATION AT FOUNDATIONS AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD. SLOPE AREA TO DRAIN AWAY FROM HOUSE.
- RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DIRECTED TO DOWNSPOUTS. DOWNSPOUTS TO SPLASH ON GRADE AND ARE NOT TO BE DIRECTED TO NEIGHBORING PROPERTIES.
- REFER TO ARCHITECT'S SITE PLAN FOR PROPOSED STRUCTURE'S EXACT SETBACKS FROM PROPERTY LINES.
- CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AND OTHER WORKERS ON THE SITE. ALL THE POTENTIALLY HAZARDOUS AREAS TO BE FENCE OR GUARDED. BONO CONSULTING INC. IS NOT LIABLE FOR ANY NEGLIGENCE IN SAFETY PROCEDURES.
- ANY OPEN EXCAVATIONS, OR POTENTIALLY DANGEROUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES AND GENERAL PUBLIC SAFETY.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREET FREE OF EXCESSIVE DEBRIS AT ALL TIMES.
- REFER TO CITY OF EVANSTON POLICY ON UTILITY INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR COMPARING ENGINEER'S PLAN TO ARCHITECT'S PLAN. ANY DISCREPANCIES MUST BE CLARIFIED BY THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY. BONO CONSULTING ASSUMES NO LIABILITY FOR JOB SITE ACTIVITIES.
- ALL BUILDING LAYOUTS SHOULD BE DONE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.



- LEGEND:**
- N = North
  - S = South
  - W = West
  - E = East
  - T/F = Top of Foundation
  - B/S = Bottom of Siding
  - F.F.L. = Finish Floor
  - G/S = Garage Slab
  - TC = Top of Curb
  - G = Gutter
  - TW = Top of Wall
  - T/P = Top of Pipe
  - Conc. = Concrete
  - Tree
  - Wood Fence
  - Chain Link Fence
  - Iron Fence
  - Fire Hydrant
  - Water Valve
  - B-Box
  - Water Manhole
  - Storm Manhole
  - Catch Basin
  - Inlet
  - Sanitary/Combined Manhole
  - Wood Power Pole
  - Down Spout
  - Combined Sewer
  - Storm Sewer
  - Sanitary Sewer
  - Water Main
  - Overhead Wires



DATE	REVISIONS	ISSUE	PROJECT STAFF
10/20/21		1	PROJECT MANAGER: M. WANG ENGINEER: [blank] TECHNICIAN: [blank]

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DESIGN FIRM NO. 184-002379

**PROPOSED GRADING PLAN**  
**NEW GARAGE**  
**2243 ORRINGTON AVE., EVANSTON, IL**

PROJECT NO.: 20519  
BASE FILE:  
SHEET FILE:  
ISSUE DATE: Jan. 5, 2021  
SCALE: 1"=10'  
SHEET NUMBER  
**C-2**

ADDITIONAL NOTES:

- OPENINGS IN WALLS OR FLOORS AROUND THE DRAIN AND/OR WATER LINES MUST BE SEALED, IRC R302.12
- BUILDING THERMAL ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING FIVE AIR CHANGES PER HOUR BY A BLOWER DOOR TEST. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY WITH A SIGNED-RESULTS TEST SUBMITTED TO EVANSTON DURING FINAL INSPECTIONS. (EGC R402.4.1)
- REQUIRED AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM TO BE INSTALLED. IT SHOULD MEET ALL REQ'S FOR NFPA 13D FIRE SPRINKLER SYSTEM AND IRC R313.2
- PROVIDE A PASSIVE RADON CONTROL SYSTEM. 420 ILCS 52, 2012 IRC APPENDIX F SEC. AF 103.6
- PROVIDE A 2" DIA. WATER SERVICE LINE TO COACH HOUSE OFF THE EXISTING RESIDENTIAL SERVICE LINE. THE WATER METER SHALL BE INSTALLED IN THE BUILDING WITHIN 60" OF THE WATER SERVICE ENTRANCE. 4-5-3 EVANSTON AMENDMENT SUBSECTION 840.1(4)(B)

GENERAL NOTES

DESIGN & LOADS:

STRUCTURAL DESIGN OF THIS BUILDING IS IN ACCORDANCE WITH THE 2009 IRC.

THE LIVE LOADS USED IN DESIGN ARE AS FOLLOWS:

- TYPICAL FLOORS - 40 PSF
- GROUND SNOW LOAD - 30 PSF
- ATTIC - 30 PSF
- ROOF LOAD - 20 PSF
- BASIC WIND SPEED - 90 MILES PER HOUR

CONCRETE:

1. CONCRETE SHALL BE REGULAR WEIGHT, CONFORM TO ASTM C88, AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

- A. FOOTINGS, FOUNDATION WALLS = 3,000 PSI
- B. INTERIOR SLAB ON GRADE = 3,500 PSI
- C. EXTERIOR SLAB ON GRADE = 4,000 PSI

2. ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE 6% AIR CONTENT.

3. DETAIL, FABRICATE AND ERECT ALL CONCRETE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE SPECIFICATIONS, LATEST EDITION.

4. CONCRETE CONSTRUCTION SHALL CONFORM TO 'SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 308)

5. CONCRETE SHALL BE 'READY-MIXED CONCRETE' AND SHALL CONFORM TO ASTM C94. CONCRETE SHALL BE CONVEYED AND DEPOSITED IN ACCORDANCE WITH THE RECOMMENDATIONS OF ACI 614 AND ACI 318-15, SECTION 5.3.

6. CONCRETE WHEN PLACED, SHALL HAVE A TEMPERATURE BETWEEN 50 DEGREES F. AND TO DEGREES F. THE TEMPERATURE OF CONCRETE DURING MIXING OF TRANSPORTATION SHALL NEVER BE LOWER THAN 40 DEGREES F. NOR HIGHER THAN 90 DEGREES F.

7. PROVIDE A 3/4" CHAMFER EDGE ON ALL EXPOSED CORNERS OF CONCRETE.

8. REINFORCING:

- A. ALL BARS UNLESS OTHERWISE NOTED TO BE 60 FPKSI AND ASTM A615. TIES AND STIRRUPS TO BE 60 FPKSI AND ASTM A615. WELDED WIRE FABRIC (SMOOTH) TO BE 65 FPKSI AND ASTM A185.

9. CAST IN PLACE CONCRETE:

- A. ALL CONCRETE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH BOCA CHAPTER 14 AND ACI 318.
- B. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH CSI 'MANUAL OF STANDARD PRACTICE'.
- C. PROVIDE EXTRA REINFORCING ON EACH FACE AROUND ALL OPENINGS 24" OR LARGER IN ALL WALLS EQUAL TO 2-#5 BARS ON 4 SIDES AND EXTEND 2 FT. BEYOND CORNER OPENINGS.

10. MIN. COVERAGE:

- A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3 IN.
- B. CONCRETE EXPOSED TO EARTH OR WEATHER, #6 - #11 BARS = 2 IN, #5 AND SMALLER = 1 1/2 IN.
- C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND, SLABS & WALLS = 3/4 IN, BEAMS & COLUMNS = 1 1/2", PRIMARY REINFORCEMENT, TIES & STIRRUPS = 1 1/2"
- D. FOOTINGS:

- A. FOOTINGS ARE SIZED FOR A MAXIMUM TOTAL LOAD BEARING PRESSURE OF 3000 PSF.
- B. FOOTINGS SHALL AT LEAST BE PLACED AT A MINIMUM DEPTH TO CONFORM TO LOCAL CODES, NAMELY 3'-6" BELOW GRADE.
- C. THE FINAL 3' OF EXCAVATION SHALL BE REMOVED BY HAND TOOL OPERATIONS IN ORDER TO ASSURE UNDISTURBED BEARING SURFACE.
- D. FOOTINGS SHALL BE FOUNDED ON FIRM, UNDISTURBED, NATIVE, FREE-DRAINING SOILS. CONDITIONS FOUND TO BE OTHERWISE SHALL BE REPORTED TO THE ARCHITECT.
- E. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT SLOPE MORE THAN 1:0 VERTICAL TO 10:0 HORIZONTAL, EXCEPT AS SHOWN ON THE DWGS.
- F. NO EXCAVATION SHALL BE MADE LOWER AND CLOSER TO ANY FOOTING THAN 1:0 VERTICAL TO 3:0 HORIZONTAL, EXCEPT AS SHOWN IN DWGS.
- G. ALL GROUND OVER WHICH FOOTINGS AND SLAB-ON-GRADE ARE TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIAL.
- H. NO FOOTING AND SLAB-ON-GRADE CONCRETE SHALL BE PLACED ON MUDDY OR FROZEN GROUND. SUB-GRADE OR SLAB-ON-GRADE SHALL BE DAM'P AT TIME OF CONCRETE PLACEMENT.

ROUGH CARPENTRY:

1. ALL PLYWOOD SHALL BE DIFFA GRADE MARKED TO COMPLY WITH PSI-66 AND SHALL BE STANDARD G-D, FLAT, FLOOR PLYWOOD SHALL BE 3/4" T&G APA 48/24.

2. PROVIDE ADDITIONAL STUDS TO EXISTING FRAMING BETWEEN FIRST AND SECOND FLOOR.

3. TOP PLATES SHALL BE DOUBLED ON ALL STUD WALLS.

4. CRIPPLES UNDER HEADERS SHALL BE CONTINUOUS TO THE SOLE PLATE.

5. BLOCK ALL STUD WALLS AS REQUIRED FOR SHEATHING.

6. BLOCKING 2" WIDE OF EQUAL DEPTH OF THE MEMBERS SHALL BE PROVIDED BETWEEN ALL JOISTS AND RAFTERS AT THEIR SUPPORTS, UNLESS MEMBERS ARE NAILED TO A RIM JOIST.

7. INSTALL ALL HORIZONTAL MEMBERS WITH GROUN UP.

8. ALL MEMBERS IN BEARING SHALL BE ACCURATELY CUT AND ALIGNED SO THAT FULL BEARING IS PROVIDED WITHOUT THE USE OF SHIMS.

9. ALL RAFTERS SHALL BE NOTCHED FOR FULL BEARING AT ALL SUPPORTS.

10. ALL JOISTS SHALL HAVE A MIN. OF 2" BEARING AT SUPPORTS. LAPPING JOISTS SHALL HAVE 6" LAPS CENTERED OVER INTERIOR SUPPORTS.

11. LEDGERS AND STUD WALL FOUNDATION SILL PLATES SHALL BE TREATED AND BOLTED TO CONCRETE WITH 'DX 10' ANCHOR BOLTS AT 5'-0" O.C. MAX. SPACING. AT LEAST TWO BOLTS SHALL BE PROVIDED FOR EACH PIECE WITH ONE BOLT WITHIN 1'-0" OF EACH END.

12. ALL WALL SHEATHING SHALL BE APPLIED AS FOLLOWS:

- A. CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOISTS OVER 2" BLOCKING OR PLATE.
- B. NAIL TOP OF PANELS TO DOUBLE TOP PLATE AND NAIL BOTTOM OF PANELS TO ANCHORED SILL PLATE.
- C. INSTALL 4X8 PLYWOOD SHEATHING AT ALL CORNERS AND LET 1X4 FOR WIND BRACING.
- D. APPLY GYPSUM BOARD SO THAT END JOINTS OF ADJACENT COURSES DO NOT OCCUR OVER THE SAME STUD.

13. ALL ROOF AND FLOOR SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER PANEL AND JOINTS, RAFTERS OR SUB-PURLING USING HALF PANEL STAGGERED PANEL.

14. ALL GRADES OF LUMBER SHALL CONFORM WITH NHPA GRADING RULES FOR WESTERN LUMBER - CURRENT EDITION. LUMBER GRADES ARE TO BE THE EQUIVALENT TO THE FOLLOWING:

- A. 2X12, 2X10 WOOD JOISTS - SPRUCE PINE-FIR NO.2, STUDS 2X4 OR 2X6 HEM-FIR NO.2.
- B. ALL 2" LUMBER SHALL BE SEASONED TO 19% MAX. MOISTURE CONTENT.

C. ALL WOOD IN CONTACT WITH CONCRETE, MASONRY OR SOIL SHALL BE PRESSURE TREATED AND BOLTS/NUTS SHALL BE PROVIDED WITH STANDARD WASHERS.

D. MIN. NAILED CONNECTION FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE GOVERNING BUILDING CODE.

E. CONNECTORS SHOWN ON THE DETAILS ARE MANUFACTURED BY SIMPSON. SUBSTITUTIONS WILL BE ALLOWED WITH APPROVAL OF ARCHITECT.

