



PRESERVATION COMMISSION

Tuesday January 11, 2022

7:00 P.M.

Virtual Meeting

AGENDA

Due to public health concerns, Preservation Commissioners and City staff will be participating in this meeting remotely. Residents will not be able to provide public comment in-person at this meeting. Those wishing to make public comments at the Preservation Commission meeting may submit written comments in advance or sign up to provide public comment by phone or video during the meeting by completing the Preservation Commissions online comment form available by clicking [here](#).

Community members may participate in the Preservation Commission meeting online through a Zoom platform:

<https://us06web.zoom.us/j/94897380375?pwd=MmhzeW0vcFp3TnV6YlJoSnJ6eFI1UT09>

Meeting ID: 948 9738 0375

Passcode: 245941

One tap mobile 1 (312)626-6799

1. CALL TO ORDER / DECLARATION OF QUORUM

2. SUSPENSION OF THE RULES

City staff recommends suspension of Article 2, Section 4 of the Commissions Rules and Procedures to permit remote participation.

3. NEW BUSINESS

A. 1615 Judson Avenue – Landmark - Lakeshore Historic District – 22PRES-0002

Kristin Fogarty-Yi, architect, submits for a Certificate of Appropriateness to alter the structures fenestration at the north, south, and east elevations, alter the structures east elevation roofline at a new second-story rear bay, and construct a new railing and rooftop deck atop the existing rear volume single-story addition.

Applicable Standards: Alteration [1-10]; Construction [3, 7, 8, and 12]

B. 3312 Dartmouth Place – Landmark – 22PRES-0003

Omar Gutierrez, architect, submits for a Certificate of Appropriateness to convert an existing attached garage to habitable space, alter the north and east elevations fenestration, and construct a new single-story detached garage in the rear yard.

Applicable Standards: Alteration [1-10]; and Construction [1-5; 7-8; and 10-14]

Agenda Items are subject to change. Direct questions to Cade W. Sterling, City Planner at csterling@cityofevanston.org

The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact 847-448-4311 or 847-448-8064 (TTY) at least 48 hours in advance of the scheduled meeting so that accommodations can be made. La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847/866-2916 (voz) o 847/448-8052 (TDD).

4. MEETING MINUTES

A. Approval of December 7, 2021.

5. ELECTION OF COMMISSION OFFICERS

6. STAFF REPORTS / DISCUSSION

A. Design Guidelines Update

B. Long-Range Work Plan Update

7. ADJOURNMENT

The next meeting of the Preservation Commission is scheduled for **February 8, 2022**.

Agenda Items are subject to change. Direct questions to Cade W. Sterling, City Planner at csterling@cityofevanston.org

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1615 Judson Avenue
Landmark - Lakeshore Historic District – 22PRES-0002

Kristin Fogarty-Yi, architect, submits for a Certificate of Appropriateness to alter the structures fenestration at the north, south, and east elevations, alter the structures east elevation roofline at a new second-story rear bay, and construct a new railing and rooftop deck atop the existing rear volume single-story addition.

Applicable Standards: Alteration [1-10]; Construction [3, 7, 8, and 12]



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 1615 Judson Ave – Landmark - Lakeshore Historic District – 22PRES-0002
Date: January 5, 2022

Public Notice

Kristin Fogarty-Yi, architect, submits for a Certificate of Appropriateness to alter the structures fenestration at the north, south, and east elevations, alter the structures east elevation roofline at a new second-story rear bay, and construct a new railing and rooftop deck atop the existing rear volume single-story addition.

Applicable Standards: Alteration [1-10]; Construction [3, 7, 8, and 12]

Construction Period:

1874 (substantially altered in 1892 and circa 1920s)

Style:

Italianate (substantially altered with Queen Anne detailing)

Architect of Record:

Unknown. Circa 1920s alterations to rear volume by Walcott and Clark

Condition:

Good

Integrity:

Good (alterations are historic in their own right)

Status:

Landmark Designated; Contributing

Setting:

1615 Judson Avenue is located in the northern portion of the Historic District on the east side of Judson Avenue between Davis Street to the south and Church Street to the north. Surrounding properties were predominately constructed during the late 1800s and include a variety of high-style architectural resources including early Queen Anne, Gothic Revival, and Italianate domestic dwellings, as well as Tudor and Colonial Revivals from the early 1900s. The block consists of largely single-family homes retaining excellent integrity, including five highly significant additional local Landmarks along Forest Place to the east

and the corner of Forest Place and Church Street. Patriots and Dawes Park as well as Arrington Lagoon are located immediately east.

Significance:

The original architect is unknown, as is the architect who modernized the structure in the late 1890s. Additional alterations to the rear volume of the residence were completed in the 1920s by Chester Walcott and Edwin Clark (a brief partnership). Chester Walcott was a regional architect who designed many significant private residences and institutional buildings up and down the North Shore and into Wisconsin -- including the Kenosha and Evanston YMCA buildings among others. Walcott, designed seven additional residences in the Lakeshore District. Edwin Clark was arguably a more significant architect – a resident of Winnetka, he designed many prominent residential structures on the North Shore as well as many institutional buildings in Chicago and adjoining suburbs including the Winnetka Village Hall, Lincoln Park Administration Building, Waveland clock tower, original planning and design of the Brookfield Zoo, and many prominent structure in the Lincoln Park Zoo including the Primate House, and Reptile House.

Although the statement of significance is relatively vague in explanation, the home was listed as a Landmark for its architectural significance, and the alterations, predominately those completed in the 1890s are historically significant in that they represent evolving architectural trends and preferences of the time which shifted away from earlier Greek, Gothic, and Italianate styles and towards Queen Anne, and various early Revival styles of the late 1800s and early 1900s. The home is eclectic and playful in its form and detailing including multiple gables, ornamental frieze and cornice details, arched triplet windows in the front gable, and front-facing second-story columned porch.

Proposal

The applicant proposes alteration of the homes fenestration on the secondary (north and south) and tertiary (east) elevations as well as alteration to the homes rear-volume second-story roof line with construction of a small bay to accommodate interior changes to the master bath, and use of the existing flat roof above the rear volume addition (enclosed porch) as a rooftop deck, with new metal railing. Other than the proposed multi-story window at the north elevation stairwell, the proposed alterations are contained to the rear third of the home with no proposed changes to the primary elevation fronting Judson Avenue.

Public Comment

None

Zoning Compliance

The project is compliant with zoning requirements – resulting in no net change in existing conditions legally non-conforming or otherwise existing.

Applicable Standards

Staff recommends the following standards as well as the Commission Solar Guidelines be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

Application for Preservation Review of Certificate of Appropriateness (COA)



Window & DOOR Replacement

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts; when a permit is required and when visible from the public street or the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) **pdf format copy** of the fully completed application
- plat of survey
- interior and exterior photos of existing windows documenting current condition
- if replacing original or historic wood windows, provide information on viability of restoration
- site plan with location of new or altered windows/doors identified
- elevation drawings or photos of impacted elevations with location of new or altered windows/doors identified
- floor plans (not required but highly recommended)
- elevation and detail drawings of the existing and proposed windows/doors (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project. Dates are listed in the document below.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 1615 JUDSON AVE	FOR STAFF USE ONLY Application Number:
2) Owner's Name: MATHEW FULLER	Address: 1615 JUDSON AVE
City: EVANSTON	State: IL Zip: 60201 Phone: 202-664-2287 Email/Fax: MGFULLER@GMAIL.COM
3) Architect's Name: OBJEKT ARCHITECTURE LLC - KRISTIN FOGARTY-YI	Address: 5327 N KENMORE AVE
City: CHICAGO	State: IL Zip: 60640 Phone: 612-819-7454 Email/Fax: KRISTIN@OBJEKTARCH.COM
4) Contractor's Name: HEIDBREder BUILDING GROUP, LLC	Address: 14100 LAMBS LANE, SUITE 1
City: LIBERTYVILLE	State: IL Zip: 60048 Phone: 847-445-5012 Email/Fax: glennh@heidbrederbuilding.com
5) Landmark: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No; If yes, <input checked="" type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	

SECTION B. Checklist for Window/DOOR Materials/Style/Components/Features—Check all that apply.

Existing	Proposed	FRONT FAÇADE NO WORK	Existing	Proposed	SIDE FAÇADE (L/R)	Existing	Proposed	REAR FAÇADE
		Window Type			Window Type			Window Type
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Double Hung	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Double Hung	<input type="checkbox"/>	<input type="checkbox"/>	Double Hung
<input type="checkbox"/>	<input type="checkbox"/>	Casement	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Casement	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Casement
<input type="checkbox"/>	<input type="checkbox"/>	Awning	<input type="checkbox"/>	<input type="checkbox"/>	Awning	<input type="checkbox"/>	<input type="checkbox"/>	Awning
<input type="checkbox"/>	<input type="checkbox"/>	Hopper	<input type="checkbox"/>	<input type="checkbox"/>	Hopper	<input type="checkbox"/>	<input type="checkbox"/>	Hopper
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		Window Material			Window Material			Window Material
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum
<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	Steel
<input type="checkbox"/>	<input type="checkbox"/>	Clad wood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clad wood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clad wood
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl	<input type="checkbox"/>	<input type="checkbox"/>	Vinyl	<input type="checkbox"/>	<input type="checkbox"/>	Vinyl
<input type="checkbox"/>	<input type="checkbox"/>	Composite	<input type="checkbox"/>	<input type="checkbox"/>	Composite	<input type="checkbox"/>	<input type="checkbox"/>	Composite
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		Window Muntins			Window Muntins			Window Muntins
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Not existing	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Not existing	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Not existing
<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input checked="" type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights
<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights
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<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		DOOR Type			DOOR Type			DOOR Type
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<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		DOOR Material			DOOR Material			DOOR Material
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<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Metal
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>	Clad	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clad
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		DOOR Muntins			DOOR Muntins			DOOR Muntins
<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing
<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights
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<input type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:

Section C: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

ALL THE WINDOWS AND EXTERIOR DOORS IN THIS PROJECT ARE TO ALLOW LIGHT & VENT IN THE NEW INTERIOR LAYOUT OF THE SECOND FLOOR, NO WINDOWS AT THE SECOND FLOOR ARE TO HAVE SDLS, WITH THE EXCEPTION OF WINDOW A, TO KEEP IN LINE WITH THE EXISTING SECOND FLOOR WINDOWS.

NORTH ELEVATION

WINDOW A - NEW CLAD FIXED WINDOW AT STAIRS W/ SDLS. THIS WINDOW IS TO ADD LIGHT INTO THE STAIR WELL BECAUSE THE LANDING WINDOW IS NOW LOCATED IN THE NEW LAUNDRY ROOM. IT HAS SDLS TO BE SIMILAR IN STYLE TO THE EXISTING BAY WINDOWS AT THE FIRST FLOOR AT THE SOUTH ELEVATION.

WINDOW B - NEW CLAD CASEMENT WINDOWS IN PLACE OF EXISTING CLAD CASEMENT WINDOWS, THIS IS TO MATCH THE NEW WINDOWS AT THE SOUTH ELEVATION.

EAST ELEVATION

WINDOW B - NEW CLAD CASEMENT WINDOWS, SELECTED FOR THE NEW LAYOUT OF THE STUDY

WINDOW C - NEW CLAD FRENCH PATIO DOOR, SELECTED TO ACCESS NEW ROOF DECK

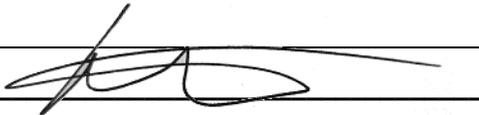
WINDOW D - NEW CLAD CASEMENT WINDOWS, SELECTED FOR THE NEW LAYOUT OF THE PRIMARY BATH

WINDOW E - NEW CLAD CASEMENT WINDOWS, SELECTED FOR THE NEW LAYOUT OF THE PRIMARY BATH

WINDOW F - NEW CLAD DOUBLE HUNG WINDOWS, SELECTED FOR THE NEW LAYOUT OF THE PRIMARY BEDROOM AND MATCH THE DOUBLE HUNG STYLE IN ALL OTHER BEDROOMS

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> DOORs <input type="checkbox"/> Storm DOORs	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Window Style/Materials: MARVIN ULTIMATE WOOD/ALUMINUM CLAD DOOR Style/Materials: MARVIN ULTIMATE WOOD/ALUMINUM CLAD Storm Window Style/Materials: Storm DOOR Style/Materials:		

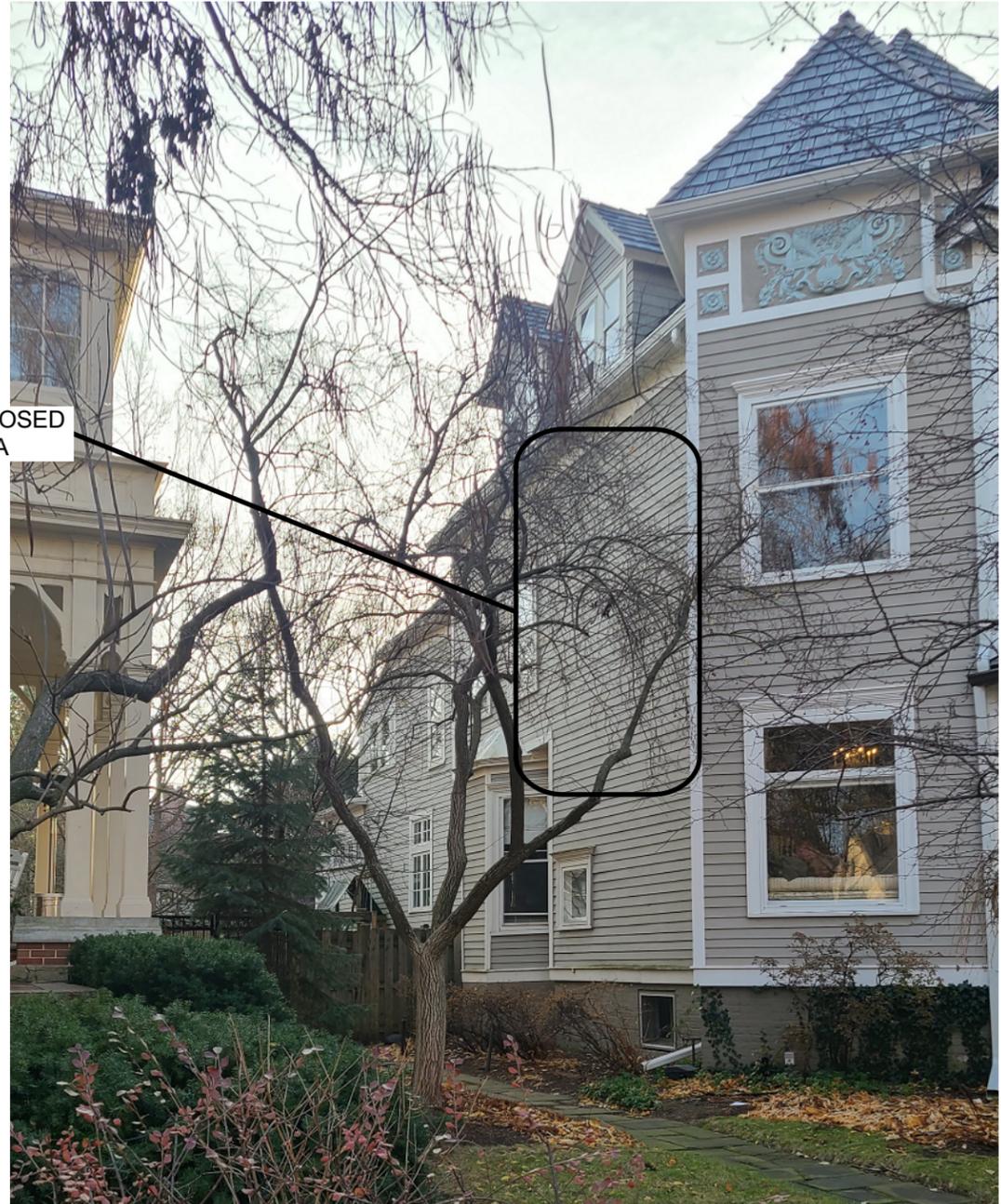
3) Applicant's Signature: 
 Print Name: KRISTIN FOGARTY-YI (ARCHITECT)

Date: 12/20/2021

NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).



AREA OF PROPOSED WINDOW REPLACEMENT B



AREA OF PROPOSED NEW WINDOW A



OBJEKT Architecture LLC

objektarch.com
kristin@objektarch.com
612.819.7454

Fuller West Residence

1615 Judson Ave, Evanston, IL

Sheet Name

EXISTING NORTH ELEVATION PHOTOS

Drawn By: KFY	Issued For:	Date
Scale: AS NOTED	Schematic Review	■ 08.19.2021
	Pricing	■ 10.08.2021
	Permit	■ 10.18.2021
	Preservation Review	■ 12.20.2021

Sheet Number

W4.1B



1 PROPOSED NORTH ELEVATION
Scale: 1/8" = 1'-0"



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kristin@objektarch.com
612.819.7454

Sheet Name

Fuller West Residence

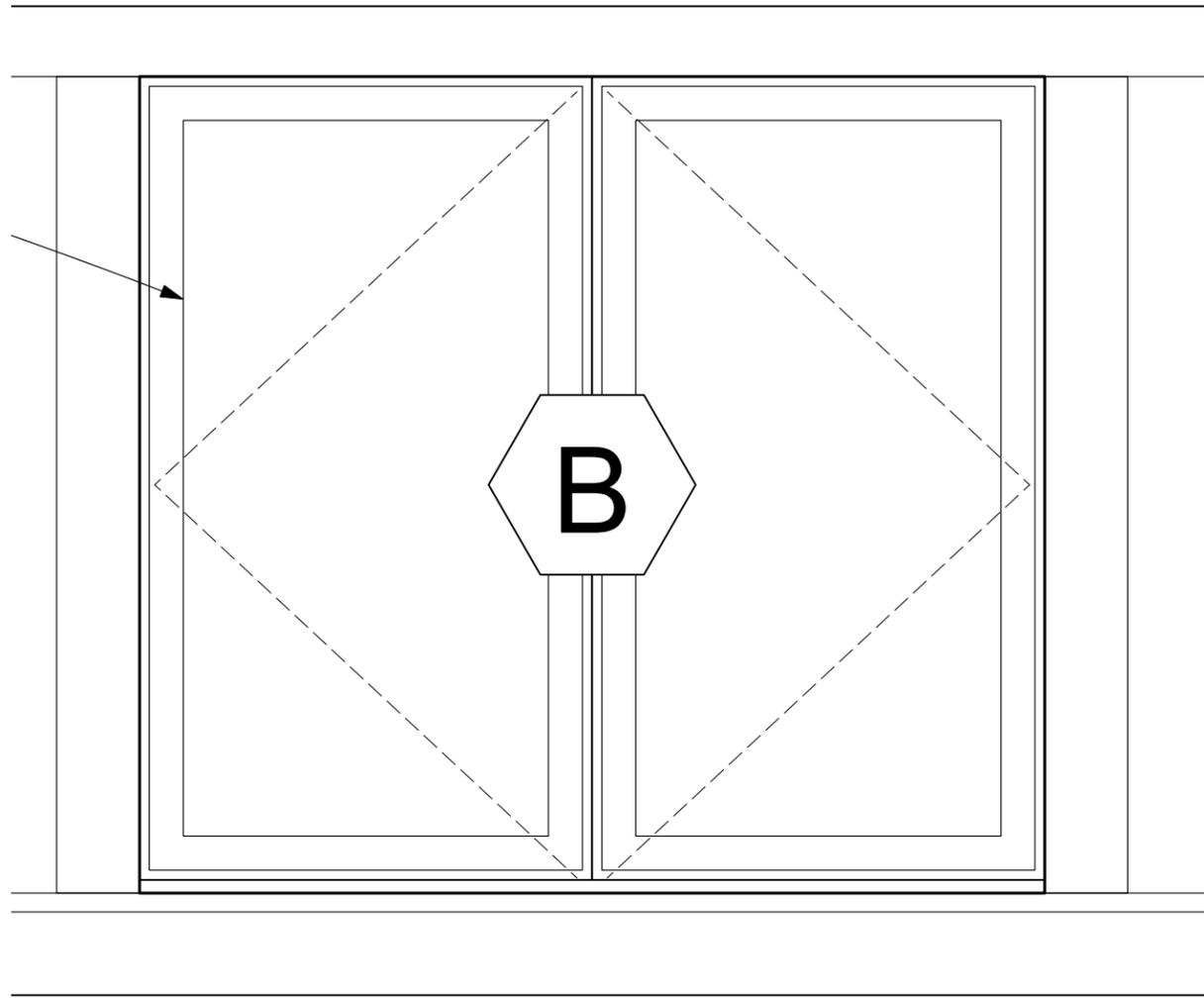
1615 Judson Ave, Evanston, IL

PROPOSED NORTH ELEVATION

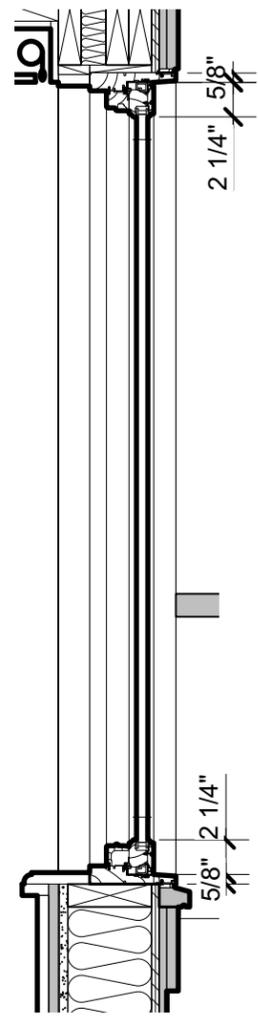
Drawn By:	Issued For:	Date
KFY	Schematic Review	08.19.2021
AS NOTED	Pricing	10.08.2021
	Permit	10.18.2021
	Preservation Review	12.20.2021

