



AGENDA
Preservation Commission
Tuesday, May 10, 2022
Lorraine H. Morton Civic Center, Room 2800 7:00 PM

1. CALL TO ORDER/DECLARATION OF A QUORUM

2. OLD BUSINESS

A. 1018 Greenwood Street - Ridge Historic District - 22PRES-0032

4

David Salzman, owner, submits for a Certificate of Appropriateness to construct a second-story addition atop an existing single-story rear addition, construct a single-story attached garage addition with rooftop deck, and alter the structures front elevation portico.

Applicable Standards: Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

Continued to June 14, 2022 to allow the applicant additional time to incorporate comments and provide revisions.

[1018 Greenwood Project Description](#)

3. NEW BUSINESS

A. 2330 Orrington Avenue - Northeast Historic District - 22PRES-0051

5 - 19

Michael Hauser, architect, submits for a Certificate of Appropriateness to demolish a rear volume wooden stoop, alter the fenestration on a single-story circa 1990s rear addition and construct a single-story bay addition at the principle structures rear volume.

Applicable Standards: Alteration [1-10]; Construction [1-8; and, 10-15].

[0. Project Description](#)

[1. 2330 Orrington Staff Report](#)

[2. 2330 Orrington COA Application+Drawings](#)

B. **1217 Michigan Avenue - Landmark - Lakeshore Historic District - 22PRES-0049** 20 - 46

Garry Shumaker, architect, submits for a Certificate of Appropriateness to construct a two-story, detached frame garage in the rear-yard.

Applicable Standards: Construction [1-8; and, 10-16].

[0. Project Description](#)

[1. 1217 Michigan Staff Report](#)

[2. 1217 COA Application+Drawings](#)

[3. Significance Statement](#)

[4. Survey Sheet](#)

C. **2418 Park Place - Landmark - 22PRES-0050** 47 - 74

Patrick Jean-Jacques, owner, submits for a Certificate of Appropriateness to demolish a single-story greenhouse addition and two-story circular stair at the rear of the property, alter the principle structures rear volume fenestration, construct a two-story rear-porch addition and stairway, and construct a wrought-iron railing at the existing front stoop.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-8; and, 10-15].

[0. Project Description](#)

[1. 2418 Park Place Staff Report](#)

[2. 2418 Park COA Application](#)

[3. 2418 Park COA Drawings](#)

[4. 2418 Park ZoningAnalysis Summary](#)

D. **548 Judson Avenue - Lakeshore Historic District - 19PRES-0262** 75 - 113

Maria Nanos, owner, seeks approval of substantial modifications to a previously approved Certificate of Appropriateness, 19PRES-0262, for construction of a new two-story single-family residence and detached two-story coach house and garage. Alterations primarily include changes to the structures roof form, pattern of fenestration including window locations, sizes, and operating style, exterior cladding, and front-porch dimension and detailing.

Applicable Standards: Construction [1-8; and, 10-16]

[0. Project Description](#)

[1. 548 Judson HPC Staff Report](#)

[2. 548 Judson COA Application](#)

[3. 548 Judson COA Drawings](#)

[4. 548 Judson Submitted PostPermit Revisions](#)

[5. 548 Judson February2020 MeetingMinutes Excerpt](#)

4. APPROVAL OF MEETING MINUTES

A. Minutes from March 15, 2022

To be emailed to members of the Commission and posted as a draft on the Commissions website under the March 15, 2022 Minutes Column

B. Minutes from April 12, 2022

114 - 119

[0. Title Page Separator](#)

[2. 20220412_HPC_Minutes_DRAFT](#)

5. STAFF REPORTS

A. Long-Range Work Plan

Revisions to the plan are being incorporated and a final draft of the document will be reviewed by the subcommittee prior to review by the Commission.

B. Preservation Month Activities

Staff will provide information on preservation month activities planned throughout the community.

6. DISCUSSION (NO VOTE WILL BE TAKEN)

A. Downtown Heritage Resources

120 - 124

Staff recommends discussion around the potential for and value of an intensive survey of the downtown area. Survey and documentation efforts comprise in-field assessment and background research into the historical, cultural, and architectural significance of Evanston's heritage resources. Maintaining an active program in survey and documentation forms the foundation for effective community preservation planning.