F. PROVIDE 3 ROWS - 12d COMMON WIRE (0.148"X3.25") AT 12" ON CENTER FOR DOUBLE MICROLAM.

G. PARALLEL STRAND LUMBER SHALL BE 2.0E OR 1.8E FOR COLUMN MANUFACTURED BY TRUSS JOIST MC MILLAN OR APPROVAL OF EQUAL.

H. PRE-ENGINEERED GLUE-LAMINATED BEAMS, GIRDERS, AND PURLINS SHALL BE 1-1/4" MICROLAM LVL OR EQUAL WITH 6-#10-750 PSI.

16. ALL NEW PLYWOOD SUBFLOOR TO BE GLUED AND SCREWED TO JOISTS. ANY JOIST HANGERS THAT ARE USED SHALL BE GLUED AND MECHANICALLY FASTENED TO JOISTS.

17. (DELETED)

18. FLOOR JOIST UNDER PARTITIONS RUNNING PARALLEL WITH JOIST TO BE DOUBLED UP.

19. THE GOVERNING IRC CODES LIMIT CUTTING AND NOTCHING OR DRILLING OF STUDS AND JOISTS AS FOLLOWS:

A. STUDS - ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. A STUD IN AN EXTERIOR OR A BEARING WALL MAY BE BORED TO 60% OF THE STUD WIDTH PROVIDED THAT THIS STUD IS DOUBLED AND THAT NO MORE THAN 2 SUCCESSIVE STUDS ARE BORED.

B. JOISTS - NOTCHES IN THE TOP AND BOTTOM OF JOISTS SHALL NOT EXCEED 1/6 OF THE JOIST DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. WHEN JOISTS ARE NOTCHED AT THE ENDS, THE NOTCH SHALL NOT EXCEED 1/4 OF THE JOIST DEPTH. HOLES BORED WITHIN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER OF THE HOLES SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST.

20. ALL WOOD POSTS TO BE CONTINUOUS FROM TOP OF FOUNDATION WALL OR STEEL BEAM. PROVIDE SOLID BLOCKING FOR FULL DIMENSION OF POST WHERE INTERRUPTED BY FLOOR.

21. ALL TJI JOISTS SHALL BE NOTCHED ACCORDING TO THE TRUSS JOIST CATALOG.

22. CROSS BRIDGING: 1X3 WOOD FOR ALL SPANS EXCEEDING 8'-0".

23. FLOOR AND ROOF JOISTS AND RAFTERS FRAMING INTO THE SIDES OF BEAMS SHALL HAVE PREFABRICATED CONNECTORS CAPABLE OF SUPPORTING LIVE LOADS INDICATED PLUS FLOOR DEAD LOAD = 15 PSF, SLOPED ROOF LOAD = 17 PSF.

24. PROVIDE FIRESTOPPING PER CITY CODE.

25. ALL OPENINGS IN THE EXTERIOR WALLS SHALL BE SEALED TIGHT WITH CAULK OR APPROVED EQUAL.

ELECTRICAL:

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2011 NEC AND WITH ALL LOCAL ELECTRICAL CODES, PROVISIONS, AND AMENDMENTS FOR THE CITY.

2. OUTLET SPACING SHALL CONFORM TO NEC 210.52.

3. PROVIDE A MIN. OF 2 -20 AMP GENERAL POWER CIRCUITS FOR THE KITCHEN COUNTERS. ALL KITCHEN COUNTER OUTLETS SHALL HAVE GFCI PROTECTION.

4. PROVIDE A MIN. OF 1 -20 AMP CIRCUIT FOR EACH NEW BATHROOM. ALL BATHROOM OUTLETS SHALL HAVE GFCI PROTECTION.

5. ALL GARAGE OUTLETS SHALL HAVE GFCI PROTECTION.

6. THE OWNER WILL SELECT ALL LIGHTING FIXTURES, COVER PLATES AND TRIM PLATES. COORDINATE THE SELECTION OF ALL ELECTRICAL FIXTURES AND THE SELECTION OF COLORS AND FINISHES FOR ELECTRICAL DEVICES AND FIXTURES WITH OWNER.

7. ALL CIRCUITS SUPPLYING RECEPTACLE, LIGHTING, SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR OUTLETS INSTALLED IN BEDROOMS, LIVING ROOMS, DINING ROOMS, FAMILY ROOMS, RECREATION ROOMS, MUDROOMS, BREAKFAST ROOMS, DEN'S, PARLORS, LIBRARIES, SUNROOMS, FOYERS, HALLWAYS, DRESSING ROOMS, CLOSETS AND SIMILAR ROOMS AND AREAS REQUIRE AFCI PROTECTION.

8. ALL RECEPTACLE OUTLETS TO BE TAMPERRESISTANT WITH THE EXCEPTION OF: A) RECEPTACLES LOCATED MORE THAN 5'-6" ABOVE FINISHED FLOOR LEVEL. B) RECEPTACLES SERVING APPLIANCES NOT READILY MOVED SUCH AS REFRIGERATORS, DISHWASHERS, CLOTH WASHERS AND SIMILAR APPLIANCES.

RESIDENTIAL CODE NOTES:

1. ALL NEW SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE EMERGENCY EGRESS WINDOW WITH A MIN. OF 5.7 SF OF OPENABLE AREA. THESE WINDOWS SHALL BE LOCATED LESS THAN 44" ABOVE THE FINISHED FLOOR AND SHALL MEET OR EXCEED THE MIN. DIMENSIONAL OPENING REQUIREMENTS OF 24" X 20".

2. ALL SLEEPING ROOMS AND THE CORRIDOR OUTSIDE OF THE SLEEPING ROOMS WILL BE PROVIDED WITH HARDWIRED SMOKE DETECTORS. THESE SMOKE DETECTORS SHALL BE INTERLOCKED SO THAT WHEN ONE SOUNDS THEY ALL SOUND.

3. ALL GLAZING IN DOORS, DOOR SIDE LITES, SKYLIGHTS AND WINDOWS ADJACENT TO BATHTUBS SHALL BE FULLY TEMPERED GLASS WITH VISIBLE TEMPERING STAMPS.

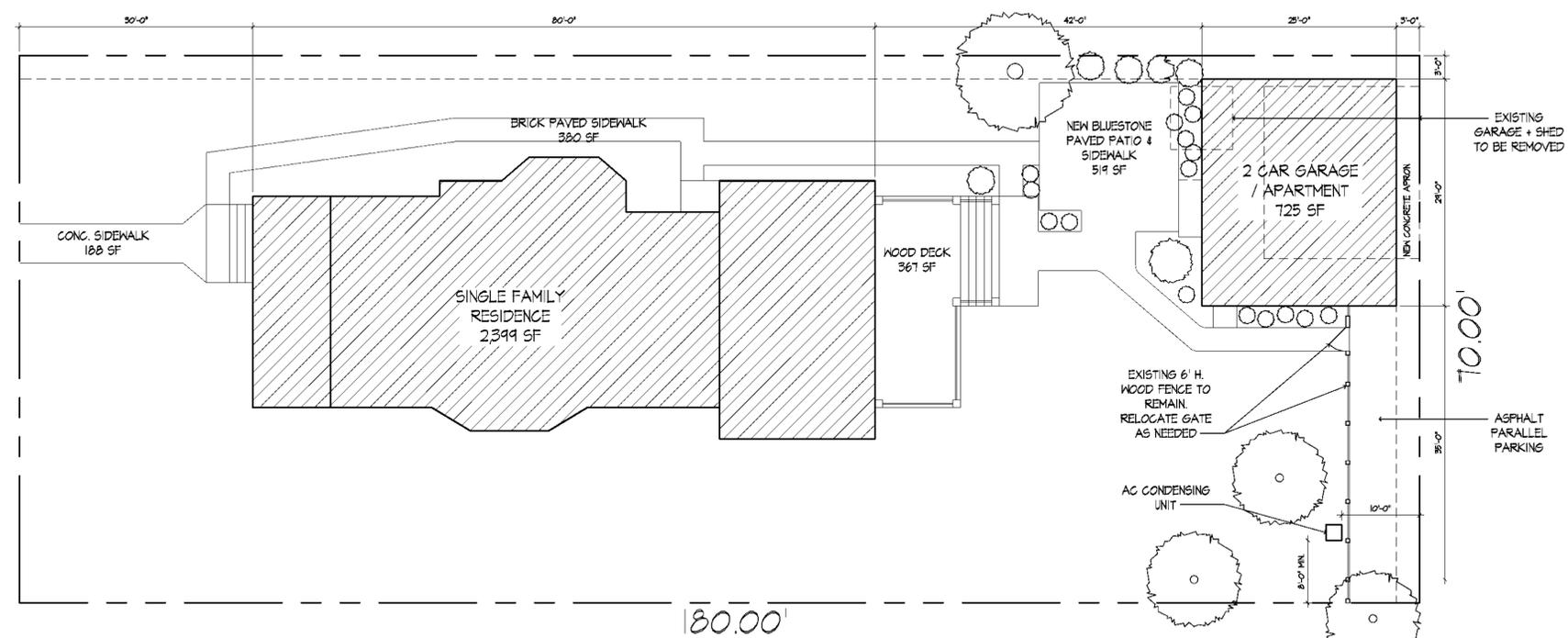
4. ALL AIR LEAKAGE POSSIBILITIES WILL BE SEALED TO LIMIT INFILTRATION. THE SEALS WILL COMPLY WITH 2012 IECC SECTION 402.4.1 (I.E. ALL JOINTS, PENETRATIONS, HDW. IDR OPENINGS, BEHIND TUBS & SHOWERS ON EXTERIOR WALLS, ATTIC ACCESS OPENINGS).



GENERAL:

- CONTRACTOR TO NOTIFY ALL UTILITIES AND VERIFY LOCATION OF SAME PRIOR TO THE START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL DISCUSS WITH THE OWNER AND INDICATE VIA DRAWINGS, FOR APPROVAL, A PROPOSED DEBRIS REMOVAL ROUTE AND DISCUSS THE NECESSARY PRECAUTIONS THAT SHALL BE TAKEN TO PROTECT THE EXISTING CONDITIONS. AT THE CONCLUSION OF THE WORK, THE CONTRACTOR SHALL RESTORE ALL DAMAGED EXISTING BUILDING CONDITIONS TO THE ORIGINAL CONDITION.
- PERMITS AND SCHEDULES: CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND FOR SCHEDULING ALL REQUIRED INSPECTIONS. CONTRACTOR SHALL INFORM ARCHITECT OF ALL SCHEDULED INSPECTION AND UPDATED SCHEDULES.
- THE CONTRACTOR COVENANTS AND AGREES THAT HE AND HIS SUBCONTRACTORS AND HIS AGENTS AND THEIR AGENTS EMPLOYEES WILL PROVIDE AND MAINTAIN A SAFE PLACE TO WORK AND THAT HE AND THEY ALL COMPLY WITH ALL LAWS AND REGULATIONS OF ANY GOVERNMENTAL AUTHORITY HAVING JURISDICTION HEREOF, AND THE CONTRACTOR AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE ARCHITECT/ENGINEER(S) AND THE OWNER FROM AND AGAINST ANY LIABILITY, LOSS INJURY, DEATH, DAMAGE OR EXPENSE, INCLUDING ATTORNEY'S FEES, ARISING FROM A FAILURE OR ALLEGED FAILURE ON THE PART OF THE CONTRACTOR. HIS SUBCONTRACTORS AND HIS AND THEIR AGENTS, AND EMPLOYEES TO PROVIDE AND MAINTAIN A SAFE PLACE TO WORK OR TO COMPLY WITH ALL LAWS AND REGULATIONS OF ANY GOVERNMENTAL AUTHORITY HAVING JURISDICTION.
- THE CARPENTER CONTRACTOR SHALL ASSUME RESPONSIBILITY, UNRELIEVED BY REVIEW OF SHOP DRAWINGS OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES AND FOR SAFE CONDITIONS ON THE JOB SITE.