Sheet Number

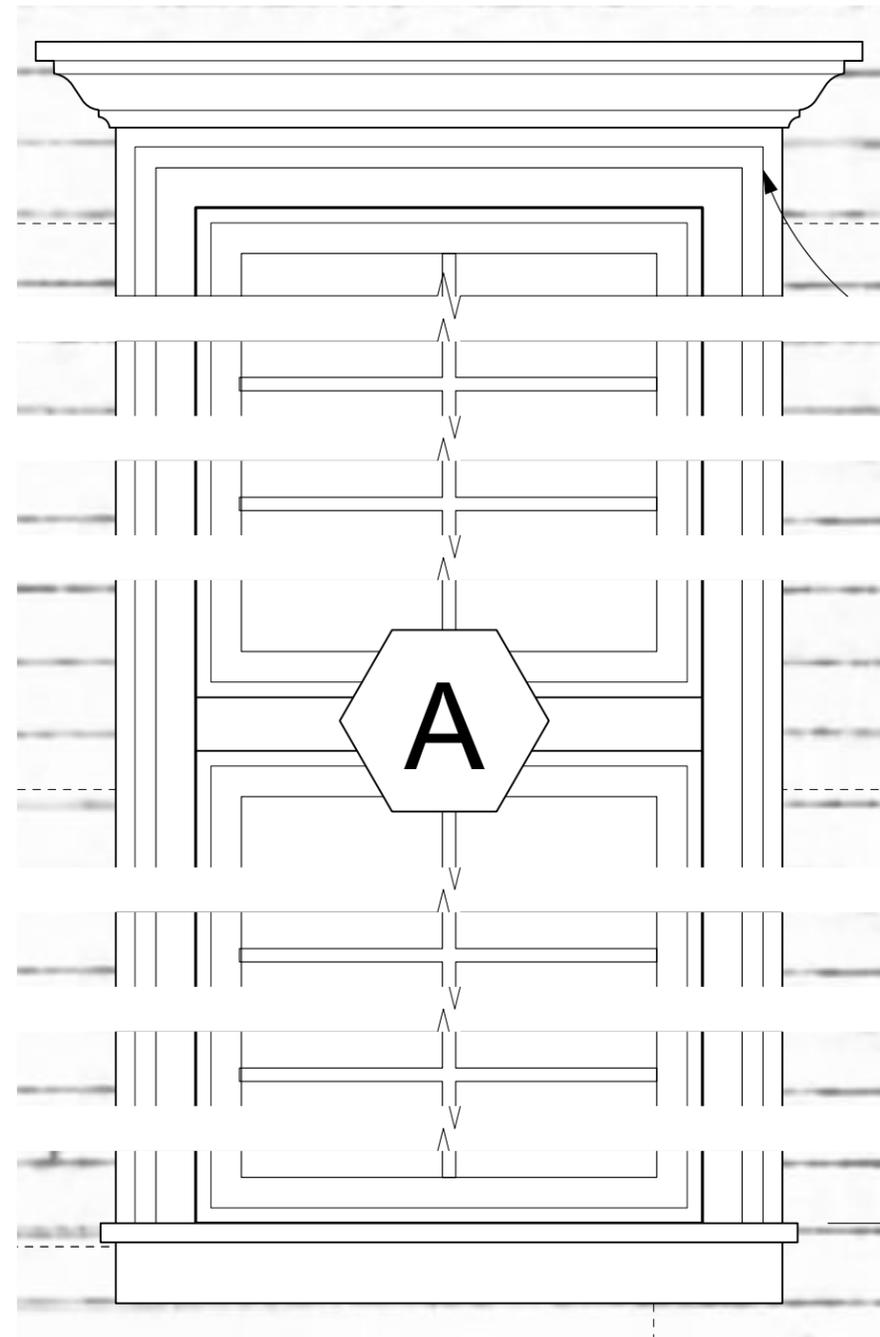
W4.1C



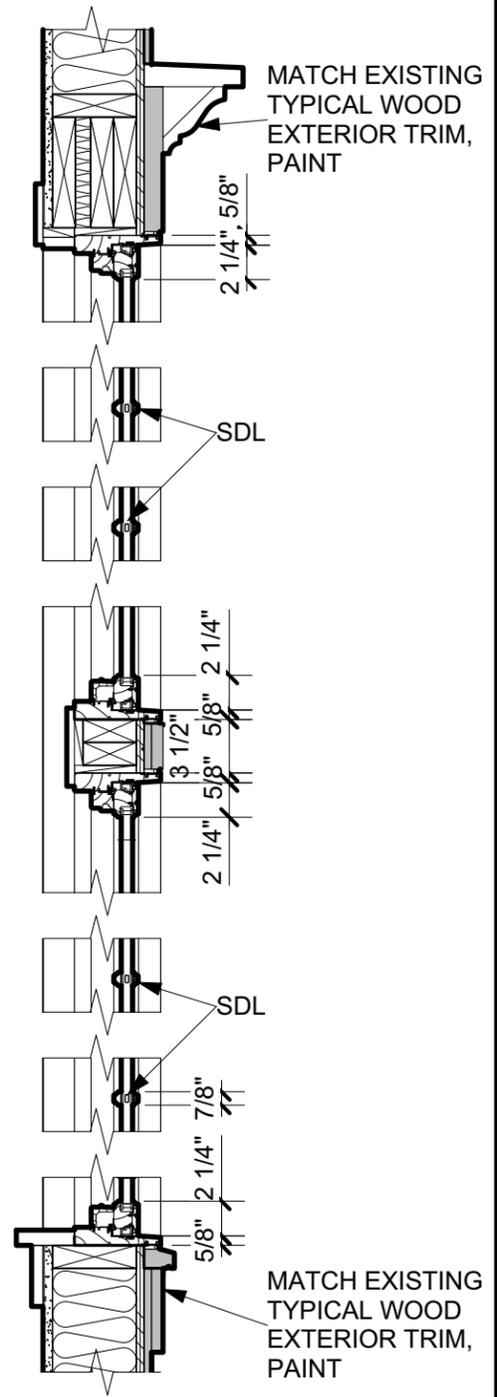
1 WINDOW B - ELEVATION
Scale: 1" = 1'-0"



2 WINDOW B - SECTION
Scale: 1" = 1'-0"



3 WINDOW A - ELEVATION
Scale: 1" = 1'-0"



4 WINDOW A - SECTION
Scale: 1" = 1'-0"



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612.819.7454

Sheet Name

Fuller West Residence

1615 Judson Ave, Evanston, IL

PROPOSED NORTH ELEVATION

Drawn By:	Issued For:	Date
KFY	Schematic Review	08.19.2021
AS NOTED	Pricing	10.08.2021
	Permit	10.18.2021
	Preservation Review	12.20.2021

Sheet Number

W4.1D



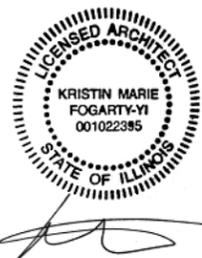
AREA OF PROPOSED WINDOW REPLACEMENTS



1 EXISTING EAST ELEVATION
Scale: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
Scale: 1/8" = 1'-0"



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kristin@objektarch.com
612.819.7454

Sheet Name

Fuller West Residence

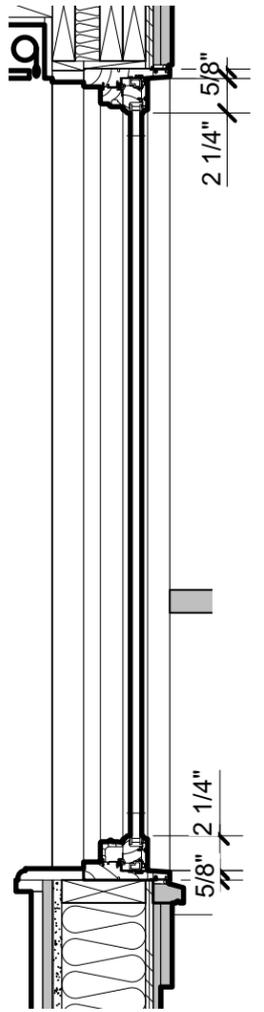
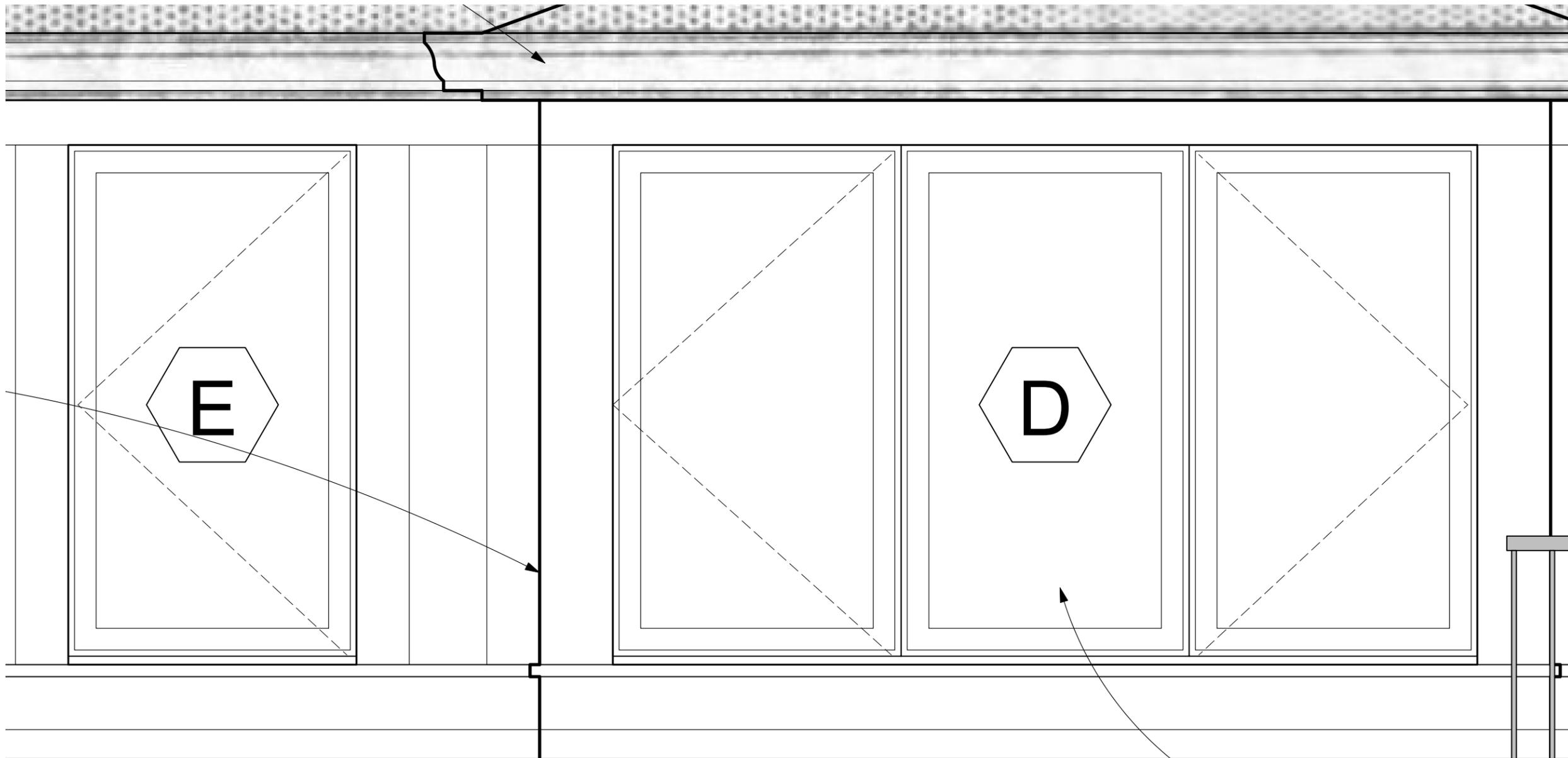
1615 Judson Ave, Evanston, IL

EAST ELEVATIONS

Drawn By:	Issued For:	Date
KFY	Schematic Review	08.19.2021
AS NOTED	Pricing	10.08.2021
	Permit	10.18.2021
	Preservation Review	12.20.2021

Sheet Number

W4.2A



1 WINDOWS E&D - ELEVATION
Scale: 1" = 1'-0"

2 WINDOWS E&D - SECTION
Scale: 1" = 1'-0"



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Fuller West Residence

1615 Judson Ave, Evanston, IL

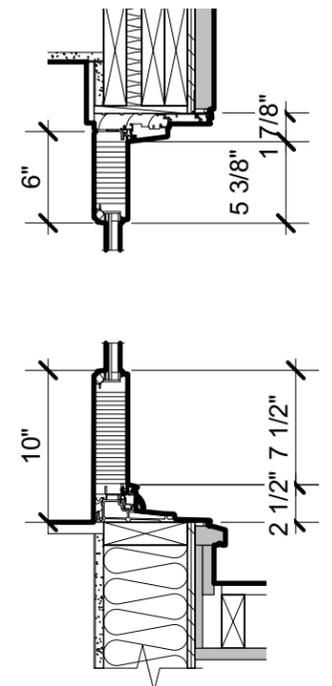
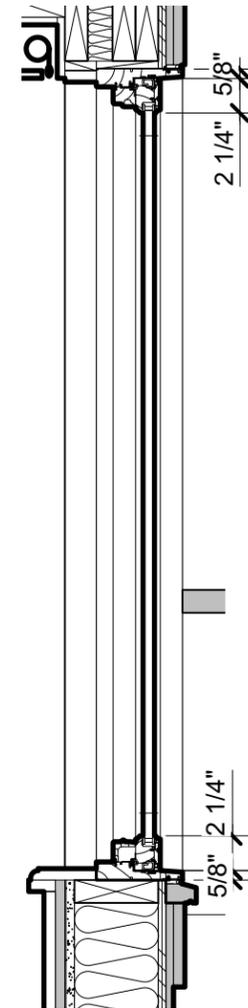
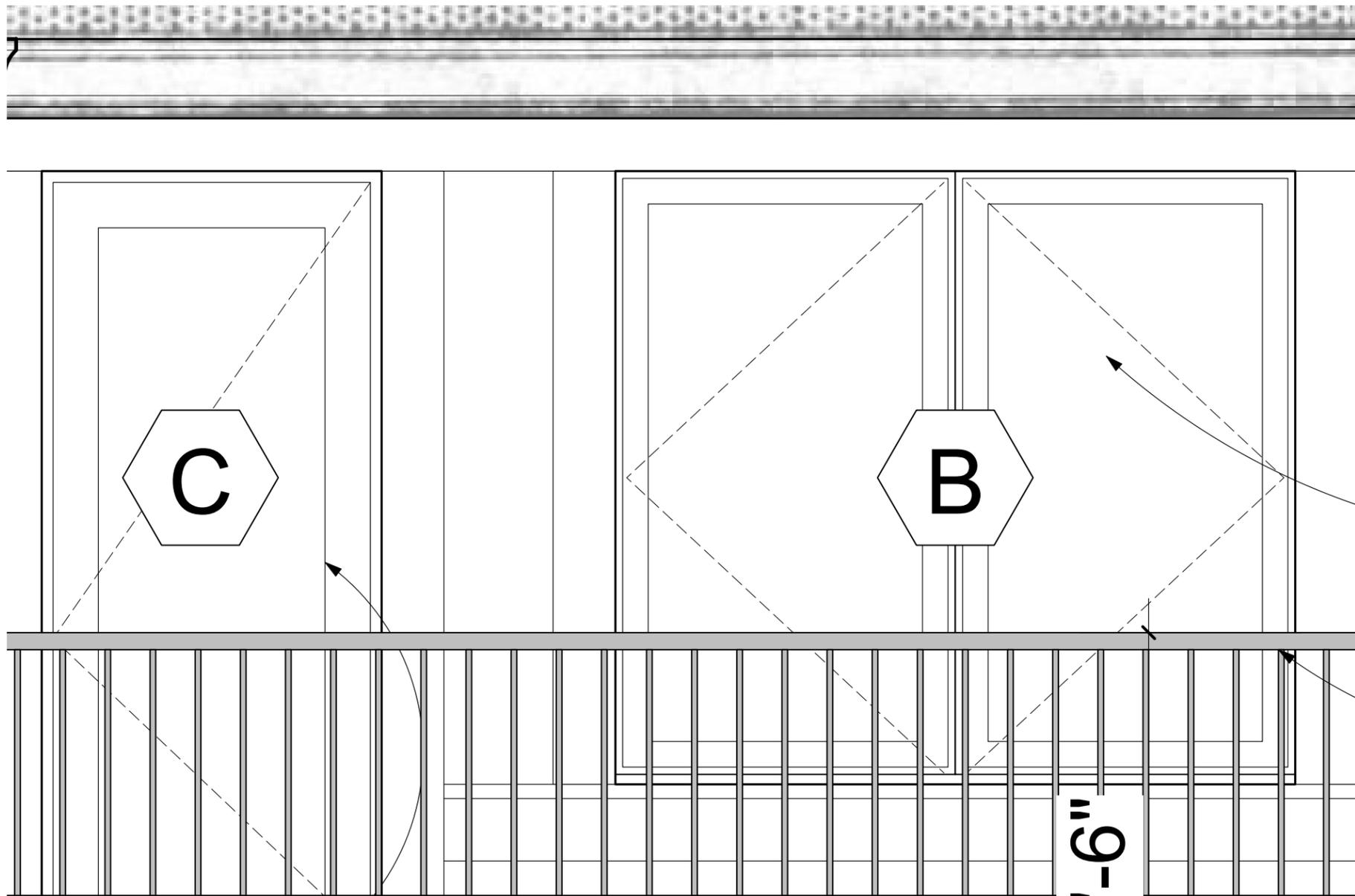
Sheet Name

EAST ELEVATIONS

Drawn By:	Issued For:	Date
KFY <td>Schematic Review</td> <td>08.19.2021</td>	Schematic Review	08.19.2021
AS NOTED	Pricing	10.08.2021
	Permit	10.18.2021
	Preservation Review	12.20.2021

Sheet Number

W4.2B



1 WINDOWS C&B - ELEVATION
Scale: 1" = 1'-0"

2 WINDOW B - SECTION
Scale: 1" = 1'-0"

3 DOOR C - SECTION
Scale: 1" = 1'-0"



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Fuller West Residence

1615 Judson Ave, Evanston, IL

Sheet Name

EAST ELEVATIONS

Drawn By:	Issued For:	Date
KFY	Schematic Review	08.19.2021
AS NOTED	Pricing	10.08.2021
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Sheet Number

W4.2C



AREA OF PROPOSED
NEW WINDOWS



1 EXISTING SOUTH ELEVATION
Scale: 1/8" = 1'-0"



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Sheet Name

Fuller West Residence

1615 Judson Ave, Evanston, IL

EXISTING SOUTH ELEVATION

Drawn By: KFY

Scale: AS NOTED

Issued For:

Schematic Review ■ 08.19.2021

Pricing ■ 10.08.2021

Permit ■ 10.18.2021

Preservation Review ■ 12.20.2021

Sheet Number

W4.3A

WINDOW SCHEDULE

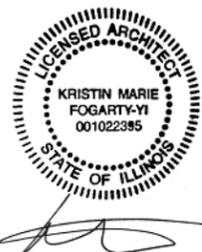
KEY	UNIT NUMBER	UNIT TYPE	MANUF.	FRAME SIZE (W X H)	GLASS	NAT. LIGHT	NAT. VENT	REMARKS
A	(2) 3054	FIXED	MARVIN	2'-6" X 9' 1 3/4"	LOW E, TEMP	22	0	
B	(2) 3054	CSMT	MARVIN	5'-0" X 4'-5 1/8"	LOW E	16	20	
C	2868	PATIO DOOR	MARVIN	2'-8" X 6'-8"	LOW E, TEMP	9	15	VERIFY HEIGHT IN FIELD
D	(3) 3054	CSMT+FIXED+CSMT	MARVIN	7'-6" X 4'-5 1/8"	LOW E, TEMP	24	21	
E	3054	CSMT	MARVIN	2'-6" X 4'-5 1/8"	LOW E	8	10	
F	(3) 3072	DBL HUNG	MARVIN	7'-6" X 6'-0"	LOW E, TEMP	37	23	MATCH EXISTING WINDOW SIZES

NOTES

- 1 ALL MARVIN WINDOWS ARE TO BE 'ULTIMATE' LINE SERIES, U.O.N.
- 2 SEE ELEVATIONS FOR CASEMENT SWING DIRECTION, NO INDICATION OF SWING = FIXED UNIT
- 3 SEE ELEVATIONS FOR MUNTIN CONFIGURATION AT ALL WINDOWS, 5/8"
- 4 ALL WINDOWS TO HAVE INSULATED & LOW-E GLAZING
- 5 ALL SPACER BARS TO BE DARK BRONZE
- 6 ALL SDL BARS TO BE DARK BRONZE
- 7 ALL DRIP CAPS TO BE EXTRUDED ALUMINUM, MATCH CLAD COLOR
- 8 ALL DOORS TO HAVE MULTI-POINT LOCKING SYSTEM, SCREEN DOORS, AND ALUMINUM SILLS, U.N.O
- 9 ALL WINDOW EXTERIOR TO BE ALUMINUM CLAD IN STANDARD COLOR
- 10 ALL INTERIOR SCREENS AND HARDWARE TO BE TBD
- 11 ALL EXTERIOR SCREENS TO MATCH CLAD COLOR
- 12 ALL WINDOWS & DOORS TO BE FACTORY PRIMED, UNLESS NOTED
- 13 ALL PATIO DOORS TO BE NARROW STILE AND RAIL
- 14 ALL DOORS TO BE KEYPED ALIKE



1 PROPOSED SOUTH ELEVATION
Scale: 1/8" = 1'-0"



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Sheet Name

Fuller West Residence

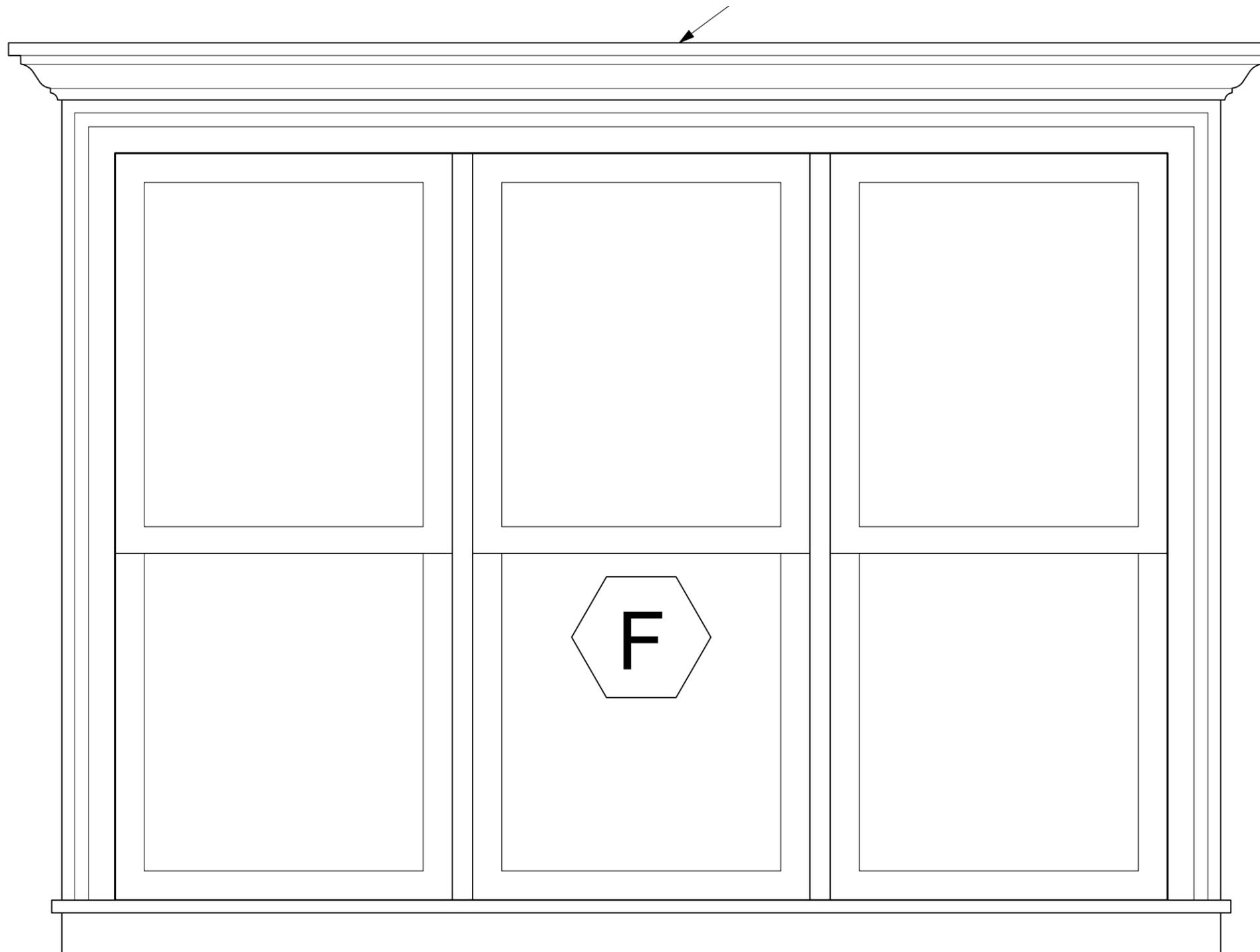
1615 Judson Ave, Evanston, IL

PROPOSED SOUTH ELEVATION
WINDOW SCHEDULE

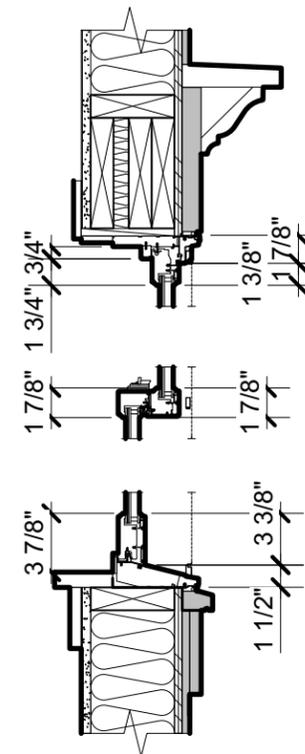
Drawn By:	Issued For:	Date
KFY	AS NOTED	08.19.2021
	Schematic Review	10.08.2021
	Pricing	10.18.2021
	Permit	10.18.2021
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Sheet Number