[0. Title Page Separator](#)

[1. Downtown Discussion Memo](#)

[2. Downtown Map](#)

7. ADJOURNMENT

Order & Agenda Items are subject to change. Information about the Preservation Commission is available at: Preservation Commission Questions can be directed to Carlos Ruiz at 847-448-8687 or at cruiz@cityofevanston.org The city is committed to ensuring accessibility for all citizens; if an accommodation is needed to participate in this meeting, please contact the Planning and Zoning Division at (847-448-8687) 48 hours in advance so that arrangements can be made for the accommodation if possible. **Español** - La ciudad de Evanston tiene la obligación de hacer accesibles todas las reuniones públicas a las personas minusválidas o a quienes no hablan inglés. Si usted necesita ayuda, favor contacte a Carlos D. Ruiz de la Oficina de Planificación y Zonificación llamando al (847/448-8687) o cruiz@cityofevanston.org con 48 horas de anticipación para acomodar su pedido en lo posible

1018 Greenwood Street – Ridge Hist. Dist. - 22PRES-0032

David Salzman, owner, submits for a Certificate of Appropriateness to construct a second-story addition atop an existing single-story rear addition, construct a single-story attached garage addition with rooftop deck, and alter the structures front elevation portico.

Applicable Standards: Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

Continued to June 14, 2022 to allow the applicant additional time to incorporate comments and provide revisions.

**2330 Orrington Avenue
Northeast Historic District - 22PRES-0051**

Michael Hauser, architect, submits for a Certificate of Appropriateness to demolish a rear volume wooden stoop, alter the fenestration on a single-story circa 1990s rear addition and construct a single-story bay addition at the principle structures rear volume.

Applicable Standards: Alteration [1-10]; Construction [1-8; and, 10-15].



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 2330 Orrington Avenue – 22PRES-0051
Date: May 3, 2022

Public Notice

2330 Orrington Avenue - Northeast Historic District - 22PRES-0051

Michael Hauser, architect, submits for a Certificate of Appropriateness to demolish a rear volume wooden stoop, alter the fenestration on a single-story circa 1990s rear addition and construct a single-story bay addition at the principle structures rear volume.

Applicable Standards: Alteration [1-10]; Construction [1-8; and, 10-15].

Construction Period:

1908

Style:

Craftsman

Architect of Record:

Ira C. Saxe

Condition:

Good

Integrity:

Good

Status:

Contributing

Setting:

Located in the north central portion of the Northeast Local Historic District on the west side of Orrington Avenue between Colfax Street to the north and Dartmouth Place to the south, 2330 Orrington is a two-story Craftsman styled residence constructed in 1908. The home is immediately south of the former Kendall College campus. Surrounding homes are an eclectic mix of high-style homes on large lots constructed predominately between 1910 and 1930.

Significance:

The structure was designed by architect Ira C. Saxe. Little is known Saxe although he was active throughout the Chicago Region and designed a handful of homes in Evanston including 2326 Orrington Avenue, 806 Milburn Street, and 810 Milburn Street in the Northeast District as well as 1221 Forest Avenue, 418-424 Hinman Avenue, 1045-1049 Hinman Avenue, and 90 Kedzie Street in the Lakeshore Historic District. Saxe practiced later in his career with his son, who would form a partnership later known as Zimmerman, Saxe, and McBride.