<b>SCOPE OF WORK:</b>
DEMOLISH EXISTING TWO CAR GARAGE AND CONSTRUCT A NEW 2 CAR COACH HOUSE
<b>ZONING ANALYSIS:</b>
ZONING: R1 - SINGLE FAMILY RESIDENTIAL
SITE: 12,600 SF
MAX. BUILDING AREA (30%): 3,780 SF
PROPOSED BUILDING AREA (24.7%): 3,124 SF
MAX. IMPERVIOUS AREA (45%): 5,670 SF
PROPOSED IMPERVIOUS AREA (26%): 4,553 SF
EXISTING RESIDENCE TO REMAIN - 2,344 SF
EXISTING GARAGE TO BE REMOVED - 440 SF
EXISTING SHED TO BE REMOVED - 64 SF
PROPOSED 2 CAR COACH HOUSE - 125 SF
SIDEYARD SETBACK - 3 FT.
GARAGE APRON SETBACK - 3 FT.
MAXIMUM HEIGHT - 20 FT.
ON SITE PARKING REQUIREMENTS - 2 CARS (LESS THAN 1,500' FROM MASS TRANSIT)



1 SITE PLAN  
SCALE: 1" = 10'-0"



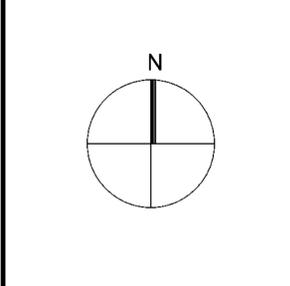
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RESIDENTIAL REMODEL FOR:  
**PLATNICK / KRA  
COACH HOUSE**  
2243 ORRINGTON AVE, EVANSTON

14 AUG 2020	07 OCT 2020	28 DEC 2020				
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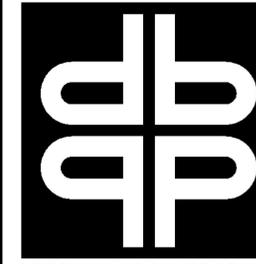


SCALE:  
AS NOTED

DATE:  
28 DECEMBER 2020

**A0**





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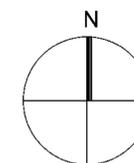
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**PLATNICK / KRA  
COACH HOUSE**  
2243 ORRINGTON AVE, EVANSTON

14 AUG 2020	07 OCT 2020	28 DEC 2020			
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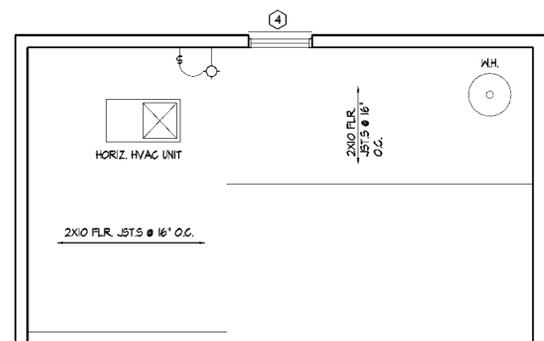
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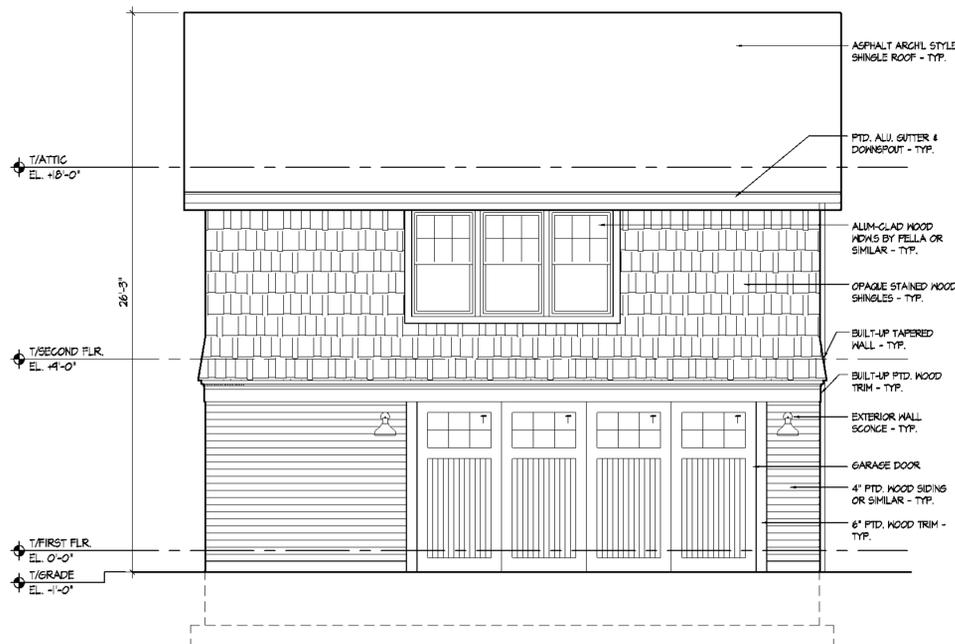
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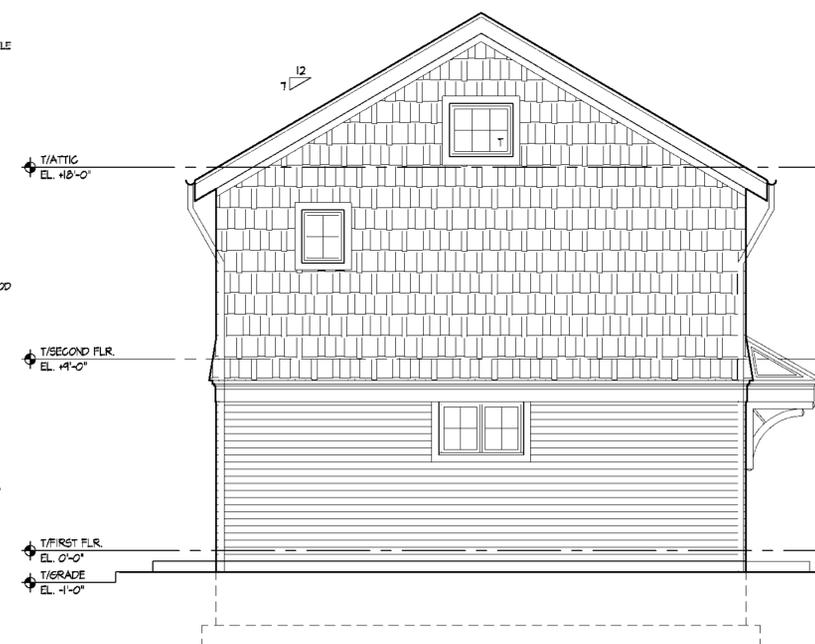
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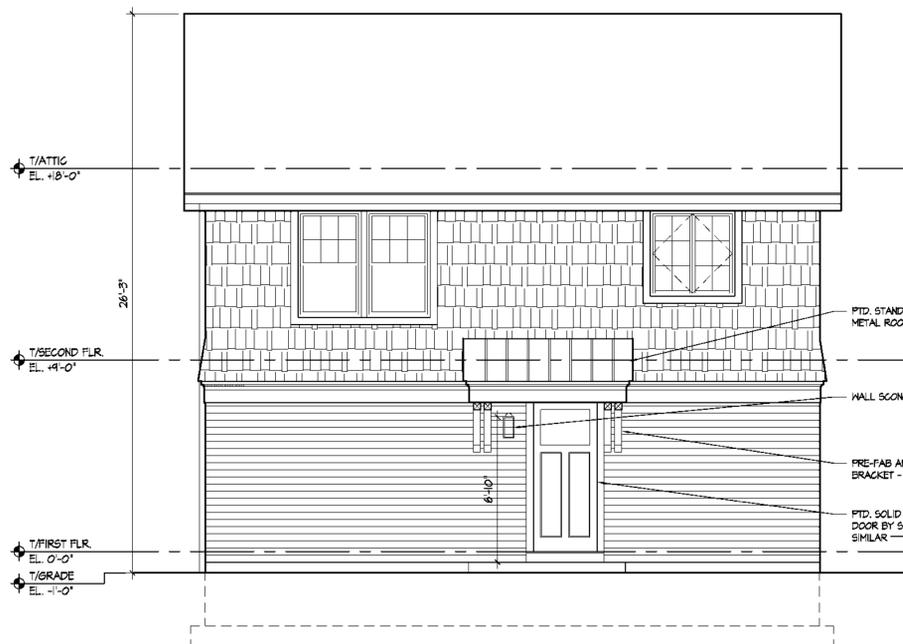
**6 PARTIAL LOFT AREA FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



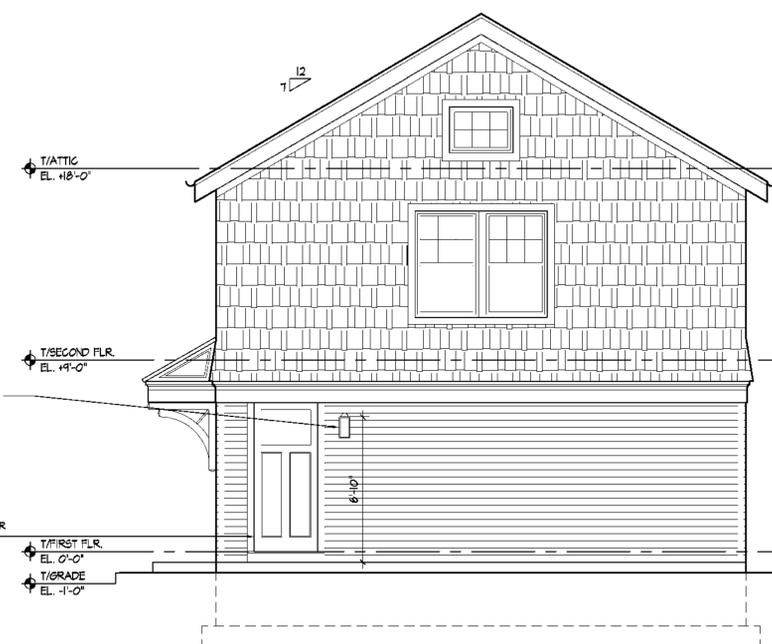
**4 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



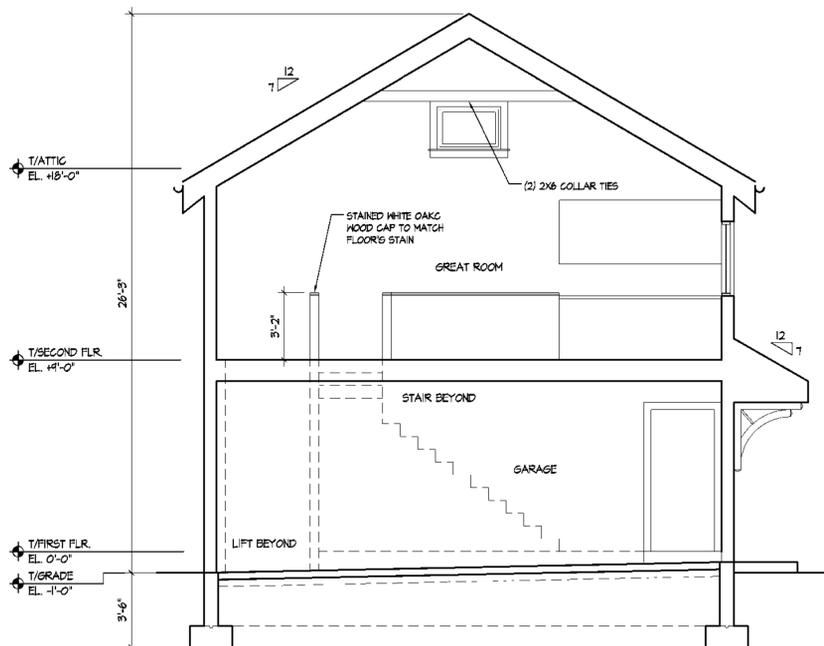
**3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



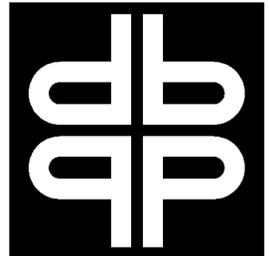
**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



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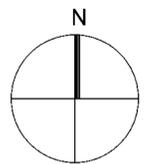
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**PLATNICK / KRA  
COACH HOUSE**  
2243 ORRINGTON AVE, EVANSTON

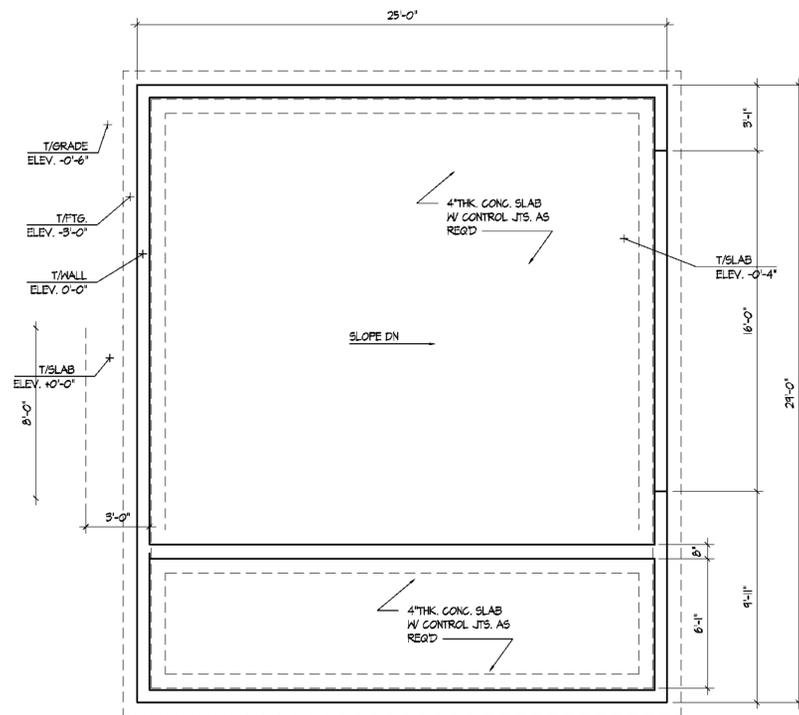
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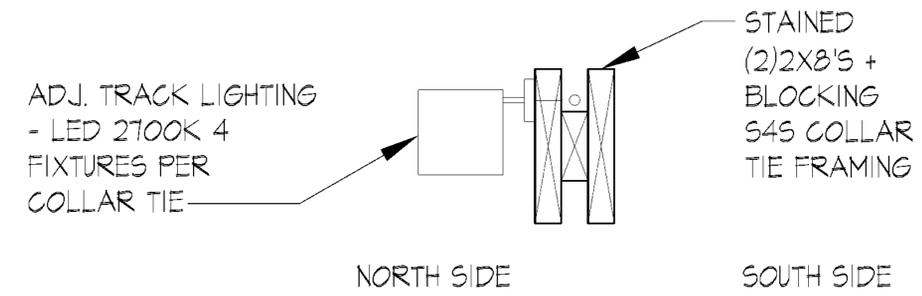
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28 DEC 2020