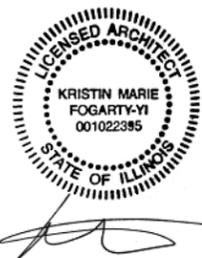
W4.3B



1 WINDOW F - ELEVATION
Scale: 1" = 1'-0"



2 WINDOW F - SECTION
Scale: 1" = 1'-0"



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Sheet Name

Fuller West Residence

1615 Judson Ave, Evanston, IL

PROPOSED SOUTH ELEVATION
WINDOW SCHEDULE

Drawn By:	Issued For:	Date
KFY	Schematic Review	08.19.2021
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Sheet Number

W4.3C



FRONT ELEVATION - WEST



REAR ELEVATION - EAST



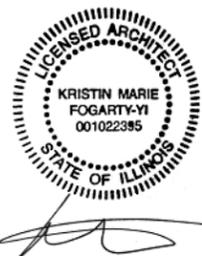
INTERIOR AT REAR ELEVATION - EAST



INTERIOR OF TYPICAL 2ND FL DBL HUNG



INTERIOR OF 2ND FLOOR EXISTING EAST ELEVATION WINDOWS



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Sheet Name

Fuller West Residence

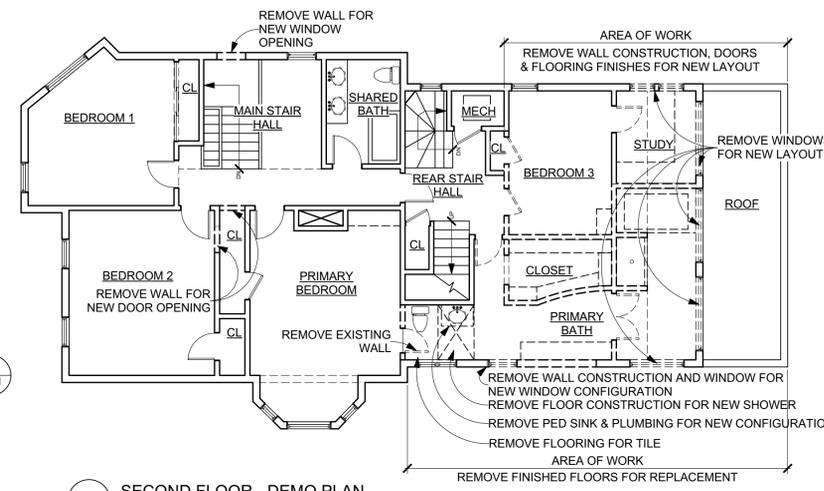
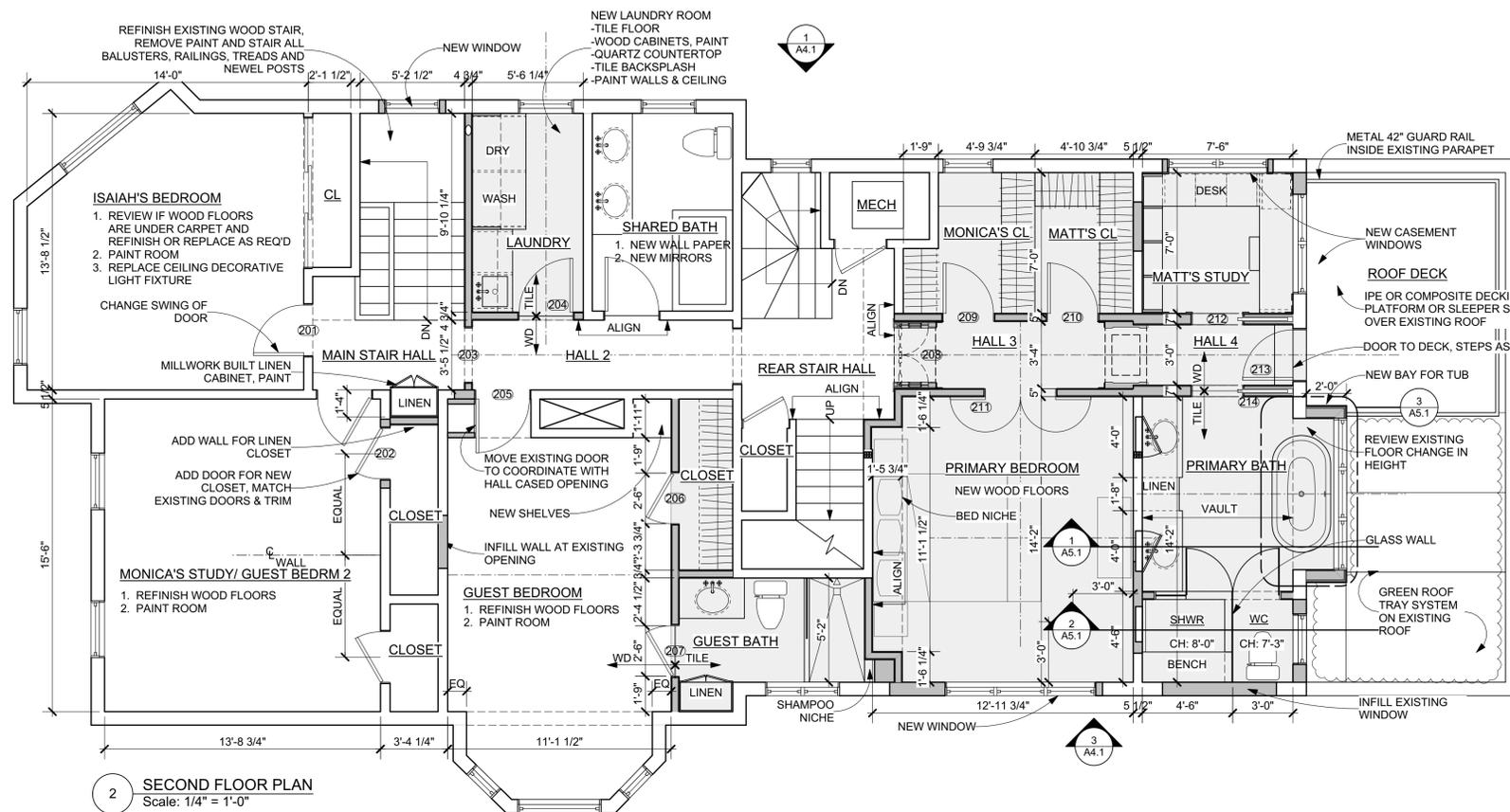
1615 Judson Ave, Evanston, IL

ADDITIONAL PHOTOGRAPHS

Drawn By:	Issued For:	Date
KFY	Schematic Review	08.19.2021
AS NOTED	Pricing	10.08.2021
	Permit	10.18.2021
	Preservation Review	12.20.2021

Sheet Number

W4.4



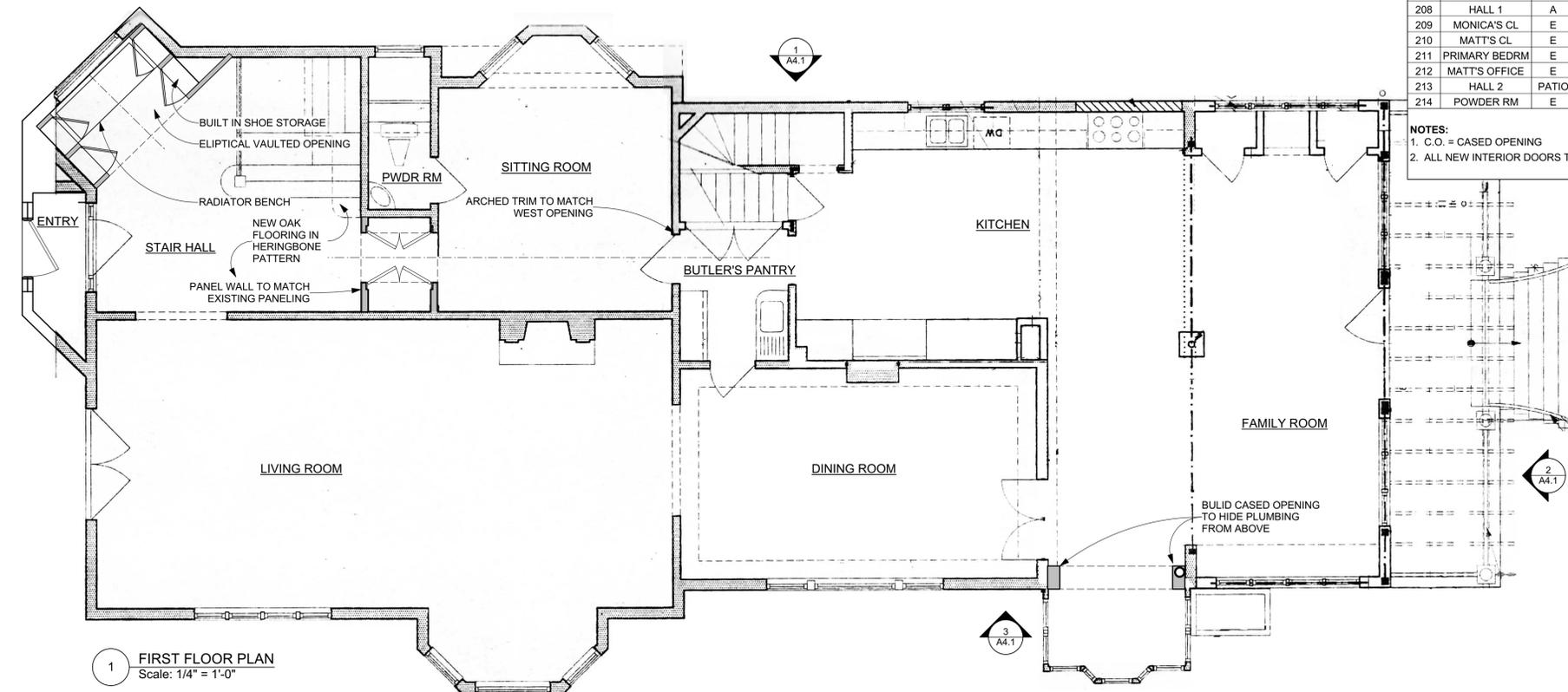
DEMOLITION GENERAL NOTES

- CONSTRUCTION TO REMAIN
 - CONSTRUCTION TO BE DEMOLISHED
- PROVIDE TEMPORARY ENCLOSURE AT CONSTRUCTION AREA TO MAINTAIN BUILDING IN SECURE CONDITION AT ALL TIMES.
 PROTECT FINISHES TO REMAIN FROM DAMAGE DUE TO CONSTRUCTION.
 SALVAGE ALL LIGHTING FIXTURES, APPLIANCES, KITCHEN CABINETS AND COUNTERTOPS PER OWNER'S REQUEST.
 SALVAGE ALL EXTERIOR STONE, FINISH HARDWARE AND INTERIOR AND GARAGE DOORS FOR REUSE AND BLENDING OF NEW AND OLD.
 SALVAGE EXTERIOR TRIM FROM DEMOLITION AREAS FOR USE AS A TEMPLATE FOR NEW TRIM.
 CONTRACTOR TO REVIEW LOCATIONS OF EXISTING SERVICES WITHIN PARTITION DESIGNATED FOR DEMOLITION AND INCLUDE RELOCATION OF THESE SERVICES AS PART OF THE BASE BID.
 PROTECT LANDSCAPING, TREES, DRIVE AND TERRACES TO REMAIN FROM DAMAGE. ERECT TEMPORARY BARRIERS TO PROTECT SITE IMPROVEMENTS PER COORDINATION WITH THE LANDSCAPE DESIGNER.
 LANDSCAPE DESIGNER TO BE RESPONSIBLE FOR REMOVAL OF PLANTING AND PAVING MATERIAL.

DOOR SCHEDULE

NO.	LOCATION	TYPE	WIDTH	HEIGHT	THICKNESS	HARDWARE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	REMARKS
201	ISIAH'S BEDRM	EXIST	2'6"	7'0"	1 3/4"	EXIST	WOOD	PAINT	WOOD	PAINT	RE-SWING
202	MONICA'S STUDY	A	2'6"	7'0"	1 3/4"	PASSAGE	WOOD	PAINT	WOOD	PAINT	
203	HALL 2	C.O.	2'8"	7'0"	1 3/4"	N/A	N/A	N/A	WOOD	PAINT	
204	LAUNDRY	A	2'8"	7'0"	1 3/4"	PASSAGE	WOOD	PAINT	WOOD	PAINT	
205	GUEST BEDRM	EXIST	2'8"	7'0"	1 3/4"	EXIST	WOOD	PAINT	WOOD	PAINT	
206	GUEST CL	A	2'6"	7'0"	1 3/4"	PASSAGE	WOOD	PAINT	WOOD	PAINT	
207	GUEST BATH	EXIST	2'6"	7'0"	1 3/4"	EXIST	WOOD	PAINT	WOOD	PAINT	RE-SWING
208	HALL 1	A	2'8"	7'0"	1 3/4"	PRIVACY	WOOD	PAINT	WOOD	PAINT	
209	MONICA'S CL	E	2'6"	7'0"	1 3/4"	PASSAGE	WOOD	PAINT	WOOD	PAINT	
210	MATT'S CL	E	2'6"	7'0"	1 3/4"	PASSAGE	WOOD	PAINT	WOOD	PAINT	
211	PRIMARY BEDRM	E	3'6"	7'0"	1 3/4"	PRIVACY	WOOD	PAINT	WOOD	PAINT	
212	MATT'S OFFICE	E	2'6"	7'0"	1 3/4"	POCKET	WOOD	PAINT	WOOD	PAINT	
213	HALL 2	PATIO	2'6"	7'0"	1 3/4"	PATIO	WD/ALUM	PAINT	ALUM	PAINT	SEE WINDOW SCHED
214	POWDR RM	E	2'6"	7'0"	1 3/4"	POCKET	WOOD	PAINT	WOOD	PAINT	

- NOTES:**
 1. C.O. = CASSED OPENING
 2. ALL NEW INTERIOR DOORS TO MATCH EXISTING U.N.O.



DRAWING SYMBOL LEGEND

- TYP TYPICAL
- EQ EQUAL
- SIM SIMILAR
- C CENTERLINE
- U.N.O. UNLESS NOTED OTHERWISE
- V.I.F. VERIFY IN FIELD
- N.I.C. NOT IN CONTRACT
- T.O. SUBFLOOR ELEVATION MARKER FOR FLOOR HEIGHTS
- 1 A4.1 EXTERIOR ELEVATION OR SECTION MARKER
- 1 A4.1 DETAIL MARKER
- 2 A6.1 4 INTERIOR ELEVATION MARKER
- 3 DOOR TAG
- SD/CD SMOKE / CO DETECTOR
- F.D. FLOOR DRAIN

DO NOT SCALE DRAWINGS.
 ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
 ALL DIMENSIONS (INCLUDING FINISH & SUBFLOOR HEIGHTS) TO BE FIELD VERIFIED
 ANY DISCREPANCIES FOUND BY THE CONTRACTOR IN DIMENSIONS AND/OR DETAILS ON THE DRAWINGS TO BE REPORTED TO THE ARCHITECT

Fuller West Residence
 1615 Judson Ave, Evanston, IL

Project Number: 2021-07



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Structural Engineer:
 Hutter Trankina Engineering
 327 W 273 Army Trail Rd, Suite 100
 Wayne, IL 60184
 (630) 513-6711

Sheet Title:
**First Floor & Second Floor Plans
 Second Floor Demo Plan,
 Door Schedule**

Drawn By: KFY
 Scale: AS NOTED
 Issued For: Schematic Review
 Date: 08.19.2021
 Pricing: 10.08.2021
 Permit: 10.18.2021

Sheet Number
A2.1



STATEMENT OF SIGNIFICANCE

This frame, primarily clapboard structure has lingering traces of the Italianate (note the two-story bay window), but a variety of elements typical of the Queen Anne predominate, although it lacks the usual bulges and silhouette breaks associated with this style. Three gables with extra cornices near the peaks enliven the roof. Openings in the front surface range from the arched triplet in the gable to the second story's columned porch and onto the linteled, double-hung windows elsewhere. The structure has good integrity.

EVANSTON LANDMARK

ADDRESS: 1615 Judson

COMMON NAME: Same

REAL ESTATE INDEX NUMBER:

DATE OF CONSTRUCTION: c.1890?

ARCHITECT OR BUILDER: Unknown

ORIGINAL SITE MOVED

SIGNIFICANCE:

HISTORICAL H1 H2 H3

ARCHITECTURAL A4 A5 A6

A7 A8 A9

OTHER COMMENTS:



BEGINNING STREET #
 END STREET #
 STREET # SUFFIX
 STREET NAME
 SUFFIX
 PIN



LOCAL

WITHIN LOCAL DISTRICT?
 LOCAL DISTRICT CONTRIB/NON-CONTRIB?
 LOCAL LANDMARK? YEAR
 LOCAL LANDMARK ELIGIBLE?
 CRITERIA:

NATIONAL REGISTER

WITHIN NR DISTRICT?
 NR DISTRICT CONTRIB/NON-CONTRIB?
 NR LANDMARK? YEAR
 NR ELIGIBLE? CRITERIA

PHOTO ID

ALTERNATE ADDRESS?

GENERAL INFORMATION

CATEGORY CURRENT USE
 CONDITION HISTORIC USE
 INTEGRITY SECONDARY STRUCTURE
 NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Italianate (altered)"/>	ROOF TYPE	<input type="text" value="Hipped"/>
DETAILS	<input type="text" value="Queen Anne"/>	ROOF MATERIAL	<input type="text" value="Wood - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1874"/>	FOUNDATION	<input type="text" value="Parged"/>
OTHER YEAR	<input type="text" value="1892"/>	PORCH	<input type="text" value="Front"/>
DATESOURCE	<input type="text" value="Tract book; Evanston Index"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Wood"/>	WINDOW MATERIAL 2	<input type="text"/>
WALL MATERIAL 2 (current)	<input type="text" value="Wood- shingle"/>	WINDOW TYPE	<input type="text" value="Double hung/casement"/>
PLAN	<input type="text" value="Irregular"/>	WINDOW CONFIGURATION	<input type="text" value="1/1; multi-light"/>
NO OF STORIES	<input type="text" value="2.5"/>		

SIGNIFICANCE

HISTORIC FEATURES

ADDRESS

1615	1617	JUDSON	AVENUE
------	------	--------	--------

ALTERATIONS

Rear porch enclosed; front porch steps and railings replaced; offset knee wall that extended beyond roofline at south end of porch taken in (see 1972 real estate photo); some non-historic replacement windows--SEE CONTINUATION SHEET

HISTORIC INFORMATION

**OLD ADDRESS
(city dir.year)**

615n Judson Ave (Cragin), Village of Evanston. In 1893 the City of Evanston renumbered the once-separate villages of Evanston (n) & South Evanston (s).

**ORIGINAL
OWNER**

Simers, Theo D.

**ORIGINAL
ARCHITECT**

**ARCHITECT
SOURCE**

BUILDER

BUILDING MOVED?

No

MOVED FROM

ADDITIONAL PHOTOGRAPHS



PHOTO ID2 \images\11-18-405-007-0000-2.jpg



PHOTO ID3 \images\11-18-405-007-0000-3.jpg

OTHER PINS

SURVEYOR

Lara Ramsey

**SURVEYOR
ORGANIZATION**

GRANACKI HISTORIC CONSULTANTS

SURVEY DATE

4/2/2012

**Historic Info
Compiler**

aoe

SURVEYAREA

EVANSTON LAKESHORE PHASE II

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

1615 1617 JUDSON AVENUE

OLD ADDRESS (city dir.year)

615n Judson Ave (Cragin), Village of Evanston. In 1893 the City of Evanston renumbered the once-separate villages of Evanston (n) & South Evanston (s).

DATE OF CONSTRUCTION 1874

MOVING INFORMATION

BUILDING MOVED? No

MOVING PERMIT # **DATE**

MOVED FROM

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # Tract Book **DATE** 1874

BUILDING PERMIT DESCRIPTION [2½-story dwelling on 1899 Sanborn map]

COST

ORIGINAL OWNER Simers, Theo D.

ORIGINAL OWNER OCCUPIED? yes (1879EvD)

ORIGINAL ARCHITECT

ARCHITECT SOURC

BUILDER

EXTERIOR ALTERATION PERMITS

Ev Index 1892.01.16 Large HB Cragin residence thoroly changed & rebuilt into attractive modern res. BP9449, 1922.01.11, rear porch \$2900, ownr Mrs Wm J White, archt Clark & Walcott, carp HW Dring. BP10625, 1923.01.05, improve \$5500, White/Walcott/Dring

OTHER PERMIT INFO

[2-1½-story barns at rear on 1899 Sanborn map.] rear 1615 Judson Ave, BP16040, 1926.12.03, 2-story frame house improvement \$3000, owner WJ White, bldr N Lindbloom.

COA INFO

2006 - Remove old shingles on coach house and install new treated medium wood shakes, matching the house and garage. No structural alterations.

HISTORIC INFO

David H. Wheeler, who subdivided NE corner Judson/Davis into 8 lots, sold sub-lot 5 to Theo D. Simers in 1874. In 1881 Simers sold to Laura F. Cragin.

OTHER SOURCES

Evanston Landmark (1978). ELHD #175. PHOTO at EHC: 6"x4" 1972 same as one view of Helen G Nixon real estate 1972 (front & rear houses).

HISTORIC INFO COMPILER aoe

City of EVANSTON
LAKESHORE HISTORIC DISTRICT RE-SURVEY
CONTINUATION SHEET

STREET # 1615-1617

STREET JUDSON AVENUE

ADDITIONAL PHOTOS OR INFORMATION

Historic Features

Tract book records, along with a south side window bay with segmental arch windows and slender corner pilasters, indicate that this house was likely an 1874 Italianate design that was extensively renovated in 1892. The *Evanston Index* states that a large residence of H.B. Cragin on Judson Avenue was being “thoroughly changed and rebuilt, being transformed inside and out into an attractive modern residence.” (*Evanston Index* January 16, 1892).

Steeply pitched hipped roof; 2.5-story projecting front gable bay with pent enclosures at peak and bottom of gable; three round-arch window openings on front gable wall (windows appear to be appropriate replacement windows); 2nd story inset porch with tapered corner column and beaded wood railing; 2-story square northwest corner tower with pyramidal roof and decorative stucco panels; paired north side gable dormer windows; three-sided bay window on first story of north elevation (appears to have been an original feature that was partially obscured by a historic 2-story north side addition); south side gable; 2-story polygonal window bay (original 1870s feature); most windows are historic wood windows of a variety of types and configurations (1/1; 1-light fixed; multi-light casement; possible historic rear additions, including a shed-roof 2-story rear addition and a one-story porch addition that has since been enclosed; hipped roof front porch appears to date from the early 20th century (1900s), with round columns and solid knee walls (columns may be earlier, but knee walls date from after 1900).

Main entry appears to be an historic alteration—features 5-light sidelights and multi-light rectangular transom (door is non-historic replacement door); a second, offset entry is located just south of this main entry, and features a paneled wood door and narrow transom that has been painted shut, and the door converted into a window.

Alterations

Rear porch enclosed; front porch steps and railings replaced; offset knee wall that extended beyond roofline at south end of porch taken in (see 1972 real estate photo); some non-historic replacement windows on side elevations toward rear; French doors under porch are not historic.

3312 Dartmouth Place – Landmark – 22PRES-0003

Omar Gutierrez, architect, submits for a Certificate of Appropriateness to convert an existing attached garage to habitable space, alter the north and east elevations fenestration, and construct a new single-story detached garage in the rear yard.

Applicable Standards: Alteration [1-10]; and Construction [1-5; 7-8; and 10-14]



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 3312 Dartmouth Place – Landmark – 22PRES-0003
Date: January 5, 2022

Public Notice

Omar Gutierrez, architect, submits for a Certificate of Appropriateness to convert an existing attached garage to habitable space, alter the north and east elevations fenestration, and construct a new single-story detached garage in the rear yard.

Applicable Standards: Alteration [1-10]; and Construction [1-5; 7-8; and 10-14]

Construction Period:

1940

Style:

Contemporary

Architect of Record:

George Fred Keck (1895-1980)

Condition:

Excellent

Integrity:

Excellent

Status:

Landmark Designated

Setting:

3312 Dartmouth Place is an individually registered local landmark in northwest Evanston. The property is located south of Dartmouth Place between Crawford Avenue to the west and Prospect Avenue to the east. The surrounding blocks were some of the last developed on vacant land in Evanston, predominately between 1940 and 1960 resulting in many smaller, affordable, single-story ranch, cape-cod, split-level, and minimal traditional styles popularized as modern post-war auto-centered housing typologies.