The Craftsman Style derived from the Arts and Crafts Movement of the late 19th century – a movement that valued hand craftsmanship, natural materials and simplicity in design – rejecting Victorian era excesses and mass-production of later revival styles. Craftsman styled houses feature a mix of wood, clapboards, shingles, stucco, and sometimes half-timbering. If stone or brick is used, it is typically laid to look more rustic, with rough cuts and uneven application. Roofs are commonly low-slung hipped or gable roofs with deep overhands supported by wood brackets and knee-braces. Exposed rafter tails are also a common feature. In one and one-half story versions, the attic space is made usable with dormers or windows set in the gable ends. Wide front porches are common and are often supported by rustic brick or stone piers. Windows are usually double hung or casement types with multi-paned or diamond-paned glass. The Craftsman Style does not have its own building form but was a style applied to common building types such as bungalows and the American Foursquare and derivations of the American Foursquare. The style was popularized later on by national design plan books and magazines such as *The Craftsman*, published by Gustav Stickley between 1901 and 1916. Through high-style Craftsman homes are not uncommon, it was generally promoted as an affordable, middle-class style for Americans, although these were commonly, and ironically, mass-produced. This is likely the case for the home at 2330 Orrington, which retains good integrity and appears in good overall condition despite minor alterations and additions overtime.

Proposal

The architect proposed to alter the homes circa 1990s rear volume single-story addition. Alterations include removal of the rear wooden porch or stoop, altering the rear additions fenestration and entry location, and constructing a small bay addition to accommodate conversion of the space as a mud room.

The proposal is zoning compliant.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.
10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.
11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.
12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.
13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.
14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and

such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Application for Preservation Review of Certificate of Appropriateness (COA)

Binding Review of Certificate of Appropriateness (COA) &

Window & DOOR Replacement

Thank you for submitting your COA application for Preservation Review. This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts; when a permit is required and when visible from the public street or the public way. To process your application, submit no less than **15 business days** before the next scheduled Preservation Commission meeting the following: one **(1) hard copy** of the fully completed application and attachments including: plat of survey or site plan, floor plans, and elevation drawings of the existing and proposed windows/DOORS (not to exceed 11" x 17" paper size); and one **(1) digital copy in PDF format of the same**.

The Preservation Commission meetings are on the **second Tuesday** of the month. All required materials must be to scale with dimensions, and in context with the principal structure. The submission deadline of the completed COA application is **15 business days** prior to the next scheduled meeting date; this allows the City staff's review of the application to provide the applicant feedback on the completeness of the COA application. **Incomplete applications will not be accepted.** Refer to the **Supplemental Information**, pages (i - iv) below.

Refer to Section 2-8-9 Standards for review of alteration (A) 6 to determine if the window(s) or DOOR(s) meet the standards for replacement.

Applications can be submitted in person, by regular mail, electronically via email at cruiz@cityofevanston.org or in a flash drive to the Preservation Coordinator, City of Evanston, Community Development Department, Planning & Zoning Division, Lorraine H. Morton Civic Center, 2100 Ridge Avenue, Room 3201, Evanston, Illinois 60201.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided before or on the deadline. Preservation Commission meets on the **second Tuesday** of the month [see schedule on page (v) below].

Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

For more information call: Carlos Ruiz at (847) 448-8687 or email: cruiz@cityofevanston.org

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 2330 Orrington Avenue	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Allison and Stephen Hackney	Address: 2330 Orrington Avenue
City: Evanston State: Illinois Zip: 60201	Phone: (773) 387-3088 Email/Fax: allihackney@gmail.com
3) Architect's Name: Hauser Architects	Address: 1715 Chancellor Street
City: Evanston State: Illinois Zip: 60201	Phone: (847) 707-5129 Email/Fax: hauserarch@gmail.com
4) Contractor's Name: Elmshire Builders	Address: 673 Academy Drive
City: Northbrook State: Illinois Zip: 60062	Phone: 847 748-2048 Email/Fax: eric@elmshire.com
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;	
If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input checked="" type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	

SECTION B. Checklist for Window/DOOR Materials/Style/Components/Features—Check all that apply.