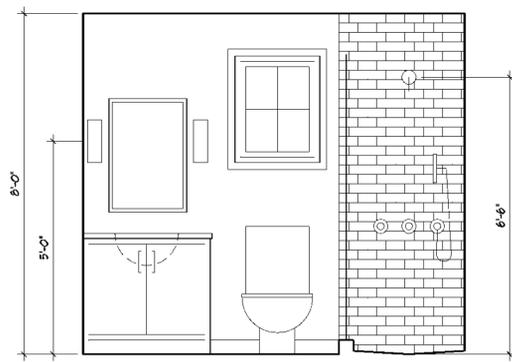
**A4**



**6 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

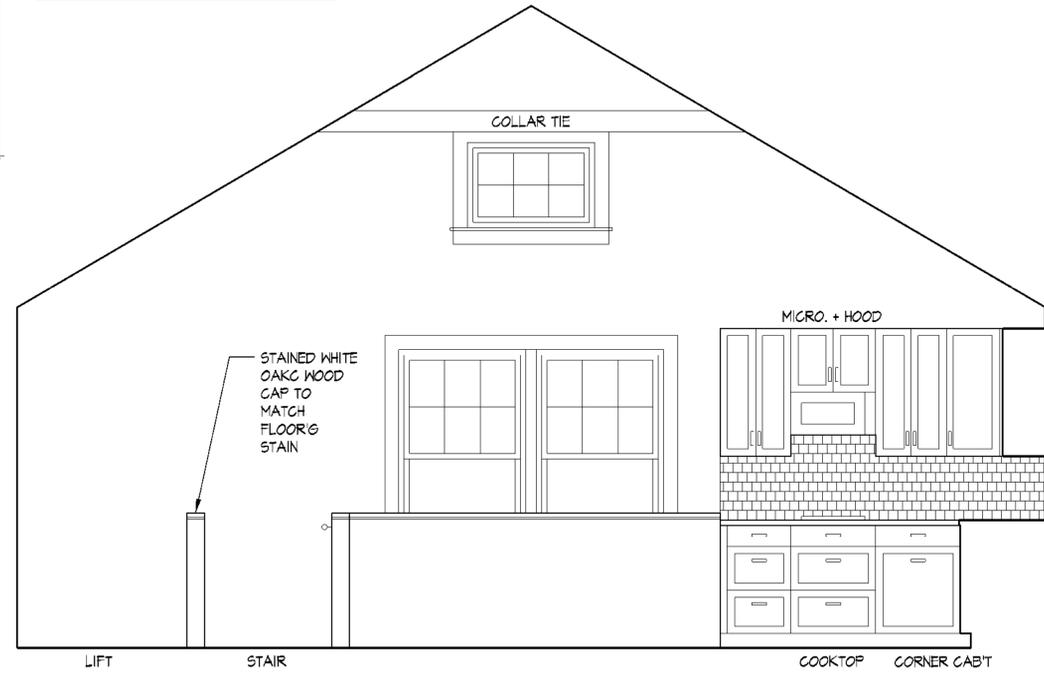


**5 COLLAR TIE / TRACK LIGHT'G DTL.**  
SCALE: 1/2" = 1'-0"

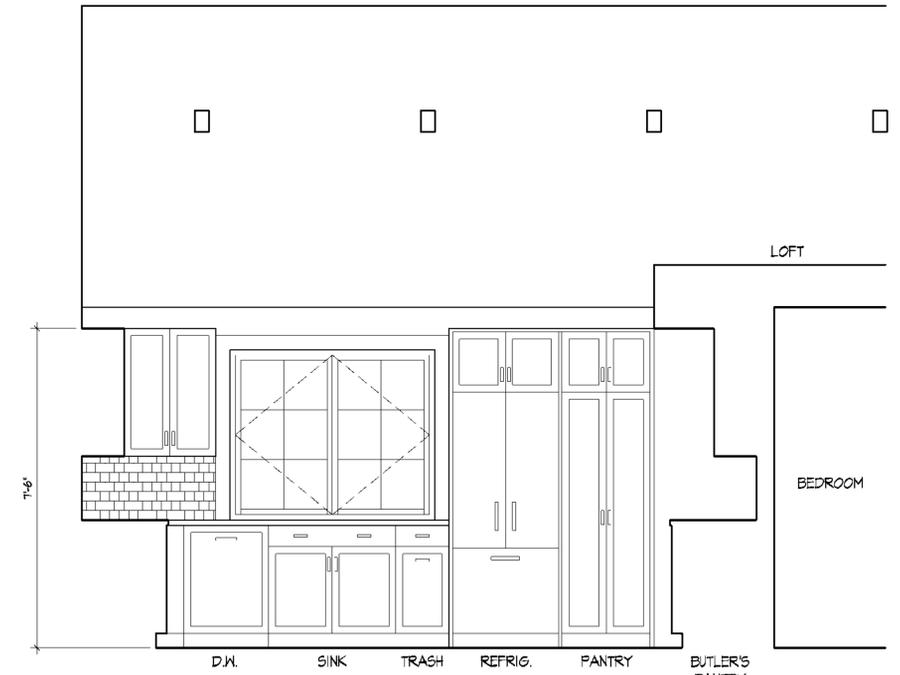


NOTE: INTERIOR FINISHES, COLORS AND STYLES TO BE SELECTED BY OWNERS

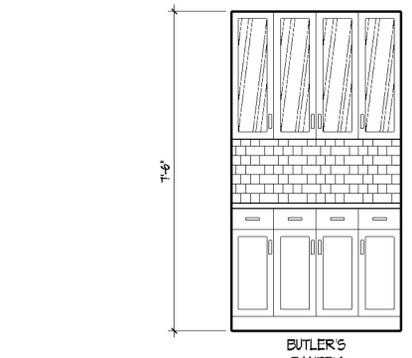
**4 BATHROOM ELEVATION**  
SCALE: 1/2" = 1'-0"



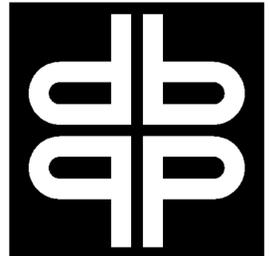
**2 KITCHEN ELEVATION LOOKING @ SOUTH WALL**  
SCALE: 1/2" = 1'-0"



**1 KITCHEN ELEVATION LOOKING @ WEST WALL**  
SCALE: 1/2" = 1'-0"



**3 BUTLER'S PANTRY ELEV.**  
SCALE: 1/2" = 1'-0"



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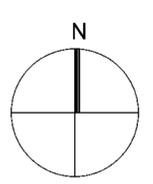
RESIDENTIAL REMODEL FOR:

PLATNICK / KRA  
COACH HOUSE  
2243 ORRINGTON AVE, EVANSTON

28 DEC 2020

ISSUE FOR PERMIT

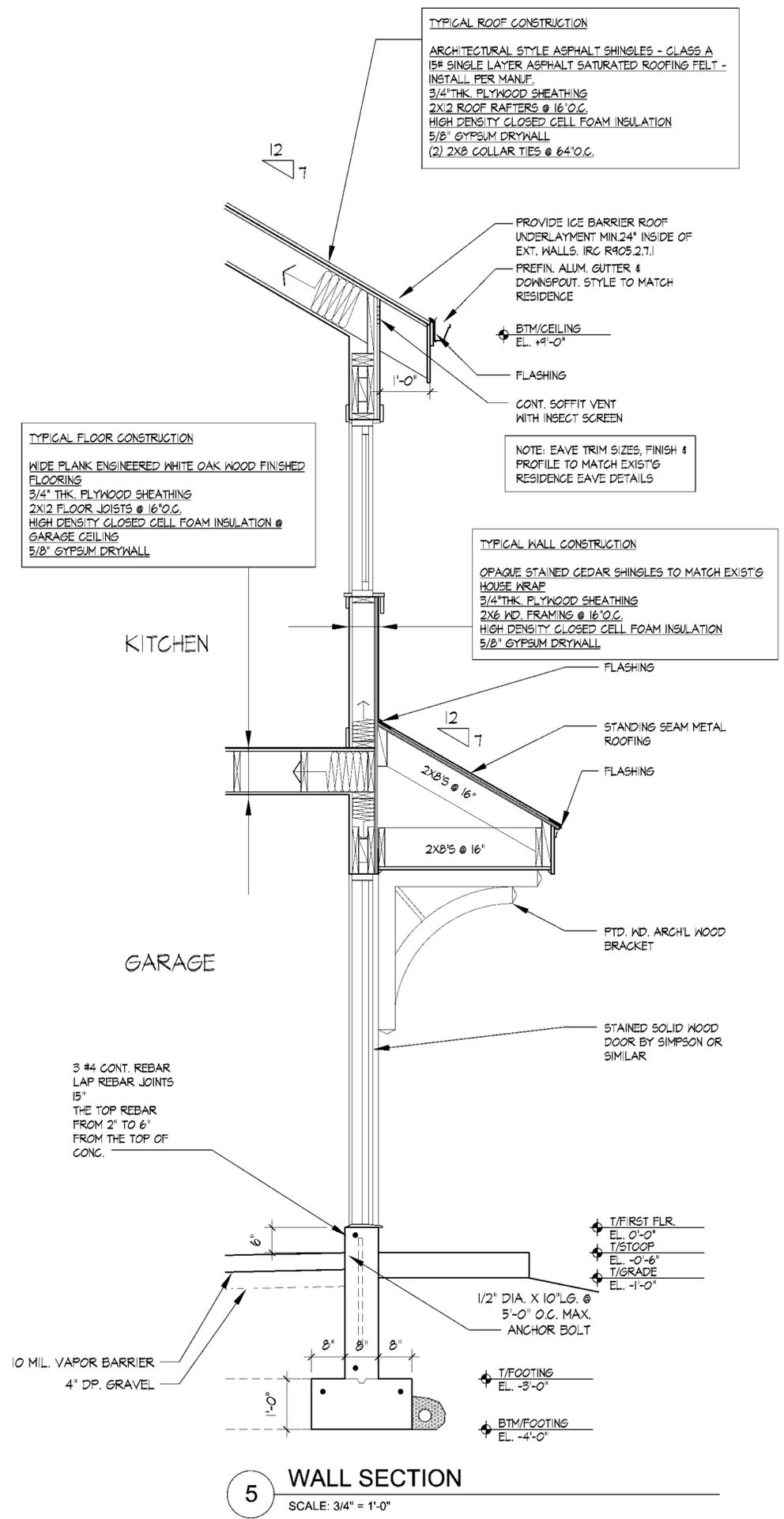
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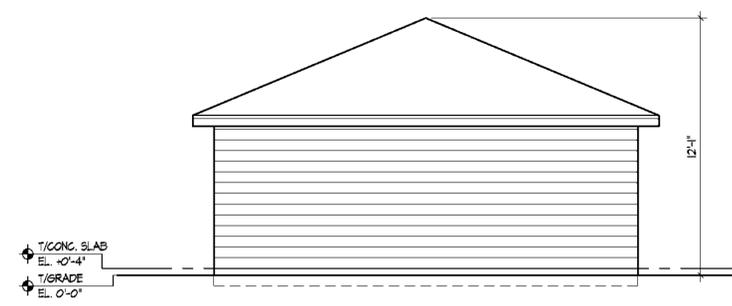
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A5



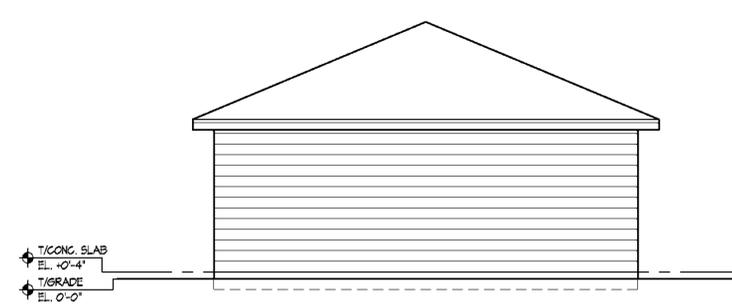
5 WALL SECTION  
SCALE: 3/4" = 1'-0"