Significance:

The architect of record is George Fred Keck, a highly significant early modernist architect who primarily practiced in the Chicago region and Midwest. Keck was a graduate of the University of Illinois (1920). Shortly after, he would relocate to Chicago, working as a draftsman for D.H. Burnham and Company as well as Schmidt, Garden, and Martin before starting his own practice in 1926 eventually forming the influential small firm Keck and Keck in 1931 with his brother William. Specializing in architectural engineering, Keck would become known for his minimalist approaches, idea of form following function, and an inside out approach to design -- concepts dramatically different than his peers outside of Europe. He closely followed the emerging International Style and his designs incorporated trends, both of materiality and structural design but also societal trends and influences including the need at the time for designs and use of materials which could be easily reproduced using the advantages of the machine age and mass production created during the war and carried into the post-war period. His most influential and well known work is largely considered The House of Tomorrow (1933), a twelve sided glass and steel residence built for the Century of Progress Exposition in Chicago. Kecks name is also ubiquitous with early sustainability and passive heating and lighting.

Keck was the head of architecture at the New Bauhaus, today's Illinois Institute of Technology from 1937 until 1942. The school boasted significant teachers and influencers such as Walter Gropius, Alvar Alto, R. Buckminster Fuller, Richard Neutra, and Henry Russel Hitchcock.

Although commonplace for new construction of the post-war period, the attached garage was still novel at the time 3312 Dartmouth Place was constructed in 1940, and is one example of Kecks early embrace of societal shifts and the impending way the automobile would shape our built environment. The home is highly significant as one of a handful of examples in Evanston of early modernism designed by a master architect. Keck and Keck would design around 1,000 homes before Fred Kecks death in 1980, with the highest concentration located in Chicago's North Shore. Unlike some high-style commissions on the North Shore by Keck for wealthy clients, the home at 3312 Dartmouth Place is a brilliant example of Kecks vision to deliver fine architecture to clients at an affordable price and contains many of the small firms trademark design interventions. .

Proposal

The applicant proposes enclosure of the existing attached garage for use as habitable space, eliminating the curb-cut from Dartmouth Place, altering the north and east elevations fenestration by replacing the overhead garage door with glazing and adding a repetitive series of awning windows to the east elevation with altered sill height (higher than existing). A detached single-car garage is proposed in the rear-yard accessible from the alley with cladding exposure matching the brick dimension on the principle structure, minimal fenestration, and sloped roof form mimicking the pitch of the principle structure.

Public Comment

None

Zoning Compliance

The project is compliant with all zoning requirements. Utilizing rounding rules codified in the zoning ordinance make both the rear-yard setback and required separation between principle and accessory structure compliant.

Applicable Standards

Staff recommends the following standards as well as the Commission Solar Guidelines be applied. Additional standards may be applied at the Commission's discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size,

scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. Height. Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. Proportion of facades. The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. Rhythm of solids to voids in facades. The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. Relationship of materials and texture. The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. Roof shapes and roof mounted equipment. The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. Scale of a structure. The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. Directional expression of facades. A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. Original qualities. For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment

should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. Archaeological resources. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. Innovative design. Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

Application for Preservation Review of Certificate of Appropriateness (COA)



Binding Review of Certificate of Appropriateness (COA) & Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) **pdf format copy** of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- **3D drawings** of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page 'i' fifth below].

1) Property Address: 3312 Dartmouth Pl.	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Lauren and Steve Shultz	Address: 3312 Dartmouth Pl.
City: Evanston	State: IL
Zip: 60201	Phone: (612) 210-0897
	Email/Fax: mccoylauren@hotmail.com steveschultz2810@gmail.com
3) Architect's Name: Omar Gutiérrez, NCARB	Address: 1209 Monroe St.
City: Evanston	State: IL
Zip: 60201	Phone: (847) 903-4067
	Email/Fax: omar@ogutierrez.com
4) Contractor's Name: Meyer Guild c/o Kendall Meyer	Address: 7312 Lawndale Ave.
City: Skokie.	State: IL
Zip: 60076	Phone: (224) 470-1224
	Email/Fax: kendall@meyerguild.com
5) Landmark: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No; If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires: <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only. Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

- 1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

We are proposing to repurpose the existing Attached Garage as a Family Room. Thus, we are proposing to replace the existing wood overhead door on the north (front) elevation with new aluminum clad wood doors and fixed windows. The proposed doors/windows will match the color and materials of the existing windows.

We are also proposing new windows on the west side of the home and a Detached Garage on the south area of the lot. Both of these improvements will be visible only from the adjacent alley.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input type="checkbox"/> Construction	<input type="checkbox"/> Residential <input type="checkbox"/> Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Demolition	<input type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: Aluminum clad to match existing	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

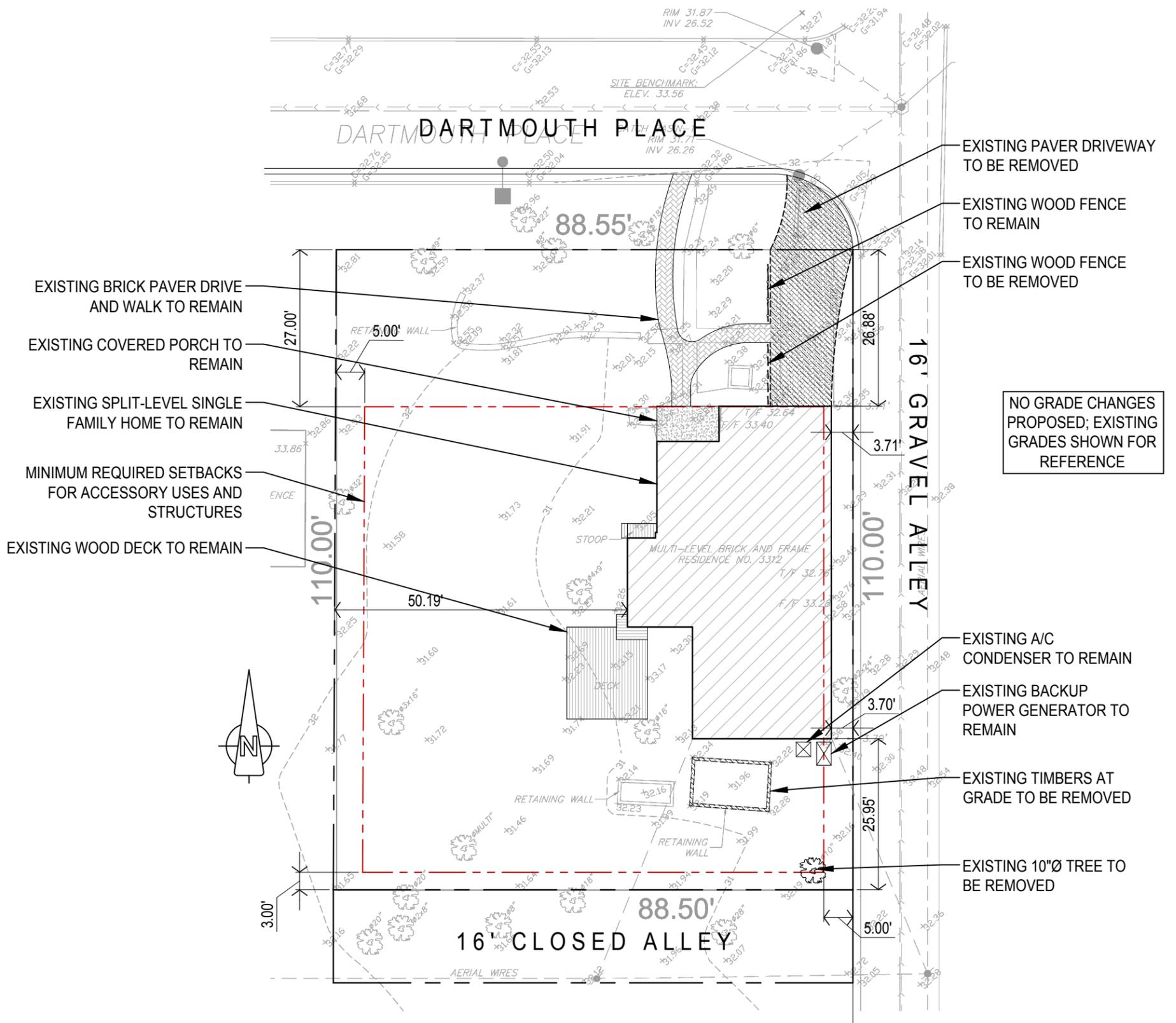
3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fences
<input type="checkbox"/>	<input type="checkbox"/>	Wood Frame	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Copper	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Stone	<input type="checkbox"/>	<input type="checkbox"/>	Sheet Metal	<input type="checkbox"/>	<input type="checkbox"/>	Wrought Iron
<input type="checkbox"/>	<input type="checkbox"/>	Brick	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum
<input type="checkbox"/>	<input type="checkbox"/>	Stucco				<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Stucco			Fascias, Soffits, Rakeboards, Trim			Height: _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood Siding	<input type="checkbox"/>	<input type="checkbox"/>	Wood			Length: _____
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Metal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Terraces, Patios, Decks
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Synthetic Material, Type: <u>painting composite trim</u>	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Shingle, Material: _____	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Stone
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____				<input type="checkbox"/>	<input type="checkbox"/>	Brick Pavers
		Roofing Material			Door Material	<input type="checkbox"/>	<input type="checkbox"/>	Concrete Pavers
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingles	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Poured Concrete
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shakes	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Slate	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Material
<input type="checkbox"/>	<input type="checkbox"/>	Clay Tile	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Asphalt
<input type="checkbox"/>	<input type="checkbox"/>	Asphalt Shingles				<input type="checkbox"/>	<input checked="" type="checkbox"/>	Poured Concrete
<input type="checkbox"/>	<input type="checkbox"/>	Metal Sheet				<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brick Pavers
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>single ply membrane</u>			Window Type	<input type="checkbox"/>	<input type="checkbox"/>	Concrete Pavers
		Chimney Material	<input type="checkbox"/>	<input type="checkbox"/>	Double Hung	<input type="checkbox"/>	<input type="checkbox"/>	Crushed Stone
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brick	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Casement	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Stone	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>some existing windows are sliding; new windows are awnings</u>			Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed):
<input type="checkbox"/>	<input type="checkbox"/>	Stucco			Window Material	<input type="checkbox"/>	<input type="checkbox"/>	Air Conditioning Unit
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	
		Gutters/Downspouts	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Copper	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Aluminum			Other: <u>wood windows with aluminum cladding</u>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Galvanized Sheet	<input type="checkbox"/>	<input type="checkbox"/>	Muntins	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	
			<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	
			<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>	

4) Applicant's Signature:
Print Name: Omar Gutiérrez, NCARB

Date: 12/7/2021

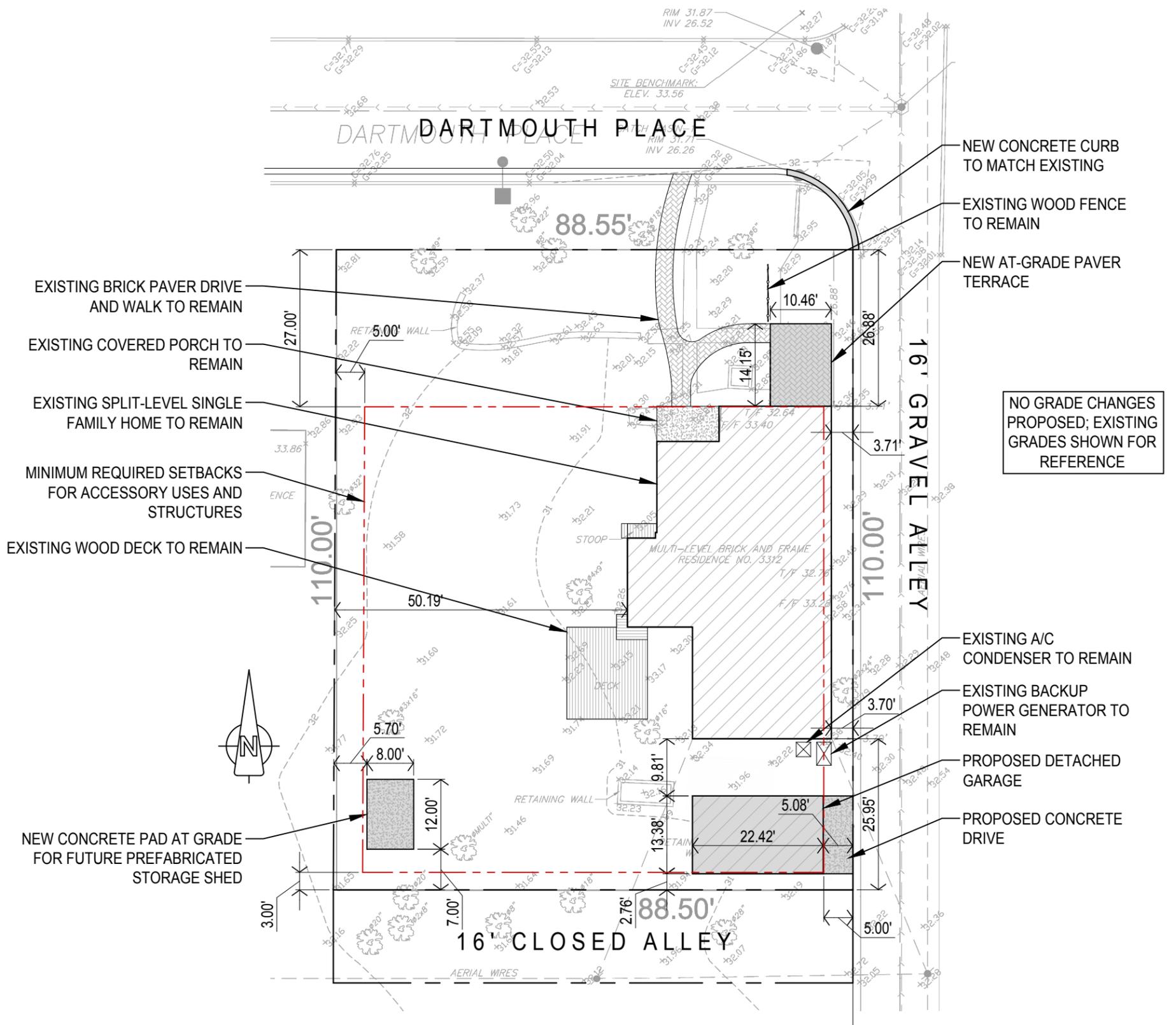
Proceed to Section C if you are **requesting a zoning or fence variation and/or special use**. Refer to the Supplemental Information for guidance [page (i) below]. For **Planned Development** refer to Supplemental Information [page (i) below].



NO GRADE CHANGES PROPOSED; EXISTING GRADES SHOWN FOR REFERENCE

 <p>Omar Gutiérrez, NCARB architect</p>	<p>1209 Monroe St. Evanston, IL 60202 Ph: 847.903.4067 omar@ogutierrez.com www.ogutierrez.com</p>	<p>Sheet 1 of 12</p>
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THE SCHULTZ RESIDENCE
3312 DARTMOUTH PL. EVANSTON, IL
EXISTING SITE PLAN - SCALE: 1"=20'-0" - 12/20/2021
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DEMOLITION LEGEND

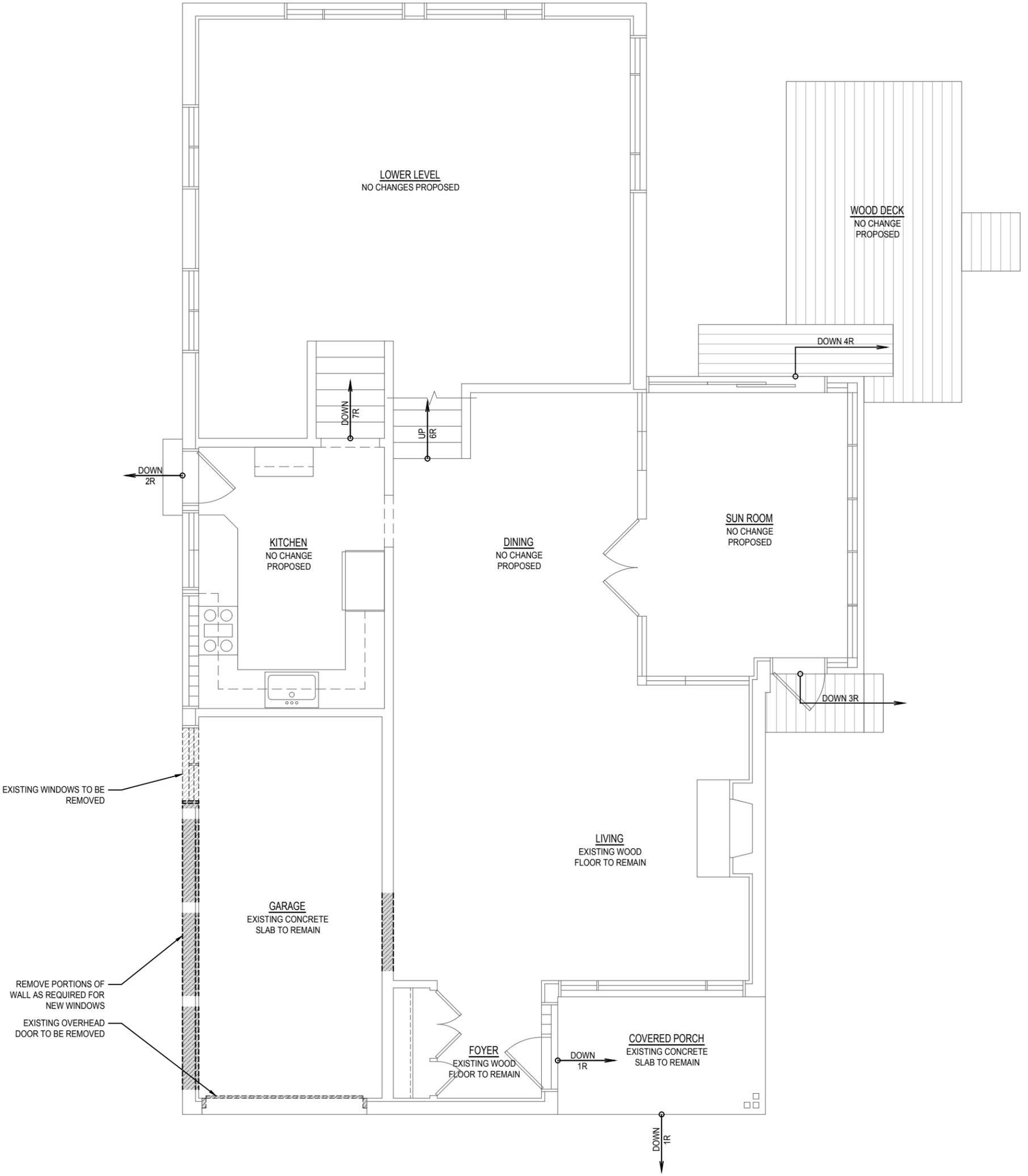
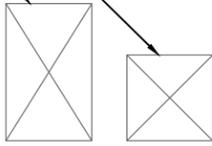
- EXISTING CONSTRUCTION TO REMAIN
- - - - - EXISTING WALL FINISHES TO BE REMOVED
- ▨▨▨▨▨▨▨▨▨▨ EXISTING CONSTRUCTION TO BE REMOVED
- ▧▧▧▧▧▧▧▧▧▧ EXISTING FLOOR FINISHES TO BE REMOVED DOWN TO SUB-FLOOR / SLAB

NOTES:

1. COORDINATE DEMOLITION WITH PROPOSED PLANS & ELEVATIONS; BRING ANY CONFLICTS TO THE ATTENTION OF THE ARCHITECT
2. PROVIDE TEMPORARY SUPPORT TO STRUCTURAL ELEMENTS AFFECTED BY DEMOLITION AND CONSTRUCTION (FIELD VERIFY ALL CONDITIONS)



EXISTING A/C CONDENSER TO REMAIN
EXISTING EMERGENCY BACKUP GENERATOR TO REMAIN



<p>Omar Gutiérrez, NCARB architect</p>	<p>1209 Monroe St. Evanston, IL 60202 Ph: 847.903.4067 omar@ogutierrez.com www.ogutierrez.com</p>	<p>Sheet</p> <h1 style="font-size: 2em; margin: 0;">3</h1> <p>of 12</p>
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THE SCHULTZ RESIDENCE
 3312 DARTMOUTH PL. EVANSTON, IL
 EXISTING FIRST FLOOR PLAN - SCALE: 3/16"=1'-0" - 12/20/2021
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PLAN LEGEND

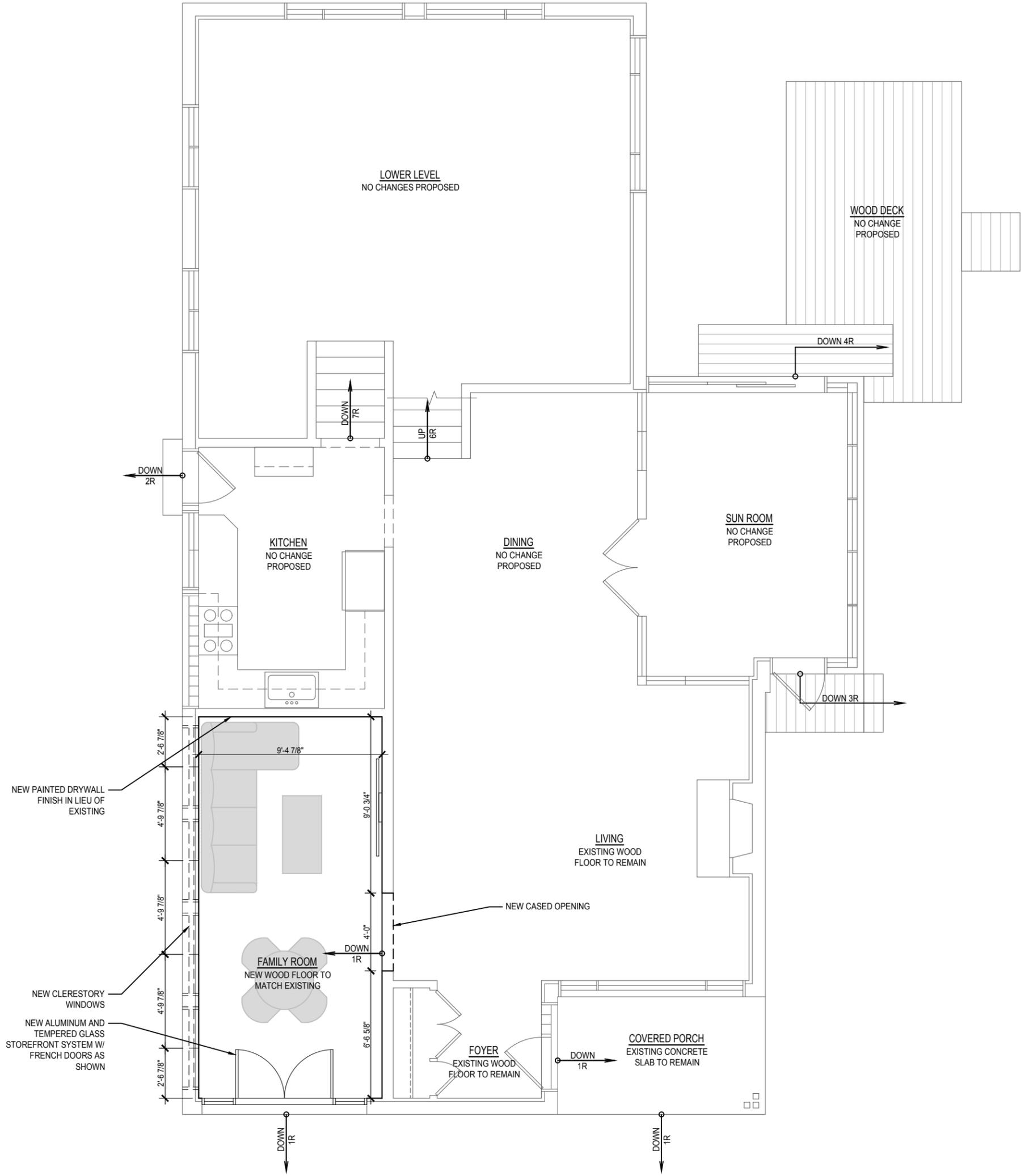
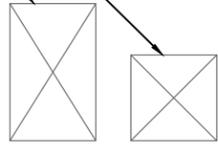
-  EXISTING CONSTRUCTION TO REMAIN
-  NEW CONSTRUCTION: 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD (2x6 @ PLUMBING WALLS; USE CEMENT BOARD IN TILED WALLS)
-  NEW FINISHES ON EXISTING CONSTRUCTION

- NOTES:
1. ALL PLAN DIMENSIONS SHOWN TO FINISHED SURFACES; ASSUME 5/8" DRYWALL FINISH FOR ROUGH FRAMING
 2. PROVIDE TEMPORARY SUPPORT TO STRUCTURAL ELEMENTS AFFECTED BY DEMOLITION AND CONSTRUCTION (FIELD VERIFY ALL CONDITIONS)



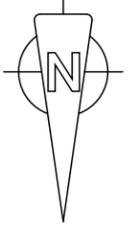
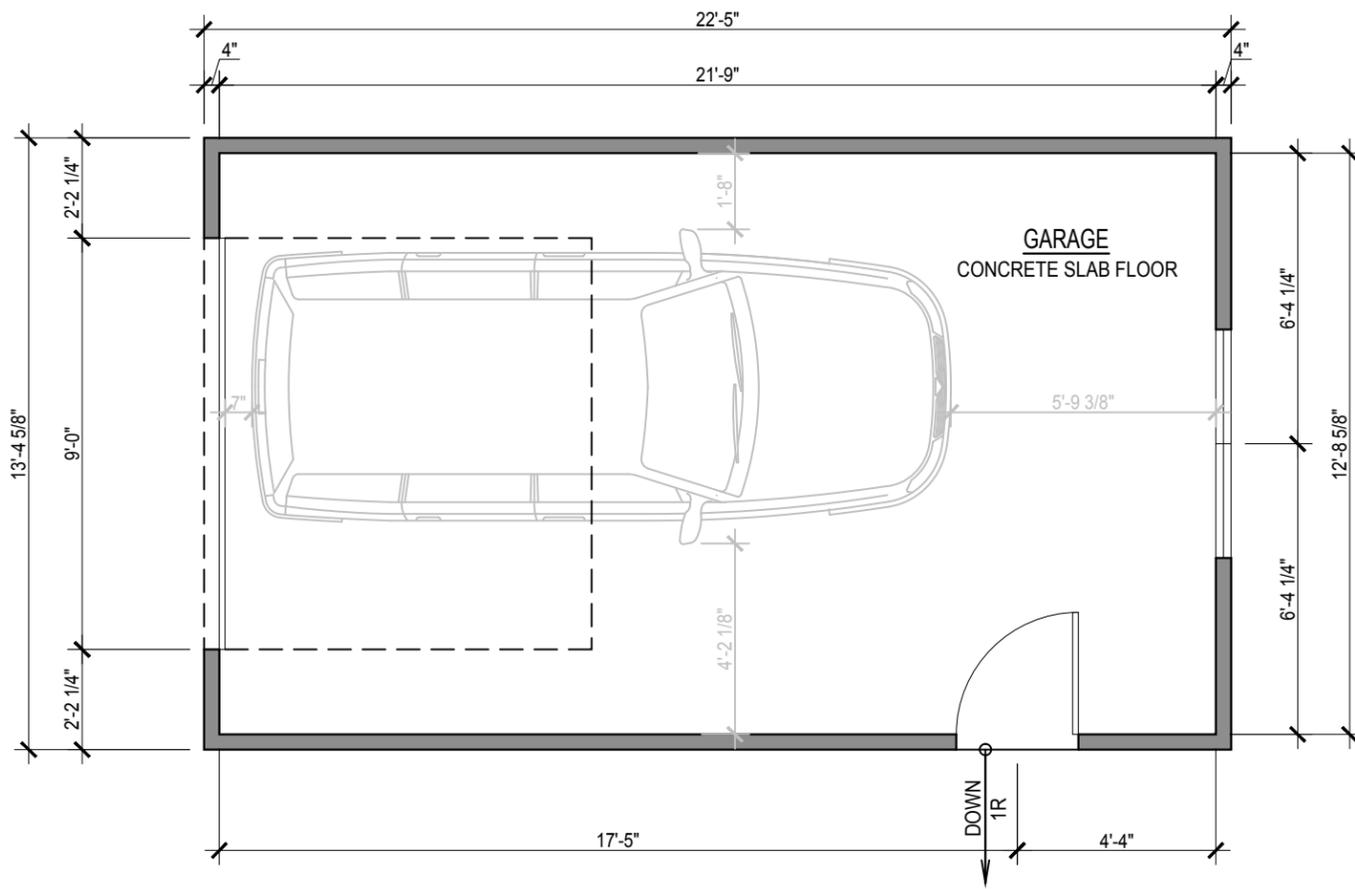
EXISTING A/C CONDENSER TO REMAIN

EXISTING EMERGENCY BACKUP GENERATOR TO REMAIN



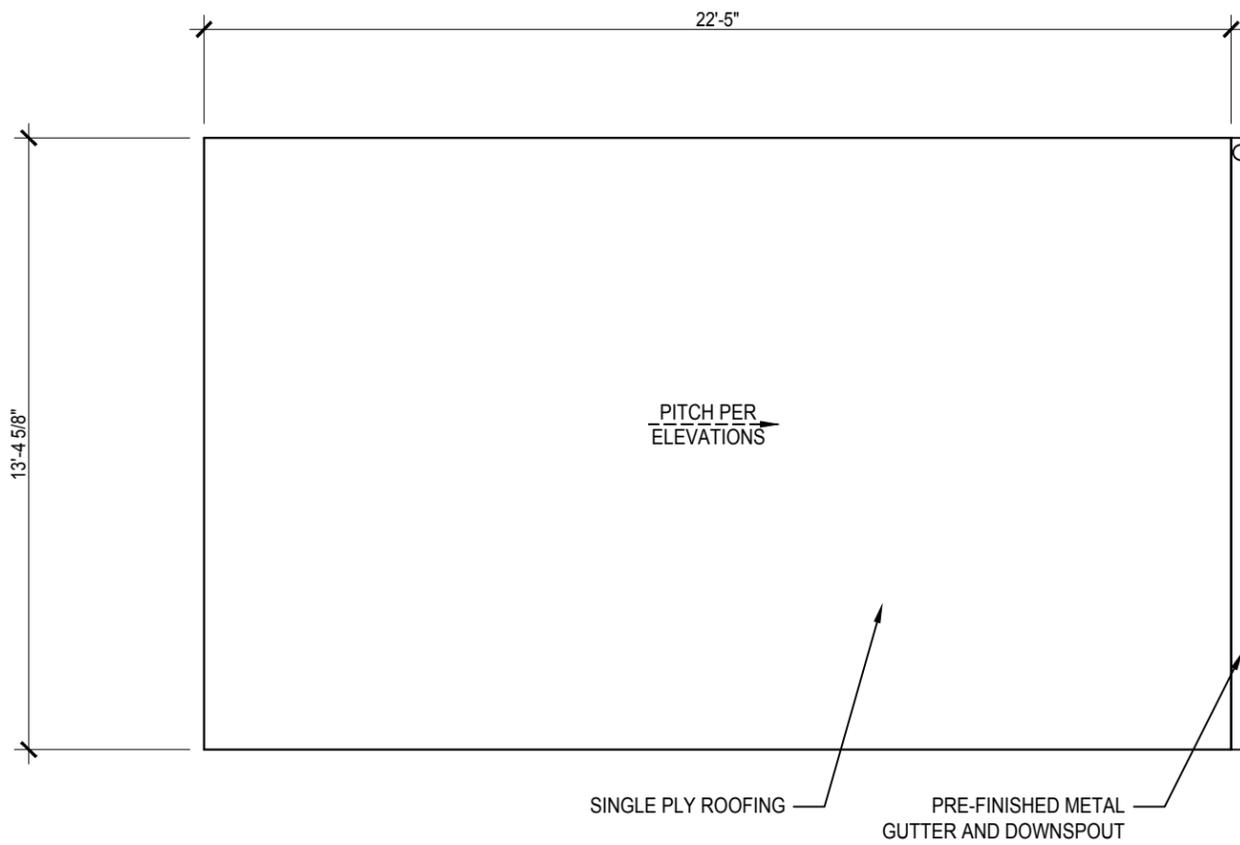
 <p>Omar Gutiérrez, NCARB architect</p>	<p>1209 Monroe St. Evanston, IL 60202 Ph: 847.903.4067 omar@ogutierrez.com www.ogutierrez.com</p>	<p>Sheet 4 of 12</p>
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THE SCHULTZ RESIDENCE
3312 DARTMOUTH PL. EVANSTON, IL
PROPOSED FIRST FLOOR PLAN - SCALE: 3/16"=1'-0" - 12/20/2021
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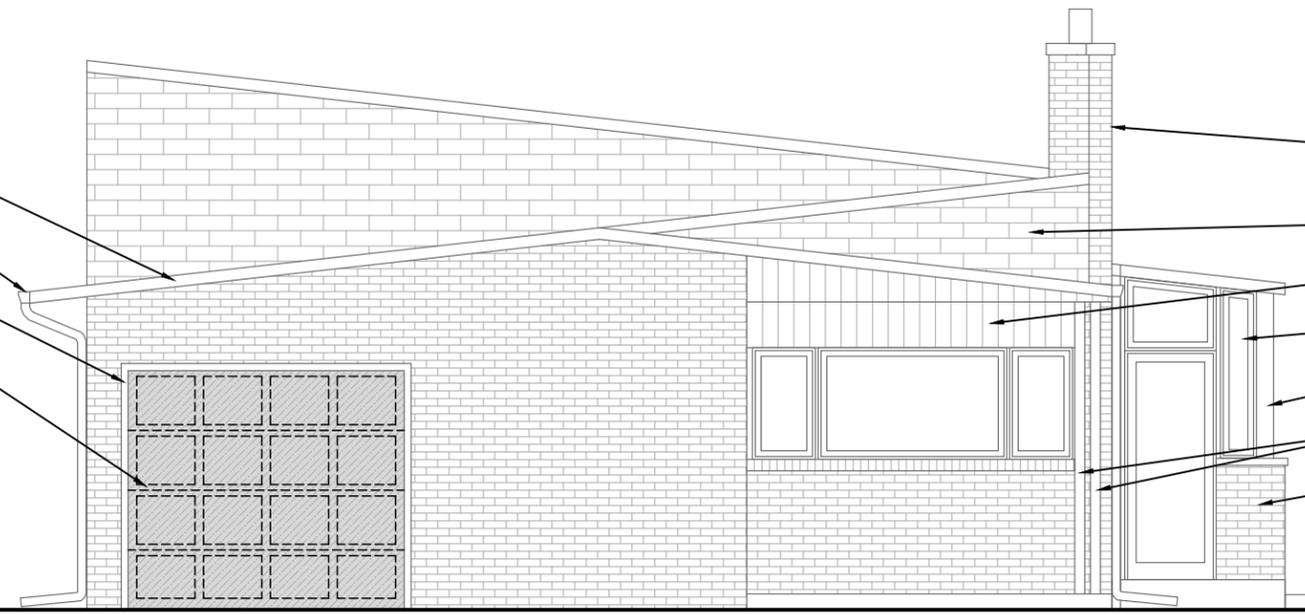
PROPOSED DETACHED GARAGE PLAN

PLAN LEGEND	
	NEW CONSTRUCTION: 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" PLYWOOD SHEATHING, TYVEK® OR EQUAL BUILDING WRAP AND COMPOSITE SIDING FINISH



PROPOSED DETACHED GARAGE ROOF PLAN

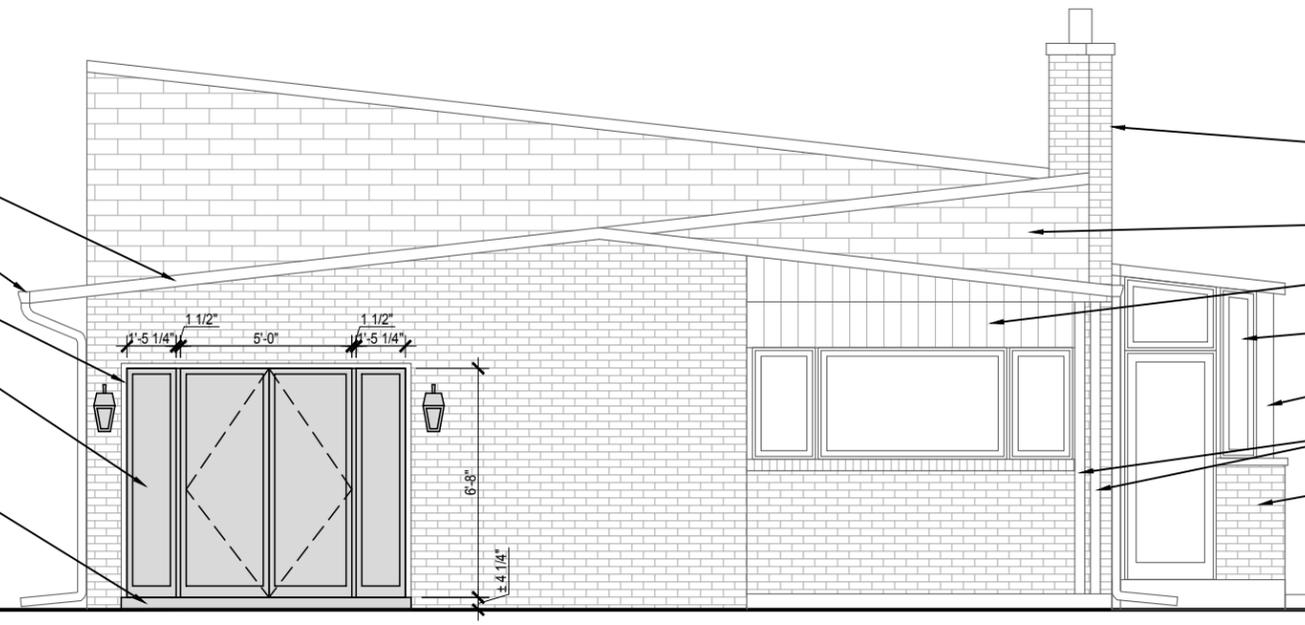
- EXISTING METAL COPING TO REMAIN (TYPICAL)
- EXISTING METAL GUTTERS AND DOWNSPOUTS TO REMAIN (TYPICAL)
- EXISTING MASONRY OPENING TO REMAIN
- EXISTING WOOD OVERHEAD DOOR TO BE REMOVED



- EXISTING BRICK PARAPET AND CHIMNEY WITH LIMESTONE CAP TO REMAIN
- EXISTING SHINGLE WALL TO REMAIN
- EXISTING VERTICAL WOOD SIDING TO REMAIN (TYPICAL)
- EXISTING WINDOWS AND DOORS TO REMAIN (TYPICAL)
- EXISTING PAINTED WOOD TRIM TO REMAIN (TYPICAL)
- EXISTING PAINTED WOOD COLUMNS TO REMAIN
- EXISTING BRICK VENEER TO REMAIN (TYPICAL)

EXISTING FRONT (NORTH) ELEVATION

- EXISTING METAL COPING TO REMAIN (TYPICAL)
- EXISTING METAL GUTTERS AND DOWNSPOUTS TO REMAIN (TYPICAL)
- EXISTING MASONRY OPENING TO REMAIN
- IN LIEU OF EXISTING WOOD OVERHEAD DOOR: NEW ALUMINUM CLAD WOOD DOORS AND FIXED WINDOWS WITH TEMPERED GLASS WITHIN EXISTING MASONRY OPENING
- NEW LIMESTONE SILL

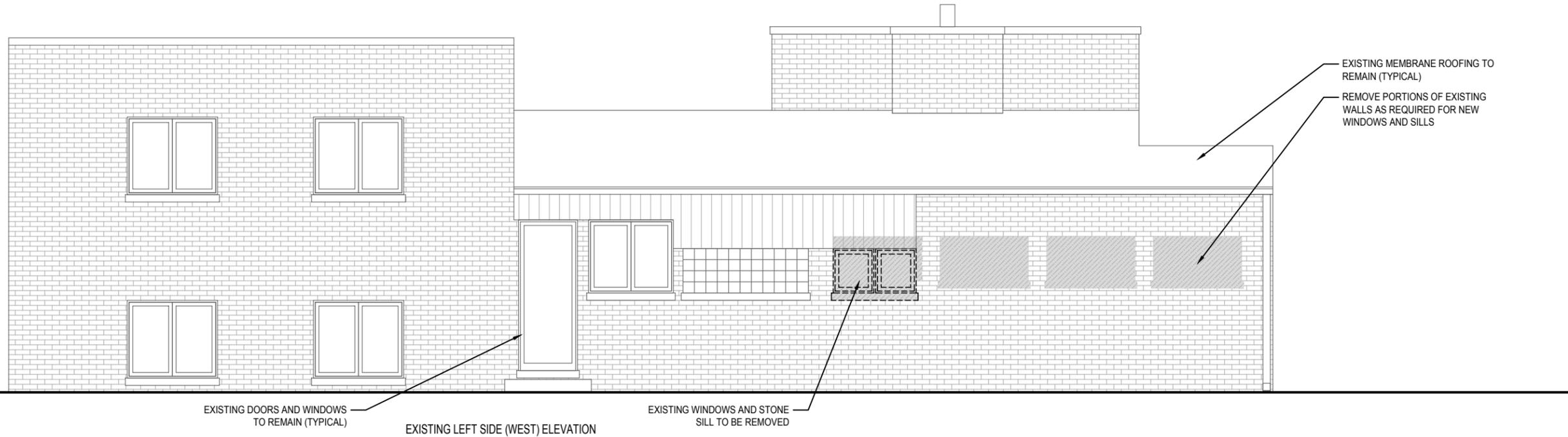


- EXISTING BRICK PARAPET AND CHIMNEY WITH LIMESTONE CAP TO REMAIN
- EXISTING SHINGLE WALL TO REMAIN
- EXISTING 6" WIDE VERTICAL WOOD SIDING TO REMAIN (TYPICAL)
- EXISTING WINDOWS AND DOORS TO REMAIN (TYPICAL)
- EXISTING PAINTED WOOD TRIM TO REMAIN (TYPICAL)
- EXISTING PAINTED WOOD COLUMNS TO REMAIN
- EXISTING BRICK VENEER TO REMAIN (TYPICAL)

PROPOSED FRONT (NORTH) ELEVATION

THE SCHULTZ RESIDENCE
 3312 DARTMOUTH PL. EVANSTON, IL
 EXISTING AND PROPOSED FRONT (NORTH) ELEVATIONS - SCALE: 3/16"=1'-0" - 12/20/2021
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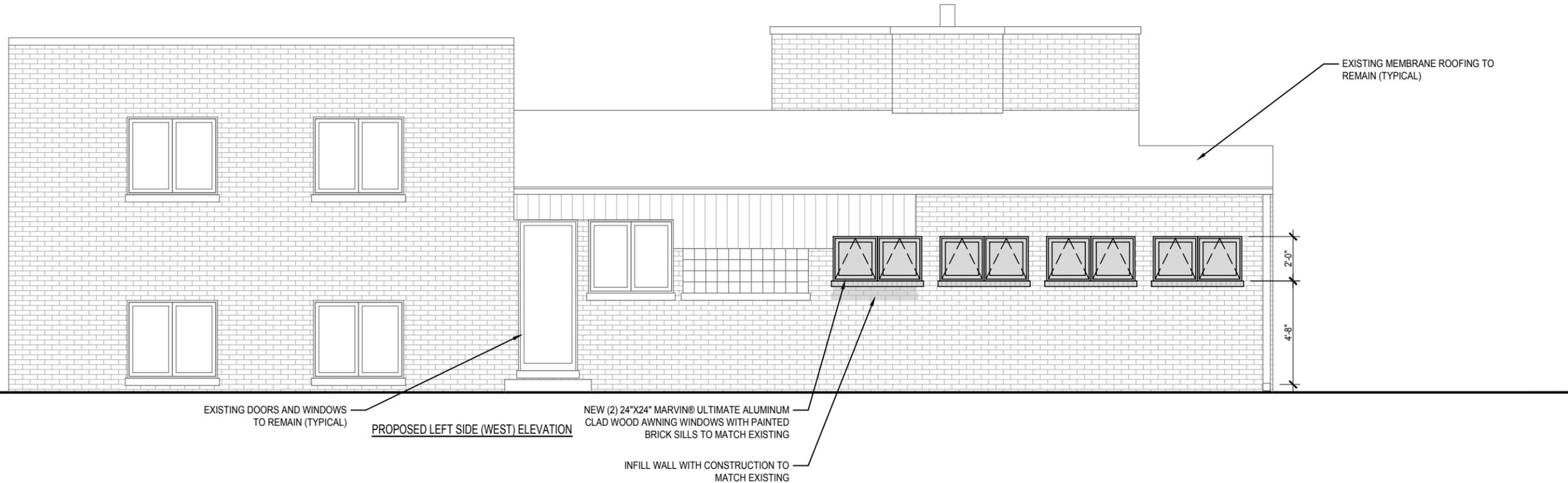
<p>Omar Gutierrez, NCARB a r c h i t e c t</p>	Sheet 6 of 12
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EXISTING DOORS AND WINDOWS TO REMAIN (TYPICAL)
EXISTING LEFT SIDE (WEST) ELEVATION

EXISTING WINDOWS AND STONE SILL TO BE REMOVED

EXISTING MEMBRANE ROOFING TO REMAIN (TYPICAL)
REMOVE PORTIONS OF EXISTING WALLS AS REQUIRED FOR NEW WINDOWS AND SILLS



EXISTING DOORS AND WINDOWS TO REMAIN (TYPICAL)
PROPOSED LEFT SIDE (WEST) ELEVATION

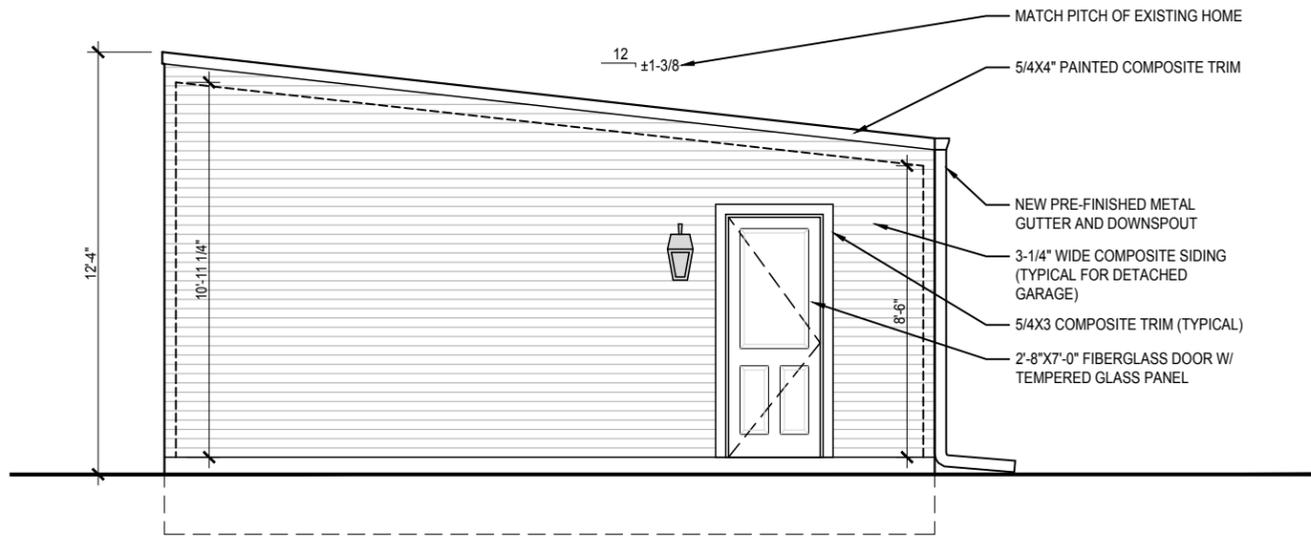
NEW (2) 24"X24" MARVIN® ULTIMATE ALUMINUM CLAD WOOD AWNING WINDOWS WITH PAINTED BRICK SILLS TO MATCH EXISTING