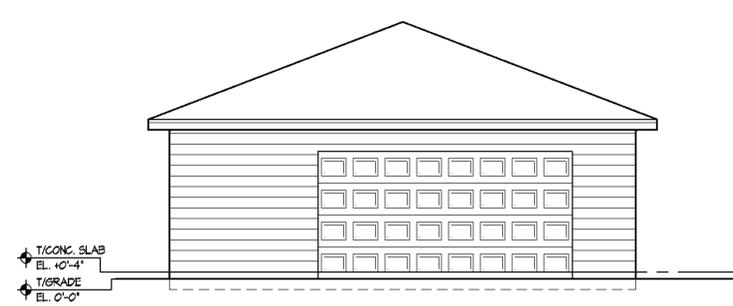
4 EXISTING SIDE / SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING WEST / FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING SIDE / NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING REAR / EAST ELEVATION  
SCALE: 1/4" = 1'-0"





**FRONT ELEVATION OF EXISTING RESIDENCE – 2243 ORRINGTON**



REAR ELEVATION OF RESIDENCE



**WEST WALL OF EXISTING GARAGE. VIEW LOOKING NORTHEAST**



**GARAGE WEST ELEVATION**



**GARAGE NORTH / SIDE ELEVATION**



**GARAGE EAST / ALLEY ELEVATION**



**GARAGE SOUTH / SIDE ELEVATION**



## Zoning Analysis Summary

### Case Number:

### Case Status/Determination:

21PRES-0011 – 2243 Orrington Avenue R1 Single-Family Residential District   Northeast Historic District Contributing Structure	Compliant
---	-----------

### Proposal:

Proposed demolition of existing detached two-car garage and construction of a detached ADU in rear-yard.
--

### Zoning Section:

### Comments:

Ord. 171-O-19	Detached coach houses with no additional parking are permitted as an accessory use.
6-8-2-5	The lot size is 12,600 square feet where 7,200 is standard.
6-8-2-6	The minimum lot width is 70' where 35' is the minimum required.
6-8-2-7	The proposed building lot coverage is ~ 25.0% where 30% is the maximum permitted.
6-8-2-10	The proposed impervious surface ratio is ~40% where 45% is the maximum permitted.
6-8-2-8 (C) 4.	The proposed ADU, located in the rear-yard, is 3' from the rear-yard lot line where 3' is required.
6-4-6-4	The proposed structure is 26.25' H where 28' is the maximum permitted
6-8-2-12	The proposed access for off-street parking is from the alley and does not cross the front lot-line
Title 6, Chapter 16 Table 16-B	Two off-street parking spaces are proposed where 2 are required
6-4-1-9 (B)	The proposed eaves do not encroach on more than 10% of any required yard.

### Additional Comments:

- Review and issuance of COA by HPC is required.



2243

630  
DARTMOUTH



629  
NOYES



## MEETING MINUTES

### **HISTORIC PRESERVATION COMMISSION**

Tuesday, January 12, 2021

7:00 PM

Via Virtual Meeting

Members Present: Beth Bodan, Ken Itle, Suzi Reinhold, Mark Simon,  
Stuart Cohen, Jamie Morris, Aleca Sullivan, E. Dudnick

Members Absent: N/A

Staff Present: C. Sterling, City Planner

Presiding Member: Suzi Reinhold, Vice-Chair

---

### Declaration of Quorum

With a quorum present, Vice-Chair Reinhold called the meeting to order at 7:00 p.m.

#### **1. CALL TO ORDER / DECLARATION OF QUORUM**

- With a quorum present, vice-chair Reinhold called the meeting to order at 7:00 p.m.

#### **2. SUSPENSION OF THE RULES:** Members participating electronically or by telephone

- Chair Simon moved to suspend the rules to permit members to participate electronically or by telephone. Second by Commissioner Pro-Tem Dudnick. The motion passed unanimously by roll-call vote.

#### **3. OLD BUSINESS**

##### **A. 2404 Ridge Avenue – Public Hearing of Economic Hardship - 20PRES-0308**

Rick Sweitzer, owner of record, applies for a Certificate of Economic Hardship, following the September 29, 2020, City Council's decision to not accept Mr. Sweitzer's appeal of the Preservation Commission's denial of a certificate of appropriateness on August 11, 2020. The Commission previously denied approval of the existing conditions of windows and skylights on the accessory structure, which reflect less work completed than originally approved 15+ years ago. The applicant claims returning the structure to the 1997/2000 approved alterations would result in economic hardship or the denial of all reasonable use of and return from the property. Applicable standard 2-8-10 (B).

- Mr. Sterling read the case into the record and provided guidance regarding the procedure for a public hearing, timeframe for input, and relevance of testimony.
- Mr. Sterling reminded commissioners that one standard applied to this case and it was not intended to be an opportunity to revisit the previous denial of Certificate of Appropriateness.
- Mr Sterling stated that the applicant and commissioners had received guidance regarding the case and that the applicant had agreed to the procedural framework.
- Mr. Sterling made a point of order to clarify that in the recommendation memo sent to commissioners it was stated that the proposal to subdivide the

property had been approved, when although it had received a positive recommendation from the commission, it had been ultimately disapproved by Council.

- Vice-Chair Reinhold asked if there was a motion to open the public hearing.
  - i. Commissioner Sullivan made a motion to open the public hearing. Second by Commissioner Bodan and approved unanimously on a roll-call vote.
- Mr. Sweitzer gave a brief presentation regarding the case for economic hardship.
  - i. Re-read the single standard for review
  - ii. Belief that the denial of the aforementioned COA met the standard as it resulted in the removal of reasonable use and return of the property
  - iii. Without the COA, a COO will not be issued by the City despite the construction is complete, meets code, and has passed inspection.
  - iv. This determination prevents reasonable use of the barn as an ADU, and the income that would generate (\$3,500 and \$4,400 per month in loss revenue)
  - v. Briefly discussed relationship with neighboring property owners whos objections have been consistent
  - vi. Discussed the financial burden related to the reversal of the deviations from the original COA
  - vii. Described the recent roofing project which was necessitated due to removal of the non-approved skylights on the east elevation
  - viii. Discussed the irrationality of adding additional skylights to the west elevation where they are not existing now
  - ix. Discussed additional financial burden placed on his business, and family due to COVID and associated restrictions on business operability.
  - x. Discussed challenges for the businesses employees and a continual loss of savings despite the use of all available resources
  - xi. Approval of the earlier COA's would have allowed for the family to receive financial gain from years of investment into the barn with the ultimate goal being its preservation.
- Commissioner Cohen asked Mr. Sterling about the definition of hardship
  - i. Mr. Sterling stated that he had discussed with the City Attorney what the definition of hardship was, as well as the definition of reasonable in this instance, and was instructed that it would be left to each Commissioners own interpretation and discretion
- Commissioner Cohen asked if the property owner could claim hardship if he was to blame for the hardship in question
  - i. Mr. Sterling asked the City Attorney to provide input.
  - ii. B. George, City Attorney, stated that this was something the Commissioners could take into account when making a determination
- Chair Simon stated that the use of this ordinance provision was never used previously, so there is not much precedent.
- Commissioner Cohen said similar hearings related to zoning are more common. If you are responsible for the hardship, you shouldn't be able to claim that the result of your own negligence is a hardship
- Chair Simon asked if the barn was currently occupied and rented
  - i. Applicant stated that it was not. The tenants of the principle residence use the barn, but it is not occupied separately.

- Chair Simon asked for clarification on the costs reflected in the application and if they were reflective of the total cost to build out the barn as approved by the original COA. Cost of ~\$70,000
  - i. Applicant believes so
- Vice-Chair Reinhold stated that the cost was \$72,650 total but that this included the skylights and roofing which was already completed.
  - i. Applicant stated that was not correct because although they removed the skylights from the east elevation, they would have to install them on the west elevation per the approved plan
- Commissioner Dudnick asked if the barn could be rented separately even with a COA as some document in the application made it seem otherwise.
  - i. Mr. Sterling stated that there was a pre-existing covenant on the property which disallowed rental of the structure but this was prior to the recent code changes for ADU's. The covenant would be released once the property was brought into compliance, part of which is receiving a COA for the alterations.
- Commissioner Dudnick asked if the appraisals in the application included the barn
  - i. Applicant stated that they did include the barn
- Commissioner Dudnick asked about the letter in the application from the original Architect, noting that the work was performed long ago and was substantially completed, but he never mentions that the work was not completed in compliance with the COA.
  - i. Applicant stated that Mr. Sterling had asked both commissioners and the applicant to not address the previous COA, but since it seems relevant to Mr. Dudnick he would like to respond.
  - ii. Applicant responded that the work was substantially completed in compliance with the exception of some window placement and that those changes later received administrative approval by C. Ruiz, Preservation Officer
- Commissioner Bodan stated that this went back to the previously discussed issue about re-issuance of the COA, which she believes was done because construction was delayed and started after the COA was issued and it was not intended to be approval of the modifications
- Commissioner Dudnick stated that it must not be true that the modifications were approved administratively or this whole situation wouldn't be occurring
- Applicant stated that he was instructed not to revisit the original COA by Mr. Sterling and that he should only address the question regarding hardship. He would be happy to discuss it.
- Vice-Chair Reinhold agreed, stating that the commissioners should focus on the question at hand regarding the single standard, not revisiting the original COA.
- Commissioner Morris asked if the property is currently rented as one entity and the tenants have free use of the barn
  - i. Applicant stated yes, but not to occupy as habitable space
- Commissioner Morris asked if they were paying for the use of the barn as a workshop or separate space
  - i. Applicant stated that they were not paying rent for the barn
- Commissioner Morris clarified that that tenants were paying for use of the entire property, and that agreement included use of the barn. That the lease would be higher because the barn was included.
  - i. Applicant stated that this was not the case

- Mr. Sterling stated the tenants could use the barn for anything but habitable space due to not having a FCO
- Chair Simon stated that although the barn was not renovated in accordance with the approved COA, it appears to be in good condition but that it had lost much of its historic appearance. The question is to move forward, whether the Certificate of Economic Hardship was a viable remedy. Clearly its not a denial of the use of the property, but is it of a reasonable return is the issue. Certainly a greater return would accompany use of the barn
- Chair Simon wondered if there was some other way to deal with this. They did not decide through the determination on the COA that the barn could not be rented, that is not a decision the commission made or a result of their determination
- Commissioner Bodan stated that the City recently adopted changes which would permit use of the barn as an ADU. If the structure was brought into compliance, then there would be more income potential
- Applicant stated that this was incorrect. Denial of the COA was denial of the return of the property.
- Commissioner Cohen stated that they could assume this was true, that no return on the previous investment could occur without the barn being able to be rented. However its clear that this was created through negligence.
- Commissioner Cohen stated he didn't see a way to resolve the issue and wondered if there was some kind of negotiated position

### **Public Comment**

- Vice-Chair Reinhold asked if they could invite public comment. There were three letters of opposition sent to commissioners by Mr. Sterling.
- Vice-Chair Reinhold asked if there was anyone else who would like to speak toward the application.
  - i. No response

### **Deliberation**

- Vice-Chair Reinhold noted that the recommendation memo provided by staff states that the applicant could apply for a modified COA that addresses concerns from the previous denial. This may be a path forward.
- Commissioner Dudnick asked if they did issue a Certificate of Economic Hardship, would the barn still need to meet the original COA, and would it receive a FCO
  - i. Mr. Sterling stated that with issuance the applicants issues related to the Preservation Commission would be resolved but it would not immediately translate into issuance of an FCO
- Commissioner Dudnick asked why that would be the case
  - i. Mr. Sterling stated that unrelated issues with the City would need to be resolved
    1. Applicant stated this was not true
- Commissioner Dudnick asked if hardship was granted, could the barn remain as it exists currently
  - i. Mr. Sterling stated he believed it would
- Commissioner Cohen asked what they would do with the fact that the applicant disregarded the directive of the Commission and the precedent that would be set
  - i. Mr. Sterling stated that there was some public comment to that point and that he found the statements to be hyperbolic. The preservation ordinance would still be enforceable unlike the comments suggested. The City does not make a great effort to retroactively go after property

owners who violate non life-safety codes and that it occurs frequently -- discovery of non-permitted interventions long after they occurred and the City works with those property owners with understanding and flexibility to find negotiated resolution.