INFILL WALL WITH CONSTRUCTION TO MATCH EXISTING

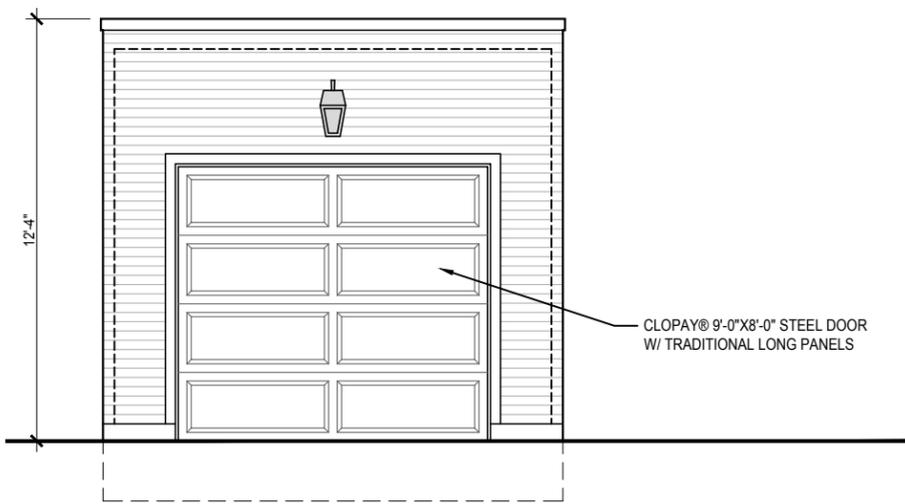
EXISTING MEMBRANE ROOFING TO REMAIN (TYPICAL)

THE SCHULTZ RESIDENCE
3312 DARTMOUTH PL. EVANSTON, IL
EXISTING AND PROPOSED LEFT SIDE (WEST) ELEVATION - SCALE: 3/16"=1'-0" - 12/20/2021
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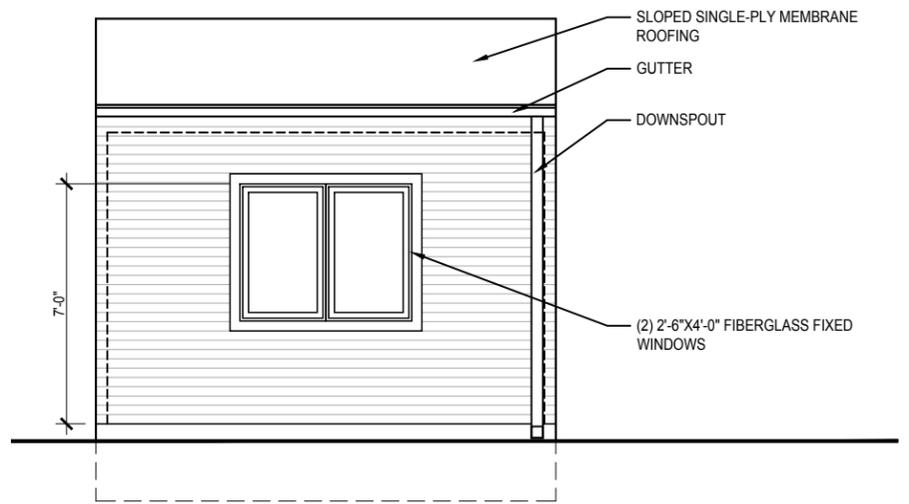
<p>Omar Gutierrez, NCARB a r c h i t e c t</p>	<p>1209 Monroe St. Evanston, IL 60202 Ph: 847.903.4067 omar@ogutierrez.com www.ogutierrez.com</p>	<p>License expires 11/30/2022</p>
	<p>Sheet 7 of 12</p>	



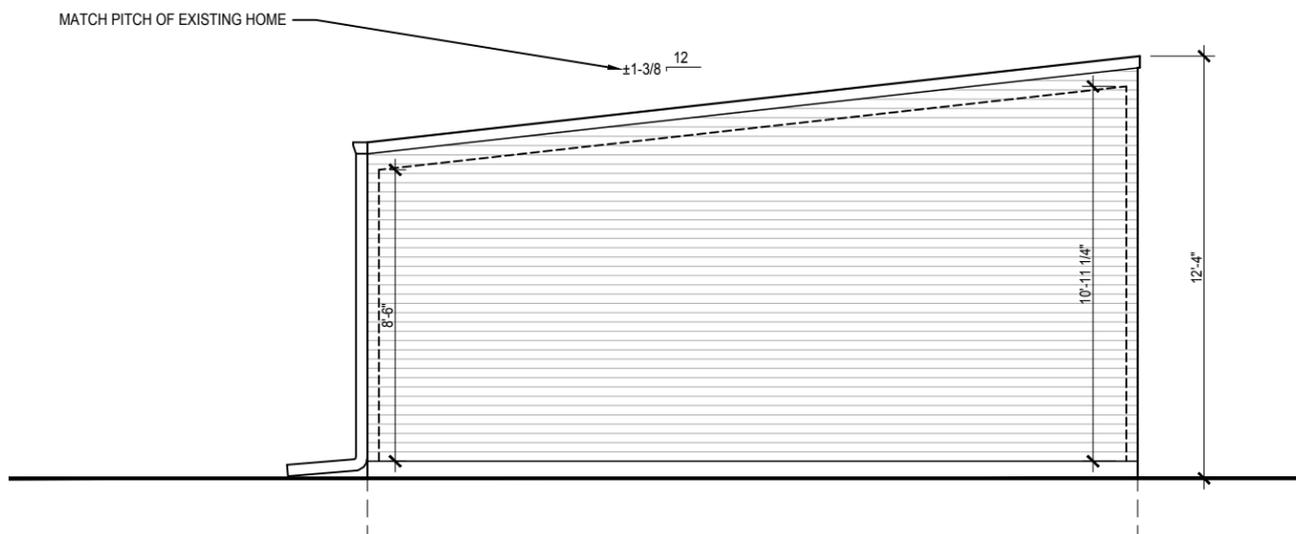
NORTH ELEVATION



EAST ELEVATION



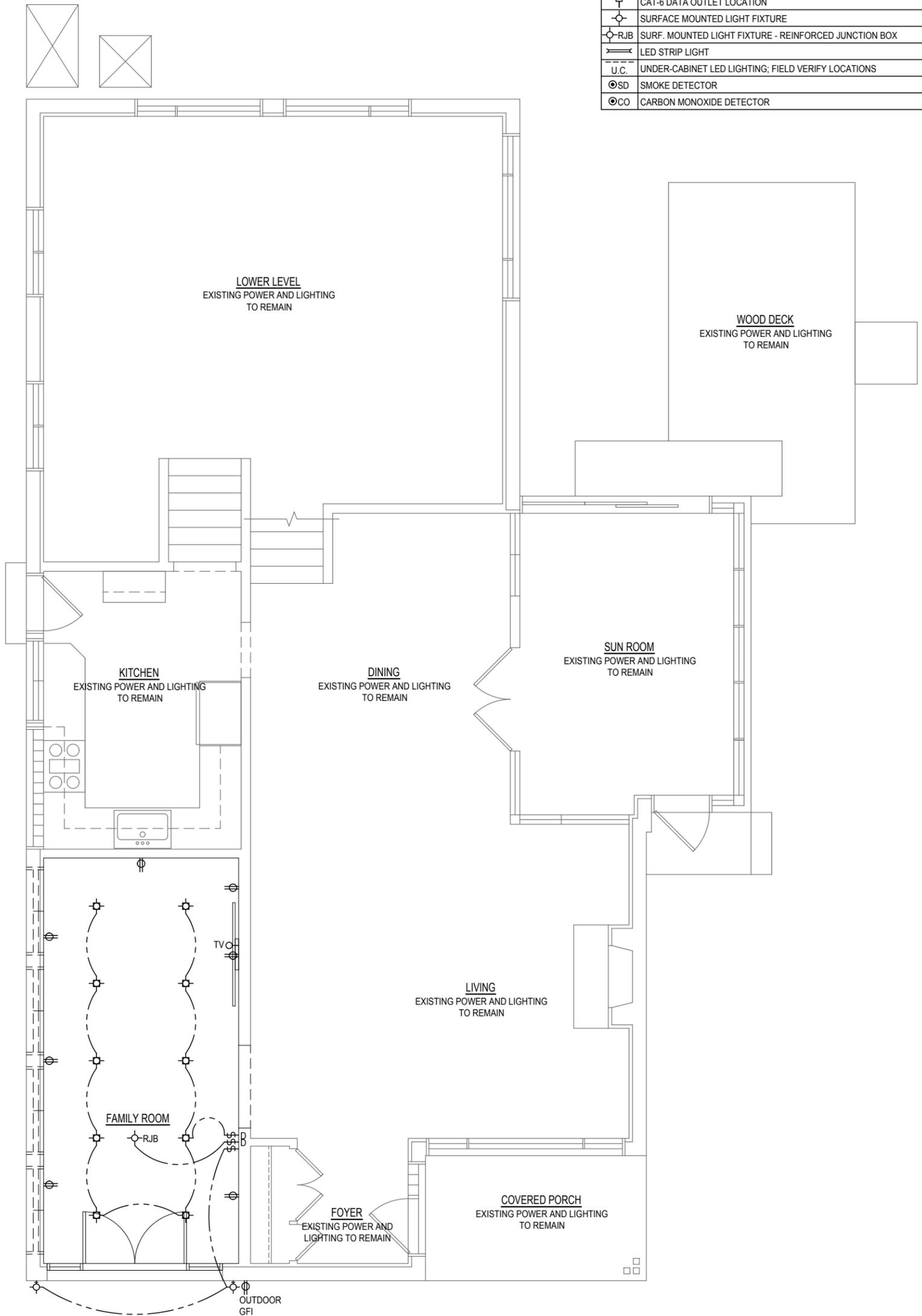
WEST ELEVATION



SOUTH ELEVATION

ELECTRICAL SYMBOL KEY

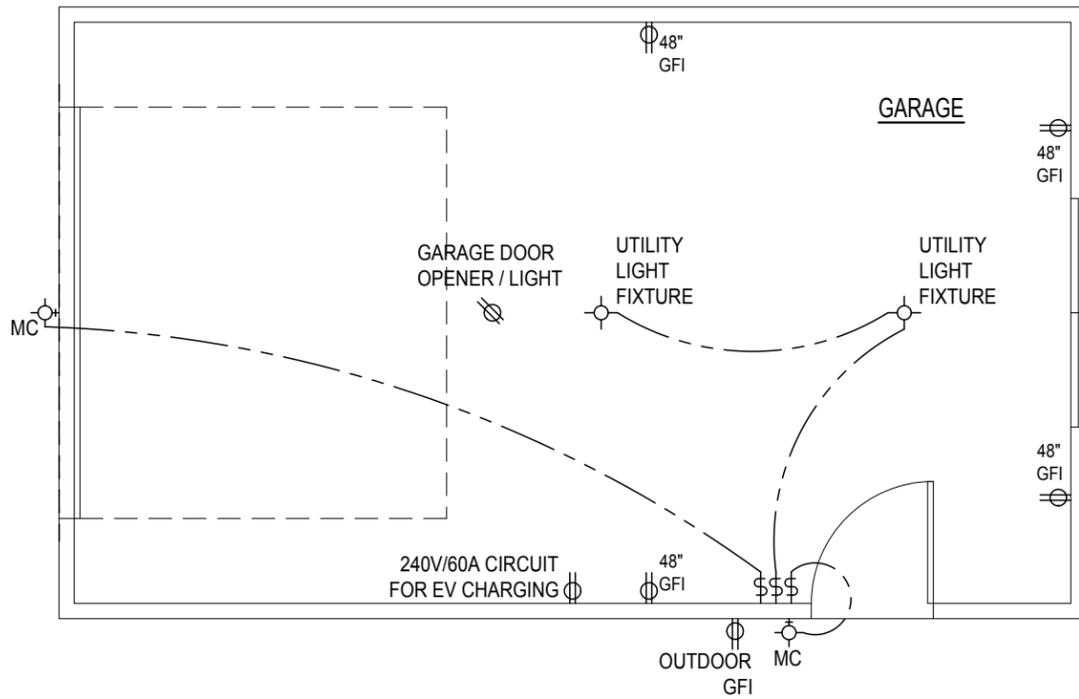
⌘	SWITCH
⌘ 3	SWITCH, 3-WAY
⌘ 4	SWITCH, 4-WAY
⌘ MC	SWITCH WITH MOTION SENSOR CONTROL
⊕	110V DUPLEX RECEPTACLE
⊕	110V DUPLEX RECEPTACLE; SWITCHED
⊕ GFI	110V DUPLEX RECEPTACLE; GROUND FAULT INTERRUPTER
⊕	110V QUAD RECEPTACLE
⊕	REC. LIGHT FIXTURE (5" JUNO 2700 K LED OR PER OWNER)
⊕	REC. DIRECTIONAL FIXTURE (5" JUNO 2700 K LED OR PER OWNER)
⊕	WALL MOUNTED LIGHT FIXTURE
⊕	EXHAUST FAN
⊕	TV FEED LOCATION
⊕	CAT-6 DATA OUTLET LOCATION
⊕	SURFACE MOUNTED LIGHT FIXTURE
⊕-RJB	SURF. MOUNTED LIGHT FIXTURE - REINFORCED JUNCTION BOX
—	LED STRIP LIGHT
U.C.	UNDER-CABINET LED LIGHTING; FIELD VERIFY LOCATIONS
⊕ SD	SMOKE DETECTOR
⊕ CO	CARBON MONOXIDE DETECTOR



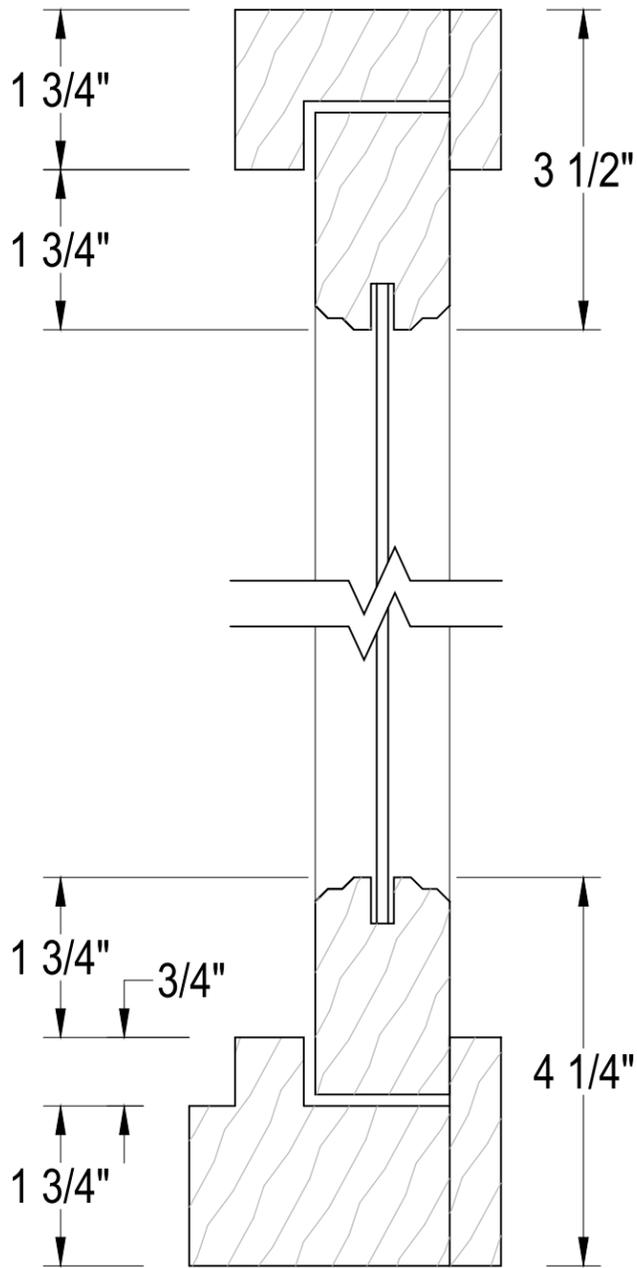
1209 Monroe St.
Evanston, IL 60202
Ph: 847.903.4067
omar@ogutierrez.com
www.ogutierrez.com
License expires
11/30/2022

Sheet
9
of 12

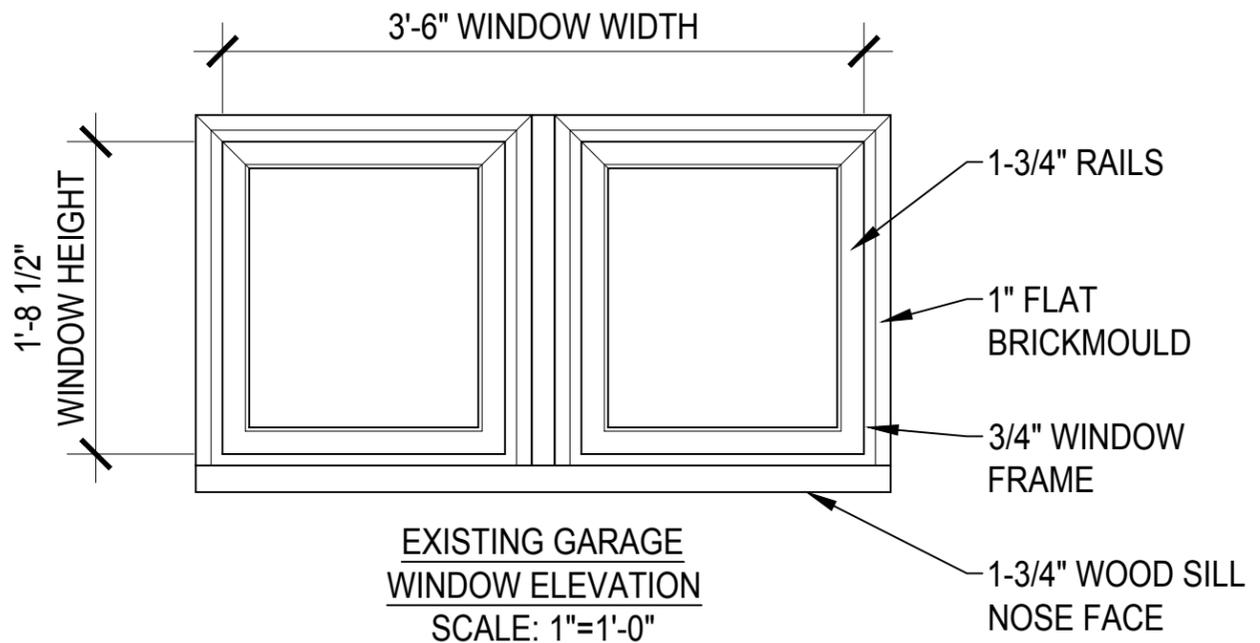
THE SCHULTZ RESIDENCE
3312 DARTMOUTH PL. EVANSTON, IL
FIRST FLOOR ELECTRIC PLAN - SCALE: 3/16"=1'-0" - 12/20/2021
© OMAR GUTIERREZ, ARCHITECT



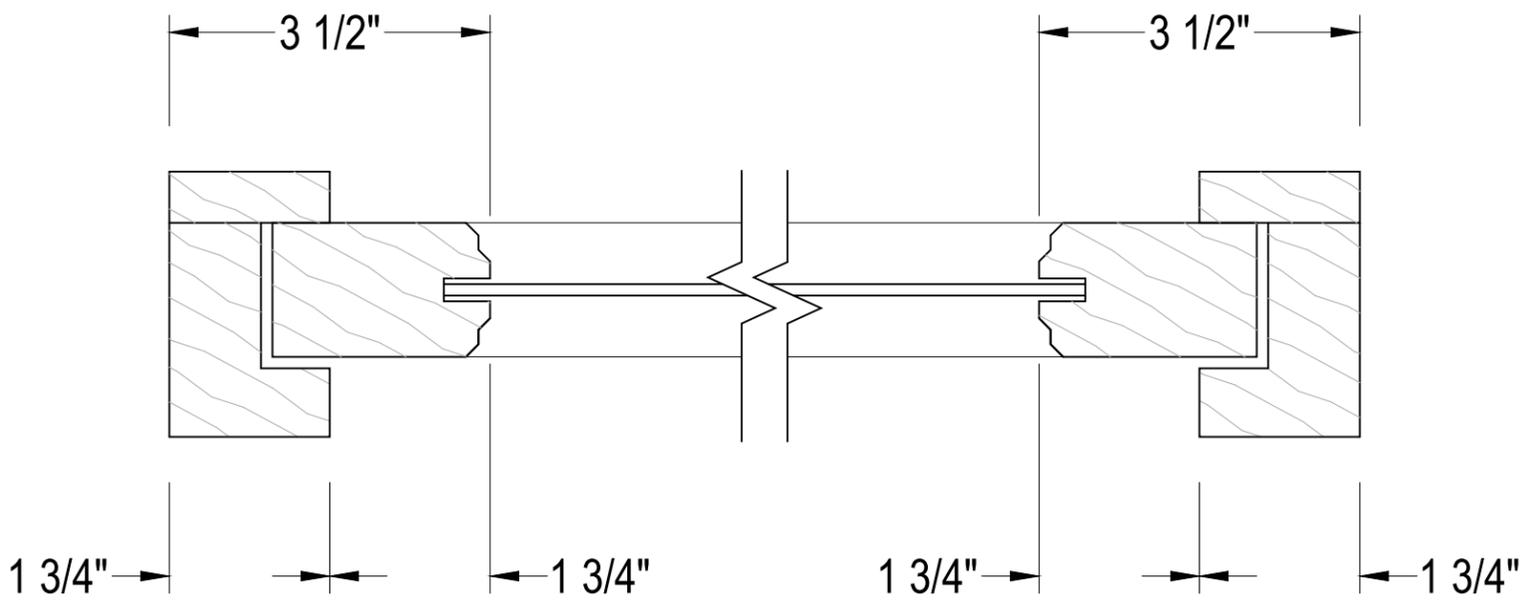
ELECTRICAL SYMBOL KEY	
⌘	SWITCH
⌘ 3	SWITCH, 3-WAY
⌘ 4	SWITCH, 4-WAY
⌘ MC	SWITCH WITH MOTION SENSOR CONTROL
⌘	110V DUPLEX RECEPTACLE
⌘	110V DUPLEX RECEPTACLE; SWITCHED
⌘ GFI	110V DUPLEX RECEPTACLE; GROUND FAULT INTERRUPTER
⌘	110V QUAD RECEPTACLE
⌘	REC. LIGHT FIXTURE (5" JUNO 2700 K LED OR PER OWNER)
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⌘	LED STRIP LIGHT
U.C.	UNDER-CABINET LED LIGHTING; FIELD VERIFY LOCATIONS
⊙ SD	SMOKE DETECTOR
⊙ CO	CARBON MONOXIDE DETECTOR



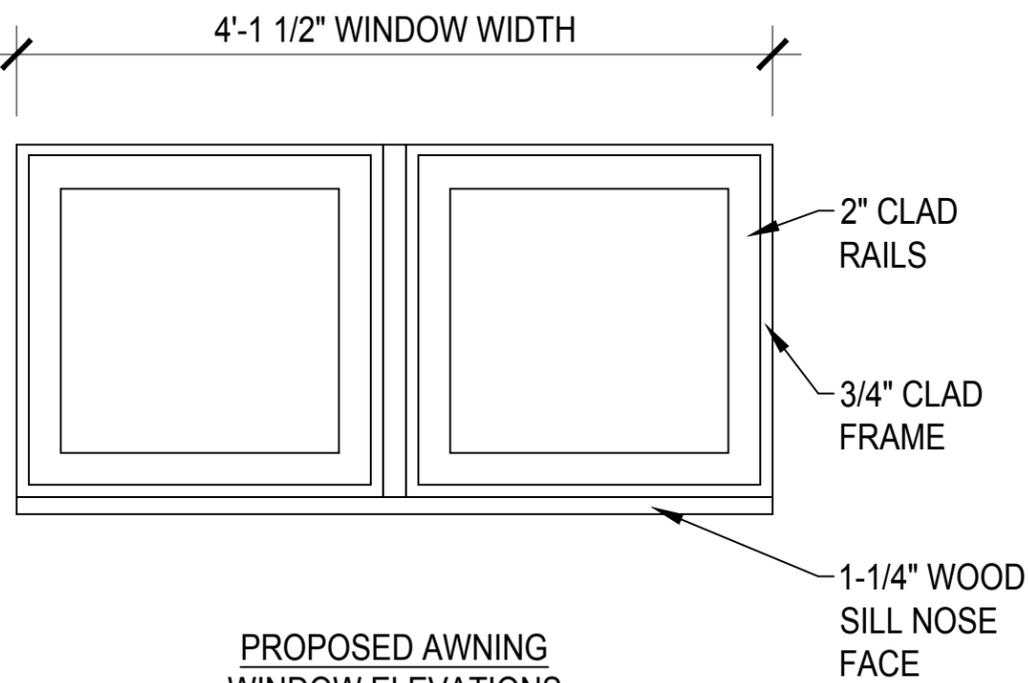
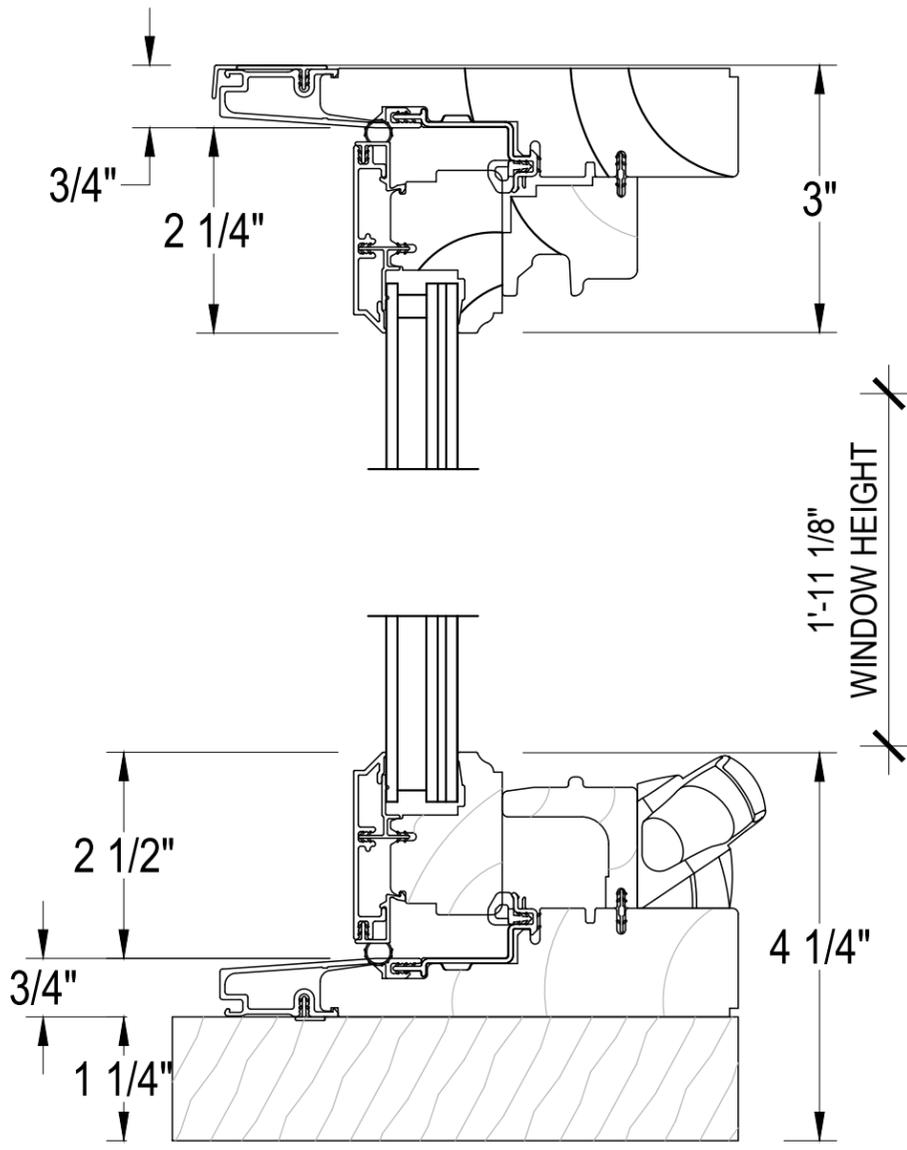
EXISTING GARAGE WINDOW
SILL/HEAD SECTION
SCALE: 6"=1'-0"



EXISTING GARAGE WINDOW ELEVATION
SCALE: 1"=1'-0"

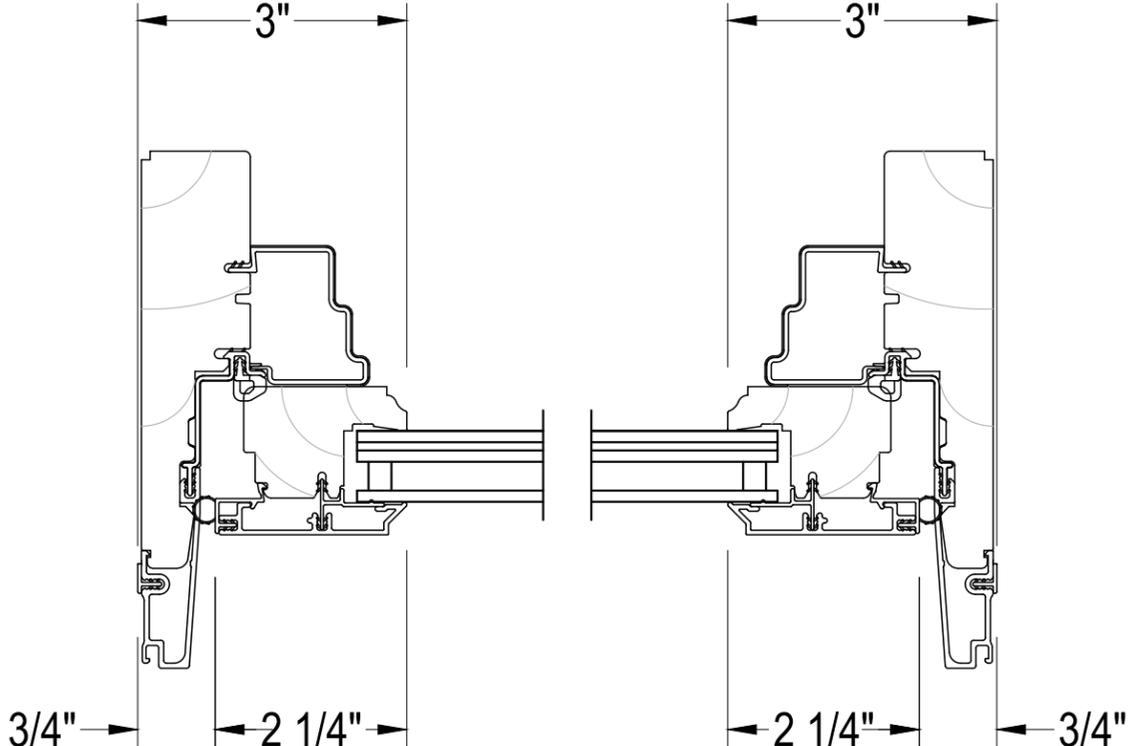


EXISTING GARAGE WINDOW JAMB SECTION
SCALE: 6"=1'-0"



PROPOSED AWNING WINDOW ELEVATIONS
SCALE: 1"=1'-0"

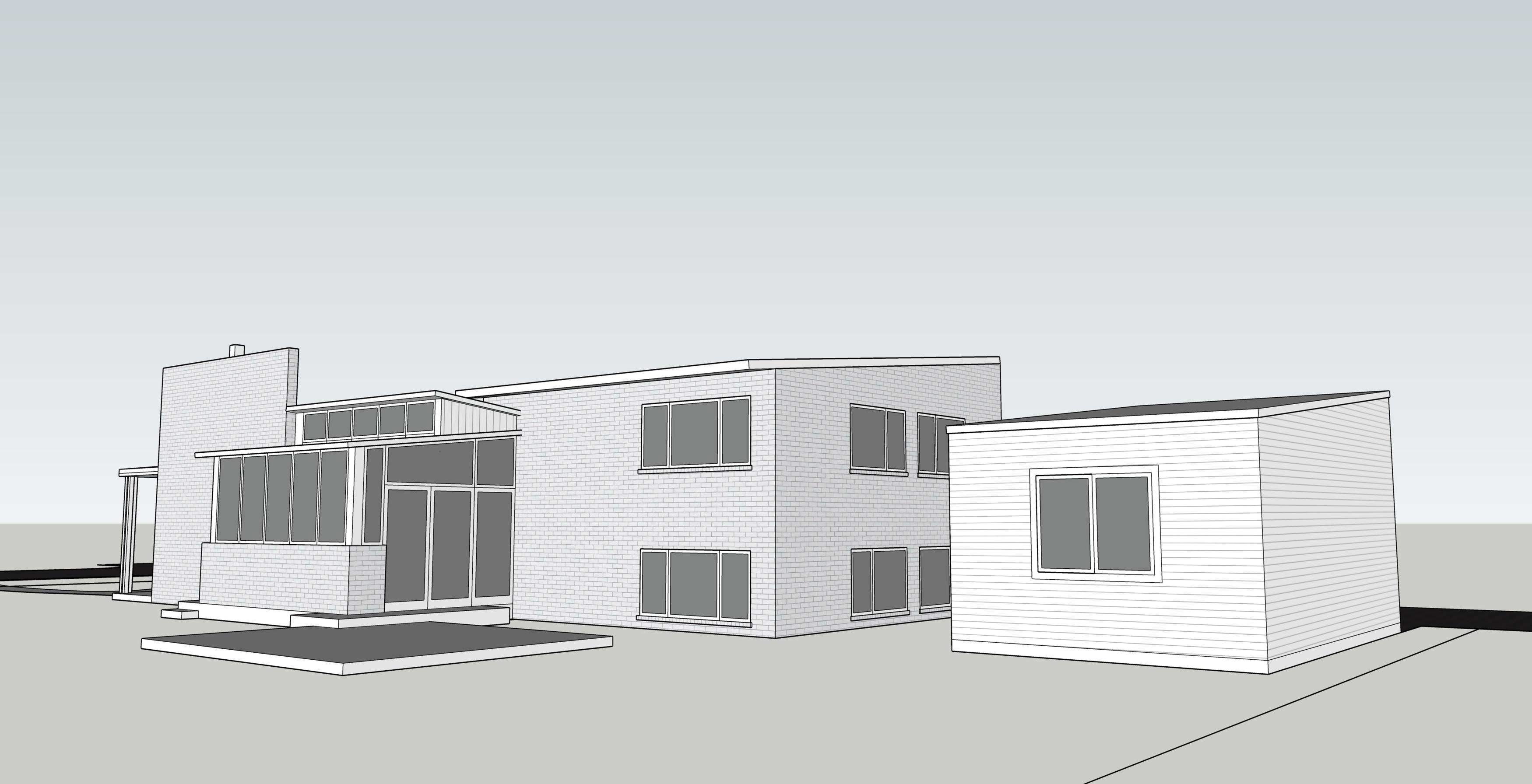
PROPOSED AWNING WINDOW
SILL/HEAD SECTION
SCALE: 6"=1'-0"



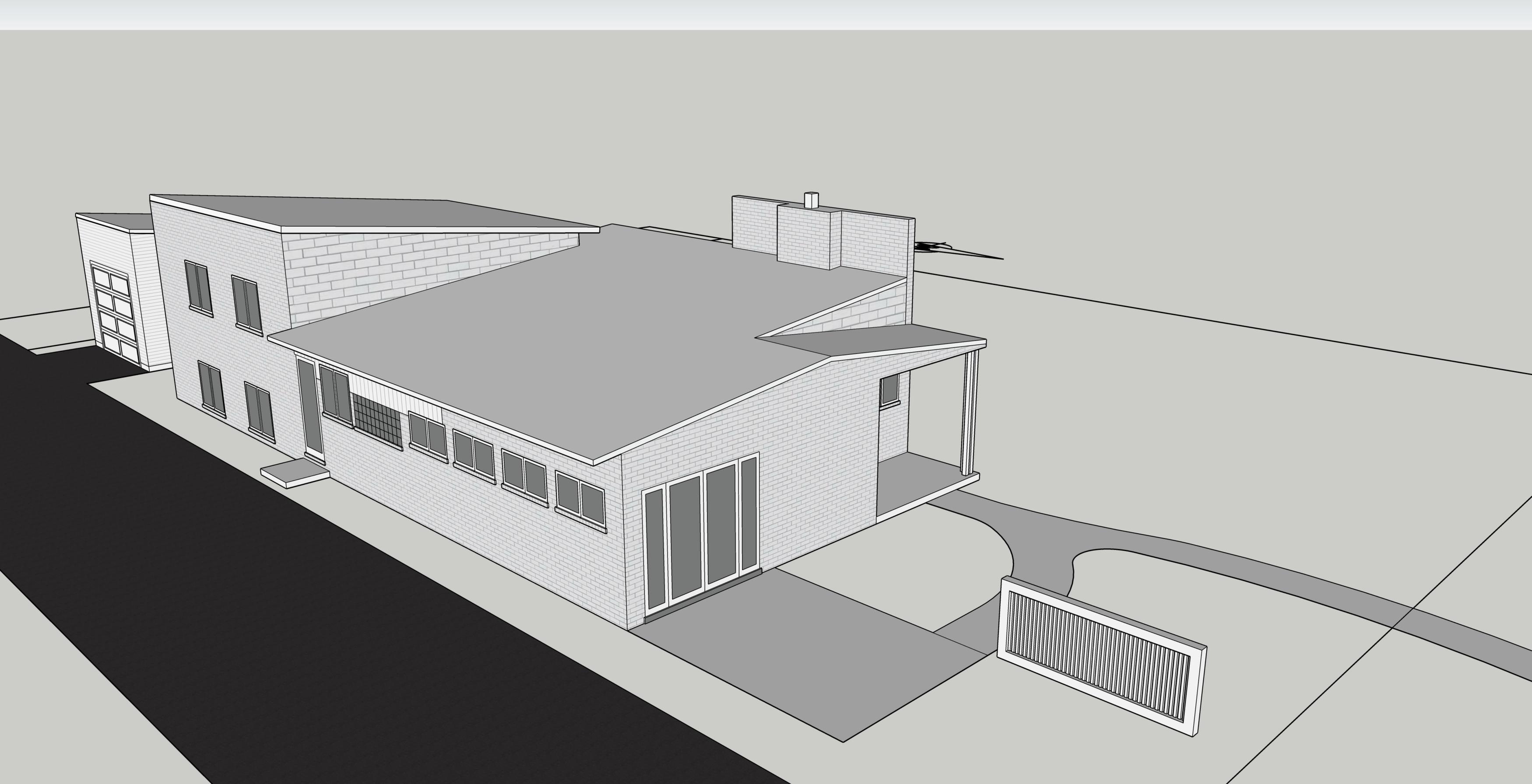
PROPOSED AWNING WINDOW JAMB SECTION
SCALE: 6"=1'-0"

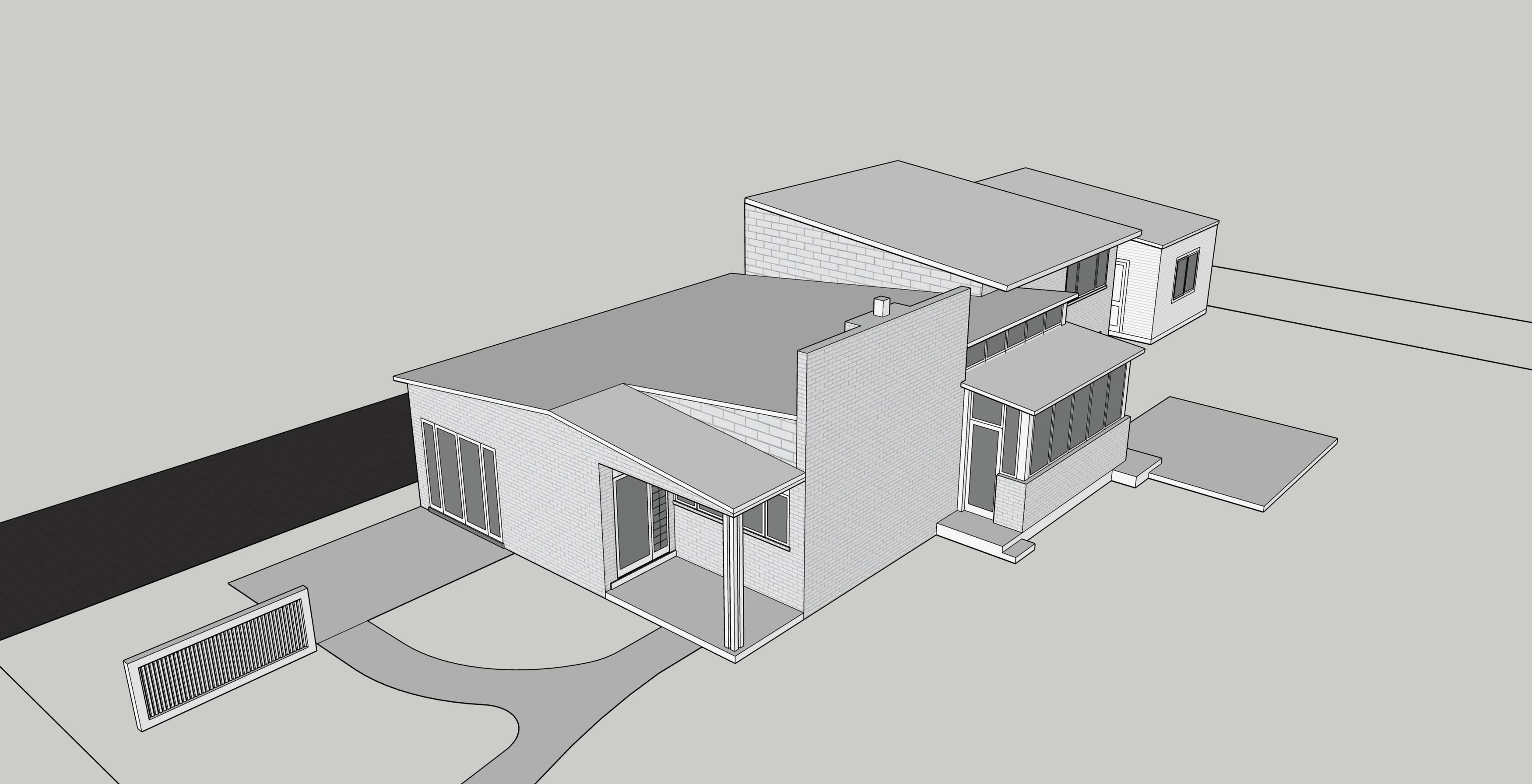


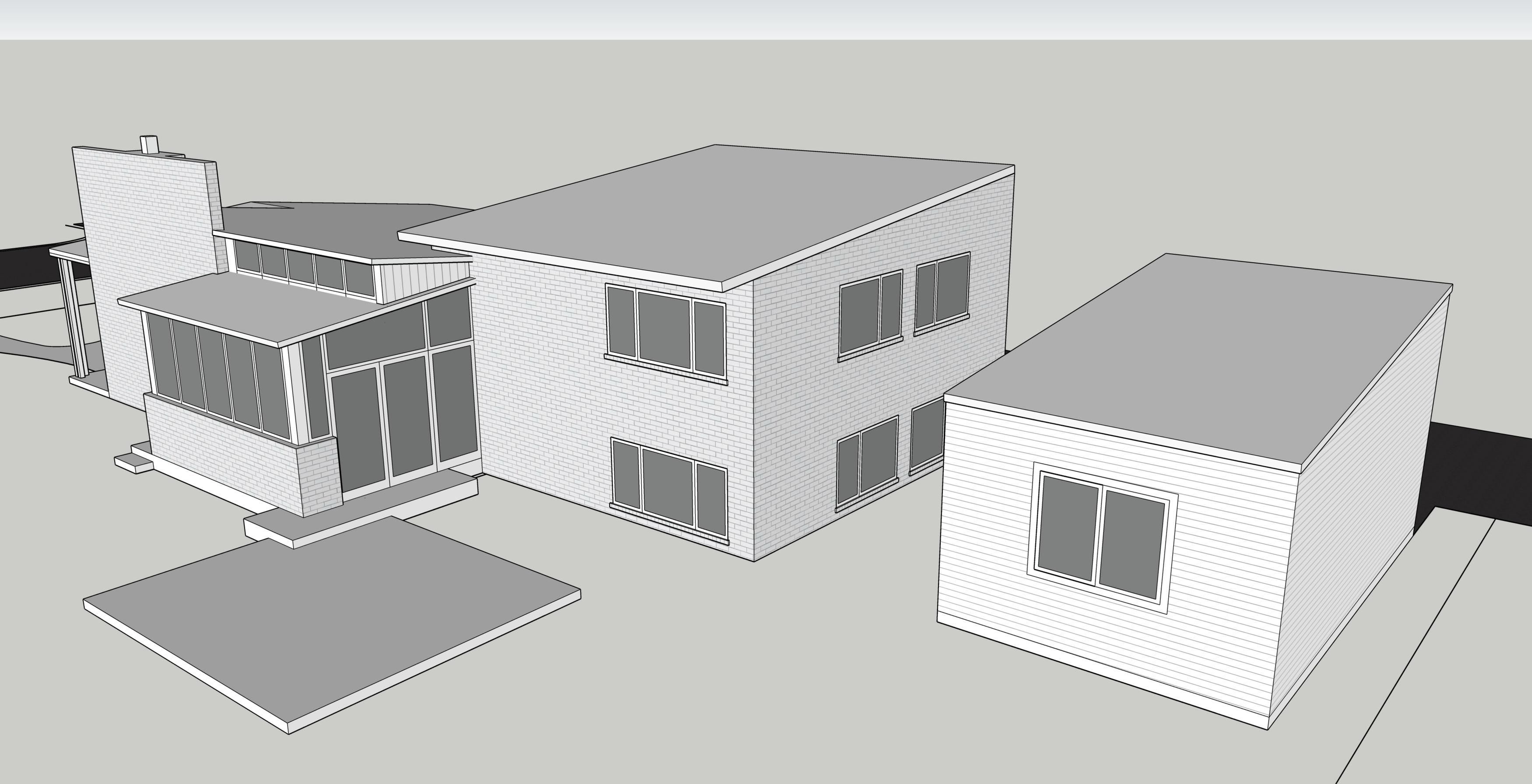


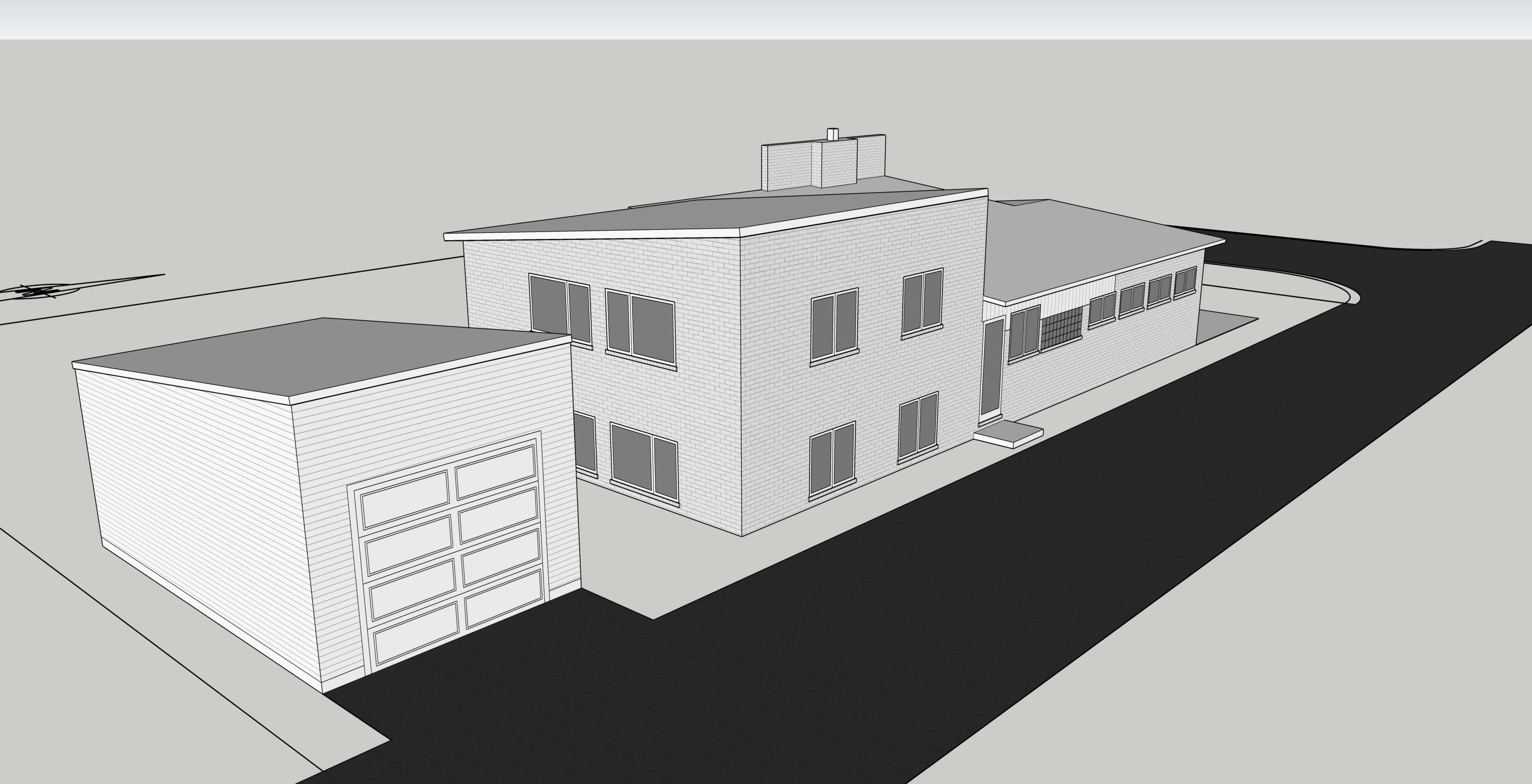












Garage window to be removed



Garage window to be removed





3312





3312





























City of EVANSTON

3312 DARTMOUTH PLACE

BEGINNING STREET NUMBER
END STREET NUMBER
STREET #
SUFFIX
STREET NAME
PIN



PHOTO ID:

LOCAL

WITHIN LOCAL DISTRICT?
LOCAL DIST CONTRIB/NON-CONTRIB?
LOCAL LANDMARK?
YEAR
LOCAL LANDMARK ELIGIBLE?
CRITERIA

NATIONAL REGISTER

NR DISTRICT CONTRIB/NON-CONTRIB
WITHIN DISTRICT? NR LANDMARK? YEAR
NR ELIGIBLE? CRITERIA ALTERNATE ADDRESS?