- ii. Mr. Sterling further stated that he would advise the commissioners to look at this and all cases individually. There is no precedent that they are setting, each case is unique. Recommended review of the staff recommendation memo regarding action and next steps.
- Commissioner Cohen asked if the City retroactively enforced building code violations.
    - i. Yes, if it's a life-safety issue
  - Commissioner Cohen stated that if this was the position the City takes, then the Preservation Commission should be left out of it, a negotiated settlement should be agreed to, and the applicant should pay a fine.
    - i. Mr. Sterling stated agreement and that there is a separate code section to adjudicate this administratively.
  - Vice-Chair Reinhold asked Commissioners if someone would like to make a motion for or against the application.
  - Commissioner Dudnick stated he had a difficult time seeing the standard being met if the hardship was simply the cost of restoration and reversal of alterations.
  - Commissioner Cohen stated it was also the loss of rental, that's what the applicant is claiming
  - Vice-Chair Reinhold stated that the loss of rental was related to more than just denial of the COA.
  - Commissioner Cohen asked if there were any additional code violations
    - i. Applicant stated no it is compliant and explained further including discrepancies in surveys
  - Commissioner Dudnick asked what the tenants use the barn for
    - i. Tenants use it as workspace and storage
  - Questions regarding how a FCO would be achieved
    - i. Mr. Sterling stated that he received conflicting information from that presented by the applicant and that the COA was only one of a few issues that would need to be resolved before the covenant restricting use of the barn and property would be released
  - Chair Simon stated a preference that the applicant be able to use and rent the barn, Evanston needs the housing, and the structure looks very nice, it just doesn't comply with the approved plans or a historical barn. Would like to not simply waive all the non-compliant issues via economic hardship, but would like to pursue Mr. Sterlings recommended path for a modified COA.
  - Chair Simon stated that the City and the applicant need to find a way to allow rental of the barn through negotiation and staff recommendations which could include a modified COA to include some but not all the reversals and previously approved alterations, not all of which actually benefit the historical appearance of the barn.
  - Commissioner Cohen stated agreement. One way to preserve old buildings is adaptive use, and it is unreasonable that a barn that is converted to a habitable use continue to look like a barn.
  - Commissioner Cohen stated that there should be a re-appraisal of the important historical features which the commission is charged with preserving. What are those features, and how can we preserve them and move on.

- Commissioner Dudnick said it was not appropriate for the Commission to create a list of features that need to be retained and those which need to change. Not their role to re-design it.
- Commissioner Cohen disagreed and asked what Commissioner Dudnick would propose to do
- Mr. Sterling stated that it may be outside the Commissions purview, but not outside of what staff could undertake.
- Commissioner Dudnick stated that the applicant should propose something and it be reviewed by the Commission
- Commissioner Cohen asked the applicant if that is something he would be willing to do
  - i. The applicant went through the differences from existing and previous approval, noting that most of the deviations are that work that was approved wasn't performed. There was less done than approved.
- Commissioner Cohen stated that approved plans and a permit is for execution of those plans. You cannot delete or alter them.
- Applicant stated that as Mr. Sterling referenced, it may not be correct, but it is common to alter the plans, particularly by doing less than what was approved
- Commissioner Cohen stated that an amendment then needed to be filed
  - i. Applicant stated that this was done and approved by Mr. Ruiz
  - ii. Mr. Sterling stated that the discrepancy is that the applicant believes this occurred and the City disagrees. Mr. Ruiz affirms that he did not approve of the modifications. It is the applicants word against Mr. Ruiz. There is a lack of documentation and institutional knowledge related to the case since it occurred so long ago.
  - iii. Applicant states that is not true and that Mr. Gerdes, the building official, would confirm it
- Vice-Chair Reinhold recommended a motion be made.
- Commissioners asked if they could determine say that the west elevation was the most critical and make a plan by which the total cost of reversal be minimized but that elevation better represent what it was supposed to look like.
- Vice-Chair Reinhold asked if this would be considered
  - i. Applicant stated yes and gave some history on the previous discussion by the commission in the 90s.
  - ii. During the first denial of the COA by this Commission the discussion was centered around the skylights on the east side and those have since been removed
- Commissioner Cohen asked if they could add a condition to a motion so that the applicant work with City staff to find a negotiated resolution.
- Commissioner Itle stated he would rather it be a friendly suggestion rather than a condition of the motion.
- **Commissioner Itle made a motion to grant a Certificate of Economic Hardship. Second by Commissioner Bodan. The motion failed unanimously on a roll-call vote.**
- Commissioner Cohen asked if they could make a separate motion so the applicant could work with City staff to find a resolution.
- Mr. Sterling stated it is something the applicant and staff would discuss after the meeting and a motion was unnecessary.
- Commissioner Dudnick stated his preference that the applicant re-apply for a COA showing the modifications.
- Commissioner Itle stated that was the correct process if alterations were proposed and the ball was in the applicant's court to do so.

**B. 1208 Ashland Avenue - Landmark  
20PRES-0314**

Miroslaw Ogidel, submits for a Certificate of Appropriateness to replace a total of 16 stained glass windows in existing openings with new stained glass windows, same size, as per manufacturer's specifications. Applicable standards: [Alteration 1-10]

- Mr. Sterling read the case into the record.
- Applicant explained that a significant amount of hail damage occurred and that the current stained glass windows are bending and are at significant risk of cracking and breaking during poor weather events
- New windows will be stronger but will fit within the existing openings.
- Vice-Chair Reinhold stated that the survey sheet identifies this as a landmark property and that the art glass windows are listed as a historic feature
- Commissioners asked if the view was from the exterior or interior. Applicant stated from the interior although the view would be similar from the exterior.
- Commissioner Dudnick stated that the existing windows have an operable transom as the bottom.
- Applicant stated that the proposed windows would have something similar on the sides
- Commissioner Cohen asked if they had considered repair and installation of protective exterior glazing rather than replacement. Rather than new saints, it would be more appropriate to respect the existing quality of stained glass and artistic intent
- Applicant stated the windows were in poor condition and nearly 100 years old.
- Commissioner Cohen stated that the age was irrelevant. Citing examples of other churches and restoration programs for stained glass.
- Commissioner Cohen stated restoration was important as a landmark building.
- Applicant stated that these windows were not the original windows, being installed sometime in the 1930s.
- Commissioner Cohen stated that was only relevant if they were proposing to replicate the original windows
- Applicant stated that they are intending to respect the structure of the building. The windows will be the same size and same openings, but reflecting the cultural views of the existing congregation, something that occurred frequently when new congregations would take over existing churches.
- Commissioners Cohen and Dudnick stated that when the building was landmarked, these were the windows which existed and they have significance
- Applicant stated that they looked at repair and it was too expensive, being \$10,000 per window and the investment would be for a window susceptible to future damage
- Chair Simon discussed the earlier proposal on the same property for replacement windows in an accessory structure and that they denied that application, but the congregation did explain the financial difficulties they have sharply reduced revenues
- Commissioner Dudnick asked if the replacement windows were stained glass
- Commissioner Cohen stated he thought they were painted glass
- Commissioner Itle asked for more detail from the applicant. Is there three panes of glass, two clear with a decorative panel between?
  - Applicant stated that it would be real stained glass, explained the need for repair or replacement because the lead is very old. Because lead is a health hazard, they sandwich the leaded glass between two panes of

clear glazing. The windows are vacuum sealed and the exterior glazing protects from storm damage

- Commissioner Itle asked for confirmation that the center stained glass panel is actually stained glass, with individual pieces of glass and leaded tin coming, not one panel.
  - Applicant stated that it was real stained glass with coming. All glass is sourced regionally.
- Commissioner Dudnick asked if that was possible, in the elevations, there are variations in color without coming that can't be individual pieces of glass. It still looks painted.
- Commissioner Cohen asked why the new windows, with new materials and methods of installation could not be used but reflect the same image of the existing windows
  - Applicant stated that they wish to alter the window appearance to meet the cultural wishes of their congregation
- Commissioner Cohen stated the commission was charged with preserving the integrity of the landmark structure as nominated
- Applicant wanted to address previous concerns regarding the coming and individual glass pieces. The elevations provided are just sketches to reflect the intent, once the design is approved, you would see the individual glass pieces and coming, it just doesn't show well on the small drawing. They will be individual pieces of stained glass.
- Commissioner Cohen expressed that there were alternative methods to accomplish the detail which exists on the original windows, such as coming on both sides of the glass.
- Chair Simon stated that he thinks the church should be given deference to replace the windows based on their spiritual desires, similar to how the previous Polish congregation replaced the windows they inherited. It is historically common.
- Commissioner Cohen stated that the decision shouldn't be a matter of desire or taste.
- Chair Simon stated that the commission has previously made these types of deferrals to other religious organizations and the Commission should be understanding that the windows in the building today mean something very different than they did to the Polish Congregation 100 years ago.
- Applicant stated that they only wished to do what their counterparts did 100 years ago.
- Commissioner Dudnick asked what the cost of the replacement windows was compared to the repairs.
  - The cost of the replacements are around \$50,000 compared to \$160,000.
- Commissioner Cohen stated that the question isn't that they shouldn't be able to replace the windows if they are in poor condition, but that the replacements should not degrade the integrity of the building. The only persuading argument is the long history of churches being taken over by other denominations and altering the appearance to fit their own symbolism.
- Commissioner Cohen stated he understood Chair Simons argument, but his position was that the windows should be replicated.
- Applicant states that from the public way, the windows are not seen in such detail.

### **Public Comment**

- Question regarding if the church had insurance and if so how much would they be willing to pay.

- Vice-Chair Reinhold states they did have insurance but was not sure how much it would cover
  - Insurance would cover \$50,000. This is the only money we have for the replacements. Doesn't come close to the repair cost.

### **Deliberation**

- Commissioner Bodan suggested the proposal has trouble meeting the standards for alteration as they are integral components to the landmark structure. The original material, both in artistic quality, and material, are valuable and there are means to restore them and exterior protective glazing and saddle bars can be installed to protect from weather. Understand the need and economics, but tough meeting the standards.
- Commissioner Sullivan asked a clarifying question about the exterior white storms. The interior is obvious, but how does it look from the exterior?
  - Applicant stated that they would not need saddle bars like the existing windows. The stained glass would be less visible from the outside during the day, but very visible on the interior. During night if the interior lights were on, the stained glass would be seen from the outside.
- Commissioner Dudnick asked a clarifying question regarding the broken panes of glass. How many windows have broken glass?
  - Eight have broken glass but all sixteen are bending and they were told all 16 need to be repaired. Even with just a broke piece of glass, they have to take the entire window out to repair.
  - All windows are inoperable
- Chair Simon moved to approve a certificate of appropriateness for the replacement of 16 stained glass windows with new stained glass windows of same size. Second by Commissioner Itle and approved on a roll-call vote of 6-2. Commissioners Bodan and Cohen dissenting.

### **C. 1206 Hinman Avenue - LSHD 20PRES-0303**

Paul Lang applies for a certificate of appropriateness for re-siding some sections of the home with fiber cement, new trim, demolition of the side porch, and rebuilding with structural footings, opening the front porch, and widening the rear porch with new composite decking. Applicable standards: [Alteration 1-10]; Construction [1-8, and 10-15]; Demolition [1-6]

- Paul Lang, applicant, discussed the feedback received at the previous commission meeting as well as the intent to have a more unifying style in the new drawings. Attempting to embrace the original Greek Revival style.
- Applicant discusses the integrity and significance of the home, believing it currently doesn't contribute to the District
- Applicant discussed differences between the earlier proposal and the current rendition. Hipped roof structure is retained, enlarged rear-porch, open front-porch, covered stair to the north, and deck and three-season room addition to the south. These remain similar in form but altered in detailing. Embracing additional columns and a frieze.
- Applicant provided additional information on the south roof covering.
  - Purpose is to break-up the space that is voided between windows due to a double header plate which runs lower than the rest of the first floor thus the windows in this location are lower. There is also a recess and is intended to divert attention from that recess.
- Discussed window trim.

- Additional details were shown which address the capitals as well as the trim and box gutter system
- Vice-Chair Reinhold stated that it was not a landmark building, but was a contributing structure.
- Vice-Chair Reinhold described the historic features of the home as well as many non-original interventions including the stucco and front and side porch.
- Applicant stated agreement with Vice-Chair Reinhold's statements and indicated the plan to use hardieboard fiber cement cladding in place of the non-original stucco
- Applicant discussed the house's style including the previous discussion by the commission that later interventions could be described as being similar to a Prairie Style. Applicant stated there are elements of horizontality, but he didn't see the Prairie influence.
- Commissioners agreed saying their reference at the earlier meeting was misunderstood.
- Vice-Chair Reinhold asked the applicant to confirm the use of aluminum clad wood Marvin Ultimate windows with simulated divided lites for all replacements.
  - Applicant stated this was correct.
- Vice-Chair Reinhold asked for confirmation that a composite trim was being used
  - Applicant stated this was correct.
- Commissioner Bodan asked for clarification on the new corner detailing
  - Applicant stated the intent was to add additional Greek Revival ornamentation. Similar details are carried through the entire design
- Vice-Chair Reinhold stated concern with the three-season room and roofed intervention on the north elevation. No objections to the rear elevation alterations. Would like to see a proposal for the three-season room and roofed overhang on the north elevation which better maintains the proportions of the street-facing façade.
- Vice-Chair Reinhold expressed concern with identification of the entryway being lost with the new stair orientation. Concerns with relationship of existing and proposed façades as well as relationship between solids and voids.
- Commissioner Sullivan agreed with Vice-Chair Reinhold and asked the applicant to clarify the distance the north and south alterations extended and if further than the existing porch.
  - They are symmetric, but extend further than what is existing.
- Commissioner Sullivan stated that the two interventions create unnecessary horizontality to the front-facing façade
- Vice-Chair Reinhold asked if there were alternatives for the three-season room that were considered
  - Has considered alternate positioning, height, and width as well as a flat roof form. What is important was to make the outside space more useable. That is the intent of the three-season room itself.
  - The reference to wings or added horizontality is not something which changes the structure in a meaningful way.
- Commissioner Dudnick stated that there are remnants of the original structure but it is lost with the new interventions. This includes the added detailing which has no function.
- Commissioner Dudnick asked for clarification on the proposed siding.
  - Applicant stated that the four corners and detailed pilasters as well as the enlarged frieze board which simulates a beam, have no function
- Commissioner Cohen asked the application to explain the dark line which completes the triangle of the front-facing gable-end. Commissioner Dudnick asked if this was more siding, but in a different plane.