GENERAL INFORMATION

CATEGORY CONDITION
INTEGRITY CURRENT USE
HISTORIC USE
SECONDARY STRUCTURE NR SECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION DETAILS
CONSTRUCTION YEAR OTHER YEAR
DATE SOURCE WALL MATERIAL (CURRENT)
WALL MATERIAL 2 (CURRENT) PLAN
NO OF STORIES ROOF TYPE
ROOF MATERIAL FOUNDATION

PORCH WINDOW MATERIAL
WINDOW MATERIAL 2 WINDOW TYPE
WINDOW CONFIGURATION SIGNIFICANCE

HISTORIC FEATURES

ALTERATIONS

ADDITIONAL PHOTOGRAPHS



PHOTO ID:

10-11-307-026-0000-2.jpg

HISTORIC INFORMATION

OLD ADDRESS (CITY DIR.YEAR) BUILDING MOVED? BUILDER SURVEYOR
MOVED FROM ORIGINAL OWNER SURVEYOR ORGANIZATION
ORIGINAL ARCHITECT ARCHITECT SOURCE SURVEY DATE SURVEY AREA

PERMIT/HISTORIC INFORMATION

PERMIT MOVING INFORMATION

CURRENT ADDRESS OLD ADDRESS DATE OF CONSTRUCTION MOVING PERMIT # DATE MOVED

ORIGINAL PERMIT INFORMATION

BUILDING PERMIT # DATE

OTHER PERMIT INFORMATION

BUILDING PERMIT DESCRIPTION COST

COA INFO

09PRES-0075: Replace existing crashed stone driveway with brick pavers, replace existing flagstone walkway with brick pavers.

ORIGINAL OWNER OCCUPIED?

HISTORIC INFO OTHER SOURCES

EXTERIOR ALTERATION PERMITS

01DKP0000000031: demo existing sunroom and rebuild an add to sfr same size/location.

HISTORIC INFO COMPILER VOLUNTEER

Application No. 23465
 Address 3317 Dartmouth
 Permit No. 23157

9/16/40
 Evanston, Ill., 9-10-40 19

Building Commissioner:

The undersigned applies for a permit for the construction of
 a 2 story, Dr Ingle Family
Residence attached Garage

to be located on Lot 1 Block 4
 Sub. The Highlands Evanston Lincolnwood
Sub

Width, or Front		M. Brick	
Length, or Depth		Cu. yd. Concrete	
Elevation, or Height		Sq. yd. Plaster	
		Cu. yd. Stone	
		Tile	
Total Cost of Building	<u>7000</u>	Cement Block	

Owner H. A. Simmons Phone

Address Ridge Av.

Architect G. F. Keet Phone

Address 617 N. Michigan Chgo

Mason G. W. Lindstrom Phone

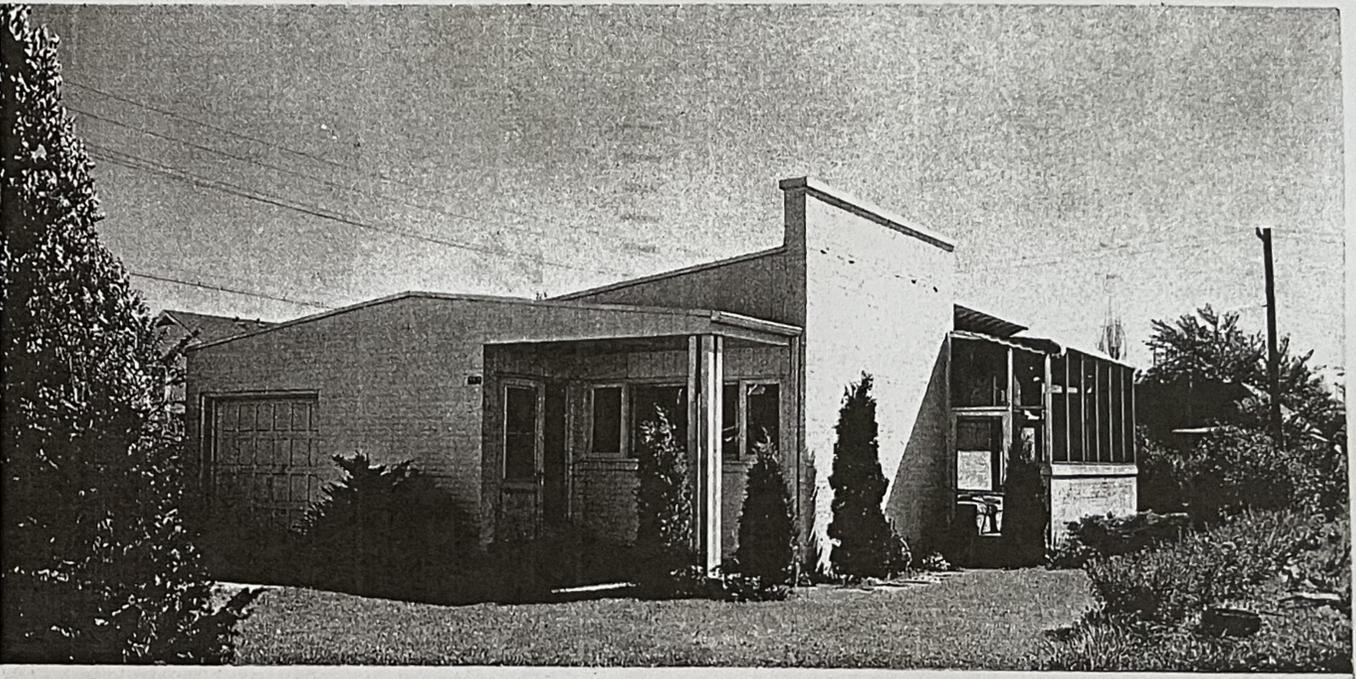
Address 1147 Florence Av.

Carpenter G. W. Lindstrom Phone

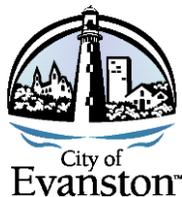
Address 1147 Florence

Signed by G. W. Lindstrom

Address



3312 Dartmouth Place, Evanston
 TRI-LEVEL BRICK, recently built. Spacious liv. rm. with firepl., model kit, lge. libr. or bedrm, 2 other bedrms, model closets, bath & pwr rm, lge. scr. pch off liv. rm, utility rm, gas, air cond., 1 car garage. Price: \$15,250.00
 Paul Lawrence Brackett
 815 Main Street
 Mrs. Welch
 DAVIS 2800



MEETING MINUTES

PRESERVATION COMMISSION

Tuesday December 07, 2021

7:00 P.M.

Via Virtual Meeting

Members Present: Beth Bodan, Mark Simon, John Jacobs, Stuart Cohen,
Sarah M. Dreller, Jamie M Suzi Reinhold

Members Absent: Aleca Sullivan

Staff Present: C. Sterling; C. Ruiz

Presiding Member: M. Simon, Chair

Notes Taken by: C. Sterling

Agenda

1. SUSPENSION OF THE RULES

City staff recommends suspension of Article 2, Section 4 of the Commissions Rules and Procedures to permit remote participation.

- Motion to suspend the rules was carried on a vote of 7-0

2. NEW BUSINESS

A. 2514 Harrison Street – Landmark – 21PRES-0169

Sam Kang, architect, submits for a Certificate of Appropriateness to alter the existing structures fenestration on the east and south elevations, and replace existing wood panel siding on the rear-volume single-story addition, with cedar clapboard siding to match the existing sidings exposure.

Applicable Standards: Alteration [1-10]

- Sam Kang, architect, provided a brief overview of the project and associated alteration to the homes fenestration to accommodate interior renovations including a proposed smaller window at the rear volume bathroom to provide additional privacy, as well as a larger window in the northeast bedroom to be code compliant for egress
- Commissioners discuss the need for additional drawings to compare the proposed window dimensions to the extant original windows
- Commissioners discuss the double casement window at the east elevation rear volume, particularly the double window being out of scale with the existing pattern of fenestration. It is suggested that a larger single casement window with faux meeting rail to simulate a double-hung as seen from the street be incorporated.
 - Applicant agrees to this change
- Commissioners discuss the rear volume bathroom window and concern that the change in window proportion creates asymmetry at the rear elevation where the pattern of fenestration is currently symmetrical and regular. It is suggested that the applicant explore alternate

locations for the bathroom toilet, or to proposed a full size window matching the existing, but with the use of frosted glazing to provide additional privacy.

- The homeowners and applicant indicate that the window shown is a drafting error and that they have discussed the desire to retain the same window size as existing whether through interior layout alterations, or alternate glazing material to provide privacy.
- Mr. Sterling suggests that the larger egress window at the northeast bedroom could be proposed to match the existing condition and suggested the applicant request an exemption from the Building Code for historic purposes.
- A motion to issue a Certificate of Appropriateness was approved 7-0 with the following conditions for administrative review:
 - the applicant provide detail drawings of the existing and proposed window at the east and south elevation second floors;
 - the applicant modify the proposed south elevation double-hung window to more closely match the existing window in general appearance;
 - the applicant modify the east elevation proposed first floor casement window as a single casement with simulated meeting rail.

B. 1115 Hinman Avenue – Lakeshore Historic District – 21PRES-0167

Thomas Ahleman, architect, submits for a Certificate of Appropriateness to replace the existing aluminum siding with fiber cement siding, replace deteriorated windows in-kind, demolish a non-original addition at the rear-volume of the residence, and construct a single-story addition, covered screened porch, and uncovered deck at the rear-volume of the residence.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; and Construction [1-4; 7-8; and 10-15]

- Thomas Ahleman, architect, provided a brief overview of the project and history on the home. The home is described as eclectic with an amalgam of stylistic features and irregular fenestration. The majority of the homes windows are in a state of disrepair that necessitate replacement. The cladding is in poor condition and was previously approved to be replaced with fiber-cement. The original cladding was stucco. The venetian or paladian window at the primary elevation had been covered but will be restored as part of the project.
- The rear volume addition and large screen porch were discussed.
- Commissioners asked about the existing style of the home and uncertainty that Colonial Revival is an accurate description.
 - Mr. Sterling responded that the style designation was what is listed in the survey report, but that other than the front-porch, regular fenestration, and overall symmetry, the home deviates from the Colonial Revival Style with some aspects of Gothic Revival as well.
 - Commissioner Dreller stated that the Palladian window at the primary elevation is a good indication of the Colonial Revival style, as is the homes overall symmetry
- Commissioners agreed that the home was eclectic with a mix of various window types and styles but noted that the rear-volume additions enlarged arch window deviated from any extant design vocabulary on the residence.
 - The applicant noted that it was an homage to the front Palladian window being restored.
 - Commissioners noted that although the two are arched, the proposed window at the rear has such a divergent radius that it is hard to tie the two together and suggested that alternatives be explored.
 - The applicant described alternatives which were looked at, all of which looked more awkward, or resulted in the loss of functionality as the intention is to bring as much light as possible into the interior vaulted ceiling.

- Commissioners discussed the rear additions cladding, and concern that the proposed paneling did not speak to the existing materials and textures of the residence. Alternatives were suggested with the most sensitive solution being to match the clapboard cladding being proposed for the principle structure.
- Commissioners discussed the proposed screen porch, noting that the large screen panels were out of scale with the existing proportion of openings. It was suggested that the applicant look at ways to reduce and break down the size of these openings to better reflect the pattern of fenestration on the home
- The applicant and homeowner provided comment on the design intent as well as previous alternatives that were rejected. Both showed a willingness to continue to work with the Commission to find a more sensitive solution
- Commissioners noted that the addition was very handsome on its own, but needed some changes to meet the standards and be more complimentary to the principle structures existing design and material vocabularies
- A motion for conditional approval was carried 6-1 (SC dissenting) with the following conditions:
 - the applicant work with a subset of the Commission to review revised concepts for the rear additions fenestration and cladding.

3. MEETING MINUTES

A. Approval of November 9, 2021.

- Meeting minutes were approved as presented

4. STAFF REPORTS

A. Design Guidelines Update

- Mr. Ruiz provided an update on the design guidelines. The update focused on changes to the previous outline and discussions with the subcommittee on how to best move forward and separation of roles between staff as the authors, and the commissioners as editors

B. Approval of 2022 Meeting Dates

- The 2022 meeting dates were approved as presented and will be uploaded to the Commissions website

5. ADJOURNMENT

The next meeting of the Preservation Commission is scheduled for **January 11, 2022**.

Staff Reports
Design Guidelines Update



Preservation Commission

Historic Design Guidelines - Proposed Outline



Evanston Lighthouse and Harley Clarke Mansion

Statement of Purpose

- Purpose and Goals

The purpose of the Historic Design Guidelines (HDG) is to provide the applicant of a Certificate of Appropriateness (COA) with the design guidelines relative to the standards for review of alteration, and construction as listed in the Preservation Ordinance, Section 2-8-9 (A) and (B) with the intent to:

1. Expose the applicant to the design guidelines from the start of a project

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2. Encourage the applicant for engaging in early discussions and feedback from the Commission's staff
3. Facilitate the review process of projects seeking compliance with the standards for review
4. Assist applicants to submit complete COA applications and address properly the standards for review while using the design guidelines
- ◆5. Provide the Commission with the tools for reviewing COA applications while addressing the standard for review for a successful outcome for the applicant

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● Organization

- The Design Guidelines are organized in a way that allows the user direct access to the section that is of interest or applicable to the particular activity seeking a Certificate of Appropriateness (COA).

Below are the sections

- Guidelines for alterations
- Guidelines for additions
- Guidelines for new construction
- Guidelines for site elements
- ◆ Guidelines for existing materials

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● Applicability

- The Design Guidelines are meant to provide the applicant for a COA information on the appropriate design and materials affecting a designated landmark or a buildings located within a local historic district, and when the proposed activity requires a permit and when is visible from the public way (i. e. the street, alley). Fences, trees, and landscaping, are not considered permanent obstructions to the view from the public way.

● Contributing vs non-contributing structures

Within the local historic districts (Lakeshore, Ridge, Northeast, and WCTU) are designated landmarks and buildings that are classified as contributing or non-contributing to the respective historic district. This classification has evolved from the original Federal historic district nominations in 1980 (Lakeshore) and 1983 (Ridge), where contributing structures were identified as those that represented a particular building style within the period of significance of the respective historic district, and had integrity (meaning that the building maintained a high degree of its original design and materials).

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Non-contributing buildings were those buildings that their date of construction is outside the period of significance (building constructed after WWII) and or the integrity of a building was compromised with non-compatible alteration(s) or addition(s), or its materials were removed, altered or not maintained, and were beyond repair or restoration.

- ◆ In this document, buildings within a local historic district will be classified as contributing when non-compatible alterations, additions, and materials can be reversed to comply with the standards for review per

the design guidelines. Also, when previously removed original sections of a building are reconstructed following the original plans or other visual means such as photos, whenever possible.

- Landmark designation
- Landmark nominations when properly documented will follow the Preservation Ordinance, Section 2-8-4 Criteria for Designation (A) meeting any one or more of the criteria 1- 10. In regard to Integrity, paragraph (B), the Commission shall relax the requirement of Integrity when integrity can be reversed in accordance to the standards for review and per the design guidelines.
- Surveys and National Register Nominations
 - Link to these on HP website
- Policy and Regulatory Framework
 - Preservation Ordinance
 - (Link to Preservation Ordinance)
https://library.municode.com/il/evanston/codes/code_of_ordinances?nodeId=TIT2BOCO_CH8HI_PR
 - Comprehensive General Plan
 - Commissions Long-Range Work Plan (in progress)
- Standards for review of COA (List all and include example of compliance)

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● Standards for alteration

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● 2-8-9. STANDARDS FOR REVIEW OF APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS.

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● (A) Standards for Review of Alteration. In considering an application for a certificate of appropriateness for alteration the Commission shall consider only the following general standards, specific design guidelines, if any, accompanying the ordinance designating the landmark or district, and the standards included in Subsection (E) of this Section. Nothing in this Chapter shall be construed to prevent ordinary maintenance or repairs that do not involve a change of design, material, or the exterior architectural appearance of a property, structure, and site or object as long as the prescribed review procedures are followed.

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- 1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
- 2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
- 3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- 5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.

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- 6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
- 7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
- 8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- 9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
- 10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.



- Standards for construction

- (B) Standards for Review of Construction. In considering an application for a certificate of appropriateness for new construction and additions to existing buildings, the Commission shall consider only the following general standards, specific design guidelines, if any, accompanying the ordinance designating the landmark or district, and the standards included in Subsection (E) of this Section:
- 1. Height. Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
- 2. Proportion of facades. The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
- 3. Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
- 4. Rhythm of solids to voids in facades. The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
- 5. Rhythm of spacing and structures on streets. The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
- 6. Rhythm of entrance porches, storefront recesses and other projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
- 7. Relationship of materials and texture. The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
- 8. Roof shapes and roof mounted equipment. The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

- 9. Walls of continuity. Facades and property and site structures, such as masonry walls, fences and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.
- 10. Scale of a structure. The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.
- 11. Directional expression of facades. A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.
- 12. Original qualities. For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.
- 13. Archaeological resources. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.
- 14. Innovative design. Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
- 15. New additions. Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- 16. New construction. In considering new construction such as a new free standing structure, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.
- 17. Signs. Any sign that is readily visible from a public street shall not be incongruous to the historic character of the landmark or the district. Recommendations regarding signs are advisory only and may be referred to DAPR.
 - Standards for demolition
 - Standards for relocation
- Understanding the review process (flow chart and matrix of major vs minor work)
 - Administrative review and examples
 - Administrative reviews include COA applications for fences (new or replacement in kind), roofs (replacement in kind), windows (restoration or replacement in kind), building materials (restoration or replacement in kind).
 - [Example(s) here]
 - Commission review and examples
 - The Commission reviews COA applications for the following activity:
 - Alterations:
 - Alterations to a building that are not replacements in kind (such as material, design, and size).
Staff is authorized to review alterations that would meet the standards for review.
 - Additions:

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Construction of additions that expand the footprint of a building or additions over existing walls (such as second-story additions)

New Construction:

Construction of new structures such as primary structures (i.e. a new residential building), and secondary structures (i. e. a garage)

- [Example (s) here]

- Expectations for review. What is the process and timeline

The applicant is required to submit a complete COA application that includes the following:

- A plat of survey and a site plan showing the existing condition(s) and proposed activity
- A full but concise description of the proposed activity
- Photos of the existing condition(s)
- Plans and elevation drawings to scale with dimensions and showing the materials of the proposed activity
- A 3D drawing of the proposed activity in context with the existing conditions of the site and building(s) on the lot
- A completed Zoning analysis prepared by City staff
- Timeline:
- The review process can take 2-3 months after the submission of a complete application. The Commission may ask an applicant to comeback with revised plans at the next available meeting. In some instances minor revisions to plans submitted to the Commission may be approved by City staff, when the Commission finds it appropriate to do so.

- Appeal

- If the Commission were to render a decision to deny a COA, the applicant can submit an appeal application to the City Council within 30 days from the date of the denial (Section 2-8-8 (G) Appeals)

- Principles of preservation

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Why preserve?

- General introduction of the power of preservation and connection to climate resilience and affordability goals

A guide to Evanston's Historic Resources

- Context statement
- History of preservation program
- Historic Districts
- Landmarks
- Predominate architectural styles
- Notable architects and allies in art

Using the guidelines

(A brief statement about using the guidelines)

- Guidelines for alterations

- Documentation

- Photo and dimensional documentation
- Salvage materials and components

- Massing and Form

- Minimize visual impact
- Context
- Preferred location
- Orientation
- Roof Form
- Transitions
- Subordination
- Dormers
- Scale
- Height
- Materials
 - Complementary materials
 - Imitation or synthetic/composite materials

- Details

- Context

- Architectural details
 - Contemporary interpretations
 - Alternative materials
- Mechanical Equipment
 - Visibility
 - Screening
- Accessibility
 - Avoid Damage
 - Doors and openings
 - Materials
 - Massing and details
 - Screening

- Guidelines for additions

- Documentation
 - Photo and dimensional documentation
 - Salvage materials and components
- Massing and Form
 - Minimize visual impact
 - Context
 - Preferred location
 - Orientation
 - Roof Form
 - Transitions
 - Subordination
 - Dormers
 - Rooftop additions
 - Scale
 - Height
 - Materials
 - Complementary materials
 - Imitation or synthetic/composite materials
- Details
 - Context
 - Architectural details
 - Contemporary interpretations

- Alternative materials
- Mechanical Equipment
 - Visibility
 - Screening
- Accessibility
 - Avoid Damage
 - Doors and openings
 - Materials
 - Massing and details
 - Screening

- Guidelines for new construction

- Orientation
 - Setback
 - Orientation to Street
- Massing and Form
 - Height and scale
 - Transitions
 - Foundation and floor heights
 - Roof form
 - Fenestration
 - Facade configuration
 - Building to lot ratio
- Materials and Textures
 - Complementary materials
 - Alternative materials
 - Inappropriate materials
 - Roof materials and texture
 - Imitation or synthetic/composite materials
 - Architectural details
- Innovative design
- Garages and outbuildings including ADU's
 - Massing, form and articulation
 - Building Size
 - Character
 - Materials

- Windows and Doors
- Overhead doors
- Orientation
- Setback
- Height and roof form
- Mechanical equipment
 - Location
 - Visibility
 - Screening
- Energy Efficiency
 - Solar collection
 - Materials
 - Building Elements
 - Roof Slope

- Guidelines for site elements

- Environment
 - Identification of significant features
 - Heritage Trees
 - Street Trees
 - Heritage Landscapes/Gardens
 - Vegetation
 - Preservation and protection
 - Topography
- Fences and Walls
 - Repair and replacement
 - Design
 - Location
 - Height
 - Materials
 - Screening

- Guidelines for existing materials

(A brief general statement pointing readers to maintenance guidelines document)

References

(All the good NPS stuff)

Glossary

(Perhaps there is a good online glossary to link to instead of reinventing the wheel)

Staff Reports
Long-Range Work Plan Update