- Applicant stated it is not in a different plane, it is just a rendering error.
- Commissioner Cohen stated that the detailing, the non-functional pilasters and simulated beam, as well as other decoration common on more high-style Greek Revival homes, is not important in this instance. The issue is the winged additions at the front-facing façade.
- Commissioner Cohen asked for clarification on the roofed structure on the north elevation. What is its purpose, other than to balance the composition of the three-season room on the other side
  - Applicant stated it was intended to provide protection from the elements for familial purposes
  - The other motivation is symmetry, common in Greek Revival homes
- Commissioner Dudnick asked for clarification on why the porch columns cannot be symmetrical
- Commissioner Cohen agreed, stating he didn't understand why they couldn't be symmetrical and center on the home as the roof appears to be symmetrical
  - Applicant stated the issue comes from the windows not currently being centered on the house
- Commissioner Sullivan asked if the three-season room could be located toward the rear-façade. The proposed massing is not sympathetic to the surrounding homes on this block
  - It could be moved back, but not much. Maybe 5' or so, but there are concerns with symmetry.
- Vice-Chair Reinhold asked if there was any public comment.
  - None.

### **Deliberation**

- Vice-Chair Reinhold stated concerns with standards for construction 2, 4, and 6. As well as alteration 1.
- Commissioner Itle expressed concerns with the added non-historic ornamentation to a vernacular home as well as concerns with the new orientation of the front-facing stair and added horizontality of the additions.
- Commissioner Morris agreed with Commissioner Itle. The massing is more complicated than needed. Visual complications exist unnecessarily.
- Commissioner Dudnick agreed, adding that the applied frieze on the north and south elevations is not appropriate. Standard for alteration 4, is something to make a compromise on since the 50s alteration isn't something that needs to be replicated in any way. There is a strained effort to create something which did not exist.
- Vice-Chair Reinhold asked if the applicant would like to continue the case, or have action taken tonight. Would the applicant be willing to make changes based on the suggestions related to massing
  - Applicant stated he would remove the added ornamentation if it was seen as inappropriate. The north covered stair could be removed, but the three-season room moving further to the rear is not something which he would consider. It wouldn't be useable.
- Vice-Chair Reinhold asked if the applicant would consider continuing the case and having some additional input by staff or a subset of commissioners
  - Mr. Sterling stated he would recommend taking action on the case rather than continuing it. Due to the significant changes which seem to be needed to meet the standards, it seems difficult to make the next meeting. Reapplying once a modified COA was refined would be better than the commission continuing the case at multiple meetings.
  - Applicant stated he was not considering making major changes.

- In light of the applicant not considering larger changes, Vice-Chair Reinhold recommended a vote be taken tonight.
- **Commissioner Dudnick moved to issue a COA for the project. Second by Commissioner Bodan. The motion failed unanimously by a roll-call vote.**
  - **Standards not met: Alteration 1,2,3,4,6; Construction 2, 6**

**D. 929 Sherman Avenue - Landmark  
20PRES-0313**

Dick Co, submits for a Certificate of Appropriateness for the construction of a 2-story addition to the existing garage in the rear yard as an ADU (accessory dwelling unit).  
Applicable standards: Construction [1-5, 7, 8, and 10-15]

- Mr. Sterling read the case into the record.
- Applicant gave a brief introduction focusing on the legality of Accessory Dwelling Units as-of-right and the proposal being compliant with the Zoning Ordinance.
- Applicant stated the case was continued to give Commissioners an opportunity to look at the site and the relationship between the alley-facing structures
- Applicant stated they looked at alternatives, but there were no substantial changes which could alleviate the neighbors concerns
- Applicant discussed the need for the ADU to accommodate the homeowners elderly parents
- Applicant discussed how the proposal is less than the maximum height and bulk permitted as-of-right
- Vice-Chair Reinhold asked what type of windows exist on the landmark property. Vinyl proposed for the ADU and existing on the garage correct?
  - Yes correct. Wood on the landmark house. Vinyl was selected to match the existing windows on the garage

**Public Comment**

- Neighboring property owner Martin and Hillie Haker discussed their concerns with the project and shared some photos of their home in context to the proposed structure. The concern is the loss of light and ventilation.
- Commissioner Cohen stated that the non-conforming brick structure should have been shown on the proposed drawings. The relationship is missing and is critical and although not related to the COA, it is an unfortunate circumstance.
- Commission Dudnick stated concern with the condition as well and it would have been nice to see how the proposed structure would impact the
- Neighboring property owner expressed an understanding when they bought their home, that the Landmark property could not have substantial additions due to preservation restrictions. Asked if the preservation standards had changed dramatically in recent years to accommodate ADU's
- Mr. Sterling stated that the concerns in question are not related to the Preservation Ordinance or its standards for review, which haven't changed. What has changed recently are Zoning regulations as related to construction of ADU's. What is being proposed meets the Zoning Code and can be done as-of-right outside of preservation approval.
- Mr. Sterling stated the neighboring property owners could share their screen to show photos of the structure and alley, but to make the presentation brief.
- Neighboring property owners shared photos of their home on the alley and explained the non-conforming conditions which make an adjacent building, even if code compliant, so detrimental to their quality of life
- Commissioner Dudnick asked if the new structure would fit into the void identified on the photos between the two structures.

- Property owner explained that a portion of the existing garage is being torn down to accommodate the structure as well.
- Commissioner Cohen stated that the adjacent non-conforming structure should have been shown on the drawings. Only know distance from property line, but since the building is over the lot line, it is actually closer than the zoning analysis reads.
- Commissioner Cohen stated that the issues being discussed relate to zoning, not preservation standards
- Commissioner Dudnick disagreed stating that the relate to the relationship between structures
- Commissioner Cohen agreed the relationship is poor. The proposed building will block light and air into that elevation of the existing structure. Privacy issues related to window placement. Doesn't feel good about it, but not sure it's a principle concern of the commission.
- Commissioner Sullivan stated that standards for construction 4 and 5 relate to the relationship between structures and rhythm of solids and voids although those standards relate to the relationship on a street and this is an alley.
- Commissioner Cohen agreed. This is not a street. Standards are intended for the relationship of front facing facades.
- Commissioner Sullivan stated that it is a public way. Feels like there are tools available to review the concerns. The other side of the lot is more desirable for this kind of intervention since it abuts a surface parking lot. Why was that location not considered.
  - It was considered but it would have involved demolition of the recently constructed garage and it was determined to be cost prohibitive. Increase of \$50,000 in cost
- Commissioner Cohen suggested the garage did not need to be demolished. There are ways to build over it. Pick it up or move it. These things are possible.
- Commissioner Dudnick agreed. Ways to construct above without using the existing foundation structurally
- Commissioner Sullivan stated that of all the locations to put this ADU, the proposed location is not appropriate. Not good massing.
- Commissioner Bodan agreed. And asked for clarification on the existing roof line of the Landmark structure and the height of the roof for the proposed ADU.
  - Applicant stated they did not have an exact number off-hand, but the ridge of the ADU is lower than that of the principle structure by ~5' or so.
- Commissioner Bodan asked for clarification on the siting of the ADU and the relationship between the rear-yard setback.
- Commissioner Dudnick asked if the proposal had received zoning approval already.
  - Yes.

### **Deliberation**

- Vice-Chair Reinhold stated at the last meeting the Commission had asked the development team to look at alternatives and work with the neighbor to find an amenable solution. It seems this was not feasible and the proposal is the same.
- Commissioner Bodan stated that standards for construction 4 and 5 are not met.
- Commissioner Dudnick stated concern with standard for construction 10.
- Commissioner Itle stated concern with standard for construction 3. Concern with the window types and sizes. Appears random. Needs an improved visual relationship with the existing structure.
- Chair Simon asked if they are voting on the proposal as it exists or if they would have some recommendations for specific changes

- Vice-Chair Reinhold stated that they had asked the design team to look at other options and were not feasible.
- Applicant stated that they designed the project in line with what zoning allows. The rendering shows the appropriate window configuration. The other drawings included were from an earlier rendition.
  - Mr. Sterling stated that there were many alternatives in the file folder and since he was not familiar with the project or correspondence, the error was his. Mr. Sterling stated he would pull up the correct drawings.
- Applicant stated that they did study the placement of windows on the ADU's north elevation to not align with the neighboring windows and to allow increased privacy
  - Also considering making those north windows semi-transparent rather than fully transparent.
- Commissioner Bodan stated the mass of a single-story ADU would be more appropriate in the proposed location
- Neighboring property owner stated that the back of the alley already has a large apartment building planned which could be used instead of an on-site ADU and that she was opposed to the project.
  - Mr. Sterling reminded the neighboring property owners that public comment had ended and commissioners need to be allowed to deliberate without interruption
- Mr. Sterling reminded Commissioners that there were 7 additional cases for review this evening and they had spent nearly an hour on this single-case. Mr. Sterling recommended that the Commission take action.
- Vice-Chair Reinhold agreed.
- Chair Simon moved to issue a COA for the proposal. Second by Commissioner Sullivan. The motion passed on a roll-call vote of 6-2 (Commissioners Bodan, and Sullivan dissenting).
- Commissioner Cohen stated the standards were met but the proposal is amoral.

#### **E. 1227 Greenwood Street - Ridge HD 20PRES-0315**

Guy Elgat, and Valerie Shternberg, submit for a Certificate of Appropriateness proposing to renovate the existing first floor, replace all windows with black, thinly- framed ones, slightly expand the window in the living room, tear down the roof, and add a second floor to 1227 Greenwood St. Finished the entire building in white, smooth stucco. Applicable standards: [Alteration 1-10]; Construction [1-8, and 10-15]; Demolition [1-6]

- Mr. Sterling read the case into the record and explained that major adjustments had been made but the description needed to remain the same as was noticed since the case was continued previously and a new notice was not required.
- Vice-Chair Reinhold asked if the proposal would be reviewed under alteration standards and construction standards or just construction?
  - Mr. Sterling stated as it was originally proposed he would have recommended only standards for construction, but with the revisions, the standards for alteration are also applicable.
- Applicant presented changes from the previous proposal reviewed a month earlier.
  - Most of the existing gable roof is preserved
  - Limited most of the changes to second story addition
  - Materials have been altered although brick at base of home has been retained
  - New second story with two gables of similar slope
  - Removed vinyl siding for stucco to match stucco second story

- Designed to limit bulk at the façade closest to the north neighbors property
  - Front facing façade steps back at second story to reduce bulk as seen from the street and compliment adjacent single-story structures
- Height of proposed structure is still less than most proximate homes
- Discussed neighboring properties and contextual height. A mix of single and two-story homes of varying bulk/mass
- Vice-Chair Reinhold asked for clarification on the transition between the existing brick and proposed stucco
  - Some transitional piece would be needed, and could be metal to match the existing homes metal band. Concerns with the perceived weight of continuing the band around the entire structure
- Commissioner Cohen asked if the metal band in question was originally wood
  - Potentially. Its covered in aluminum and we haven't explored whats beneath
  - Could continue a band all the way around if necessary
  - Vice-Chair Reinhold suggested looking into it. It appears that it wants to come across as it did originally
- Commissioner Cohen acknowledged the work that the architect had undertaken to accomplish the same design goals with different use and applications of materials
- Commissioner Dudnick and Commissioner Cohen discuss the accuracy of the rear elevation as well as the viability of continuing the band across the rear elevation and the placements of gutters and downspouts
- Commissioner Cohen and Commissioner Dudnick discussed the surrounding architecture and the previous submission.
- Vice-Chair Reinhold asked if they were proposing the fiberglass ultrex windows for the entire home
  - Yes
- Commissioner Bodan asked what the original windows were
  - Aluminum divided lite windows with aluminum storms. Outswing casements.
- Commissioner Bodan discussed transitions of materials from second and first floor and asked if the aforementioned band would continue across all elevations
  - Yes, if it continued at the rear, it would need to continue across all elevations, but it is difficult to understand how to accomplish it and the aesthetic impact
- Commissioner Bodan discussed the use of vertical siding. Difficulty with the expression compared to the original horizontality
  - The verticality emphasizes the entrance. Looked at other options for this, but think the verticality of the wood siding is effective.
  - Both horizontal and vertical siding are typical of ranch homes of this vintage
- Commissioner Dudnick stated that the exploration of taller windows at the front entrance makes a lot of sense and perhaps it should be looked at again. The entrance door now is nearly lost.
- Commissioner Cohen asked if there was an overhead plane over the entrance door.
  - Roof overhangs by 3-4 feet currently, but the proposed condition is in plane with the windows.
  - Commissioner Dudnick asked if the entrance could be recessed
    - It does have some protection, just hard to see in elevation

## **Public Comment**

- None

## **Deliberation**

- **Commissioner Cohen made a motion to issue a COA for the proposed project. Second by Commissioner Dudnick and approved 7-0 with one abstention (Dudnick) on a roll-call vote.**
- Commissioner Cohen stated that the applicant should take the comments for potential revisions into consideration to improve the project.

### **F. 1735 Asbury Avenue – RHD**

#### **20PRES-0293**

Tom Rowland applies for a certificate of appropriateness – Main house scope: 1. structural enhancements of floor 1 & 2, floor joists to improve floor levelness. 2. Renovation of existing kitchen with new windows and doors. 3. Covered porch and open deck. Coach house scope: 1. Renovation of existing coach house (floor 1 & 2). Applicable standards: Alteration [1-10]; [Construction 1-5, 7, 8, and 10-15]; and Demolition [1-6]

#### **Request to be continued to February 9, 2021.**

- Mr. Sterling stated that the applicant had requested a continuance due to water damage.
- Commissioner Dudnick made a motion to continue the case to the February 9 meeting. Second by Commissioner Bodan and approved 7-0 (Commissioner Cohen inaudible) on a roll-call vote.

### **G. 1509 Forest Avenue - Landmark/LSHD**

#### **20PRES-0310**

Sergio Barraza applies for a certificate of appropriateness due to hail damage to replace the existing aluminum siding on the house and the garage with Hardie plank lap siding. Applicable standards: Alteration [1-10]

- Mr. Sterling read the case into the record.
- The applicant presented additional information since the previous meeting including the proposed transitions at corners.
- Commissioners had previously asked how the original corners had transitioned and if miters were appropriate.
- After exploration of the original siding, 4" vertical corner boards were used and the same condition (5" corner boards) will be applied to the new siding.
- Original siding exposure and proposed siding exposure were discussed
- Proposal is to remove only the aluminum siding and install new insulation and hardie board atop the original siding. The window surrounds and other transition area trim will still project
- Original siding exposure is 4". Proposed will be 5"
- Commissioner Dudnick asked for clarification on the original siding and if it was a lap siding.
  - Yes, the bottom board in question is a starter. The original siding is a wood lap.
- Original siding is 4" exposure, but hardie board only comes in 5" so it cannot be matched replicated, but can improve on the condition of the aluminum siding.

## **Public Comment**

- None

## **Deliberation**

- **Commissioner Dudnick made a motion to approve a COA for 5” exposure hardie board lap siding with 4” vertical corner boards. Second by Chair Simon and approved unanimously on a roll-call vote.**

#### **H. 2027 Orrington Avenue - Northeast HD**

##### **20PRES-0318**

Kyle Donoghue, submits for a Certificate of Appropriateness to remove the existing 8-inch exposure aluminum siding from the main house. Install new vinyl siding (double 4” exposure). Applicable standards: [Alteration 1-10]

- Mr. Sterling read the case into the record.
- Mr. Sterling stated he has been unable to contact the applicant although he has been in contact with the homeowner.
- Mr. Sterling recommended action be taken without the applicant present due to the number of continuances and the necessary information being provided for action to be taken.
- Vice-Chair Reinhold stated her preference to continue the case a second time
- Mr. Sterling stated he would recommend taking action rather than continuing it since the vinyl siding being proposed is inappropriate.
- Commissioner Cohen agreed. The proposal is not only vinyl, but its not a lap siding, its 8” siding with a crease in it to mimic a lap siding.
- Commissioner Bodan asked for clarification on what the proposed siding was
  - One 8” piece of siding molded to have a slight offset in the middle to mimic two 4” pieces.

#### **Public Comment**

- None

#### **Deliberation**

- Chair Simon moved to issue a COA for the proposal. Second by Commissioner Sullivan. The motion failed unanimously by roll-call vote.

#### **I. 2009 Dodge Avenue - Landmark**

##### **20PRES-0317**

Juan Rosas, submits for a Certificate of Appropriateness to remove existing aluminum siding from the main house. Install new Hardie plank siding (4” exposure). Retain wood siding and shakes under the front gable. Replace existing roof asphalt shingles with asphalt shingles. Applicable standards: [Alteration 1-10]

- Mr. Sterling read the case into the record and explained he had been unable to contact the applicant or property owner.
- Vice-Chair Reinhold stated she had been in contact with the contractor previously and recommended continuing the case one additional time.
- Proposing a hardie plank system. Asked for more information on transitions at the corner during pre-review. A landmark home for its historical not architectural significance.

#### **Public Comment**

- None

#### **Deliberation**

- Commissioner Itle moved to continue the case to the February 9 meeting. Second by Commissioner Sullivan and unanimously approved by roll-call vote.

#### 4. NEW BUSINESS

##### A. 416 Lake Street – LSHD

###### 20PRES-0330

Paul Janicki, architect of record, applies for a Certificate of Appropriateness to construct a new single-car alley-accessible garage in the R1 Single-Family Residential District and Lakeshore Historic District. Additionally, the applicant submits for Major Zoning Relief specifically seeking proposed building lot coverage of 49.25% where 30% is the maximum permitted and 42.45% is the legally non-conforming condition (Zoning Code Section 6-8-2-7), a proposed impervious surface ratio of 65.6% where 45% is the maximum permitted and 58.5% is the legally non-conforming condition (Zoning Code Section 6-8-2-10), a 0' rear-yard setback where 3' is required (Zoning Code Section 6-8-2-8 (C) 4.), eaves which encroach on the required rear-yard by 100% where 10% is the maximum permitted (Zoning Code Section 6-4-1-9 (B).), and 5'-1" of separation between the proposed accessory structure and the extant principle structure where 10' is required (Zoning Code Section 6-4-6-2). The Historic Preservation Commission will provide a recommendation to the Zoning Board of Appeals, the determining body for this case. Applicable standards: [Construction [1-5; 7-8; 10-11, and; 13-14]

- Mr. Sterling read the case into the record.
- Vice-Chair Reinhold reiterated that the staff memo recommended a positive recommendation for major zoning relief
- Applicant explained the need for a garage and the substandard lot requiring major zoning relief.
- Applicant discussed alternatives which were considered including a porte cochere or attached garage, both of which were not sympathetic to the historic home. Proposing a single-car garage off the alley.
- Applicant described details from the home which are to be replicated on the proposed garage including the siding, roof form, and belt course
- Vice-Chair Reinhold asked if they could look at the rendering of the proposal. It is informative and shows a contextual solution to a challenging situation
- Commissioner Bodan asked if a non-enclosed pad or roofed structure were considered
  - Climate doesn't really make this a good solution.
  - Car port isn't sympathetic to the Queen Anne style
- Commissioner Cohen stated the important thing to him were the letters from the neighboring property owners in support

##### Public Comment

- None

##### Deliberation

- Commissioner Dudnick moved to issue a COA for the proposal. Second by Commissioner Cohen and approved unanimously on a roll-call vote.
- Commissioner Dudnick moved to supply a positive recommendation to the ZBA for the requested major zoning relief. Second by Chair Simon. The motion passed unanimously on a roll-call vote.

##### B. 110 Burnham Place – LSHD

###### 20PRES-0332

Brad and Ana Couri, owners of record, apply for a certificate of appropriateness to replace multiple steel windows with aluminum clad wood windows, construct an attached

garage addition on the front-facing north elevation, and construct a two-story sunroom addition to the south elevation in the R1 Single-Family Residential Zoning District and Lakeshore Historic District. Applicable standards: [Alteration 1-10]; Construction [1-8, and 10-15]; Demolition [1-6]

- Mr. Sterling read the case into the record.
- Applicant stated the home was recently purchased and they intend a full restoration
- Applicant discussed the proposed window replacements from a steel casement to a aluminum clad wood casement with slightly thicker muntin dimension. New windows needed to meet egress.
- Applicant discussed the addition at the rear replacing the existing covered porch
- Applicant discussed the single-car addition on the front-facing elevation with an open walkway between. Details will be replicated throughout including the slate roof.
- Commissioner Cohen asked for clarification on the double-hung windows being proposed
- Mr. Sterling stated there was some confusion related to the window diagram in the application document. That is just part of the application, not related to this project specifically.
- Applicant stated casements and fixed picture windows are proposed. No double-hungs.
- Vice-Chair Reinhold asked about the open walkway and if it is necessary as it adds unnecessary length to the addition and closer to the property line.
  - With the garage and walkway, the proposal is 5'6" from the lot line where 5' is required and they could just as easily enlarge the garage.
- Commissioner Cohen stated the intention was to shorten the length of the house, not enlarge the garage
- Vice-Chair Reinhold asked about the roundel window over the existing garage and why something so divergent was proposed
  - Existing window was in a bedroom. New window is in a proposed link to the new bedroom over the garage addition. The new and larger window is intended to provide more light into this sitting room.
- Vice-Chair Reinhold said the concern is the interruption in rythm as all single-windows are proposed and then one double-window.
- Commissioner Cohen agreed. A single-window would be better but isn't necessary
  - Applicant stated he would take the recommendation into consideration. They looked at it both ways and he doesn't disagree but the window is the only natural light for an internal room, so maximizing its size was seen as preferable.
- Commissioner Cohen asked about the lack of 3D renderings as required.
- Vice-Chair Reinhold stated that it was determined during pre-review that it was necessary. We did request some changes, including existing and proposed elevations and some additional line weight and annotations. It is a better application now and is adequate for action to be taken.
- Commissioner Sullivan asked if all windows were being replaced
  - Yes
- Commissioner Sullivan asked if windows were necessary for egress, as an IBC requirement.
  - Yes, and it meets the existing lite pattern and has a similar feel of weight to what was existing

## **Public Comment**

- None

### **Deliberation**

- Vice-Chair Reinhold asked if the neighbors had been contacted
  - Spoken to them. Seems relieved that the home is being restored.
  - Mr. Sterling stated he had a long conversation with the neighboring property owner to the south who was relieved at the distance between their home and the rear addition. Neither for or against the project just looking for information.
- Commissioner Bodan asked about the rear porch and if it was original to the structure.
  - The original porch is existing but has been altered with the jalousie windows.
  - Not a Landmark property
- Mr. Sterling asked about the pass through garage and the second garage door and where it leads.
  - More welcoming for guests to enter the rear yard through the link
  - Mr. Sterling asked specifically about the second garage door on the rear elevation
    - Have a similar situation on their current home and wanted to replicate it. Ease of access from front and rear. No intention to drive a car through it.
- **Chair Simon made a motion to issue a COA for the project. Second by Commissioner Sullivan and approved unanimously by roll-call vote.**

### **5. APPROVAL OF MEETING MINUTES of December 8, 2020**

- Mr. Sterling stated he had not received any amendments
- Secretary Bodan stated she found them to be accurate.
- Secretary Bodan moved to approve the meeting minutes as presented. Second by Commissioner Cohen and approved 6-0 by roll-call vote with two abstentions (Dudnick and Sullivan)

### **6. APPROVAL OF 2021 MEETING SCHEDULE**

- Mr. Sterling stated they requested the December meeting be moved to the first Tuesday rather than the second Tuesday in order to not conflict with the Zoning Board of Appeals meeting.
- Vice-Chair Reinhold asked for clarification that the Commission would meet the second Tuesday of each month except for the first Tuesday in December.
  - i. Mr. Sterling stated that was correct.
- Commissioner Sullivan moved to approve the 2021 meeting schedule as presented. Second by Chair Simon and approved unanimously by roll-call vote.

### **7. DISCUSSION**

#### **A. Pace/CTA Bus Shelters and ADA Pads**

- Commissioners discussed the proposal having no objections to the proposed shelters or potential locations although they asked if they could review any firm proposals for locations as they come up to ensure the location doesn't impact integrity of a significant landmark property.

#### **B. Potential Preservation Program Changes and 2021 Retreat**

- Mr. Sterling gave a brief introduction and background on the referral by City Council as well as the subsequent report by the Planning Division.
- Chair Simon recommended a subset of commissioners (2-3) review the memo in detail and provide input. The first meeting would be in February.
- Chair Simon, Vice-Chair Reinhold and Commissioner Bodan volunteered.

Adjourned 11:45pm