Existing	Proposed	FRONT FACADE	Existing	Proposed	SIDE FAÇADE (L/R)	Existing	Proposed	REAR FACADE
		Window Type			Window Type			Window Type
<input type="checkbox"/>	<input type="checkbox"/>	Double Hung	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Double Hung	<input type="checkbox"/>	<input type="checkbox"/>	Double Hung
<input type="checkbox"/>	<input type="checkbox"/>	Casement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Casement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Casement
<input type="checkbox"/>	<input type="checkbox"/>	Awning	<input type="checkbox"/>	<input type="checkbox"/>	Awning	<input type="checkbox"/>	<input type="checkbox"/>	Awning
<input type="checkbox"/>	<input type="checkbox"/>	Hopper	<input type="checkbox"/>	<input type="checkbox"/>	Hopper	<input type="checkbox"/>	<input type="checkbox"/>	Hopper
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Other: Triple Door
		Window Material			Window Material			Window Material
<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum
<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	Steel
<input type="checkbox"/>	<input type="checkbox"/>	Clad wood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clad wood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clad wood
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl	<input type="checkbox"/>	<input type="checkbox"/>	Vinyl	<input type="checkbox"/>	<input type="checkbox"/>	Vinyl
<input type="checkbox"/>	<input type="checkbox"/>	Composite	<input type="checkbox"/>	<input type="checkbox"/>	Composite	<input type="checkbox"/>	<input type="checkbox"/>	Composite
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		Window Muntins			Window Muntins			Window Muntins
<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing
<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights
<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights
<input type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		DOOR Type			DOOR Type			DOOR Type
<input type="checkbox"/>	<input type="checkbox"/>	Single	<input type="checkbox"/>	<input type="checkbox"/>	Single	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Single
<input type="checkbox"/>	<input type="checkbox"/>	French	<input type="checkbox"/>	<input type="checkbox"/>	French	<input type="checkbox"/>	<input type="checkbox"/>	French
<input type="checkbox"/>	<input type="checkbox"/>	Sliding	<input type="checkbox"/>	<input type="checkbox"/>	Sliding	<input type="checkbox"/>	<input type="checkbox"/>	Sliding
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		DOOR Material			DOOR Material			DOOR Material
<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Metal
<input type="checkbox"/>	<input type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>	Clad
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		DOOR Muntins			DOOR Muntins			DOOR Muntins
<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing
<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights
<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights
<input type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:

Section C: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

The proposed bay and reconfiguration of the rear entry door will provide the family with a much needed closet and mudroom area. This is the family's primary entrance.

Existing double-hung clad Kitchen windows are proposed to be replaced with clad casement windows.

An existing, west-facing, clad, triple door that currently provides access to a small deck (to be removed) is proposed to be replaced with a triple casement window of the same unit dimensions as the existing Great Room windows that also face west.

All work is taking place in a rear addition that went up in the 1990s.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> DOORs <input type="checkbox"/> Storm DOORs	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Restoration Window Style/Materials: Clad, 'Marvin' Ultimate series casement windows. DOOR Style/Materials: Storm Window Style/Materials: Storm DOOR Style/Materials:		

3) Applicant's Signature: _____ Print Name: Michael Hauser, Hauser Architects	Date: 04/18/2022
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NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

SUPPLEMENTAL INFORMATION
COA Application Checklist

Submit one (1) hard copy and a digital copy in PDF format of the same as follows:

- APPLICATION FOR PRESERVATION REVIEW** - To process your application, submit one **(1) completed hard copy** of the application and attachments including: site plan, floor plans, elevation drawings **SHOWING THE LOCATION** of the proposed alteration (not to exceed 11" x 17" paper size), and **one (1) digital copy in PDF format**. **Deadline** is no less than 15 business days prior to the next scheduled Preservation Commission meeting (second Tuesday of the month). Completed applications must be collated and the PDF must be correctly oriented for the viewer (vertical or horizontal orientation).
- ELEVATIONS/SITE PLANS/DRAWINGS** to scale including dimensions (not to exceed 11" x 17" paper size).
- CHANGES TO THE EXTERIOR INCLUDING CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS - SEE ADDITIONAL INFORMATION REQUIRED FOR WINDOW/DOOR CHANGES (BELOW)**

Provide an **exterior elevation** of each façade involved, showing the existing and proposed appearance (preferably on the same sheet for each facade) with the new items/areas clearly identified.

- Site plan with the existing footprint of the primary structure(s) clearly showing the side(s) being altered.
- Floor Plans** – Provide existing and proposed floor plans to scale including dimensions.

INFORMATION REQUIRED FOR CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS (Use same example for windows on page (iii) below for DOORS, storm windows, and storm DOORS)

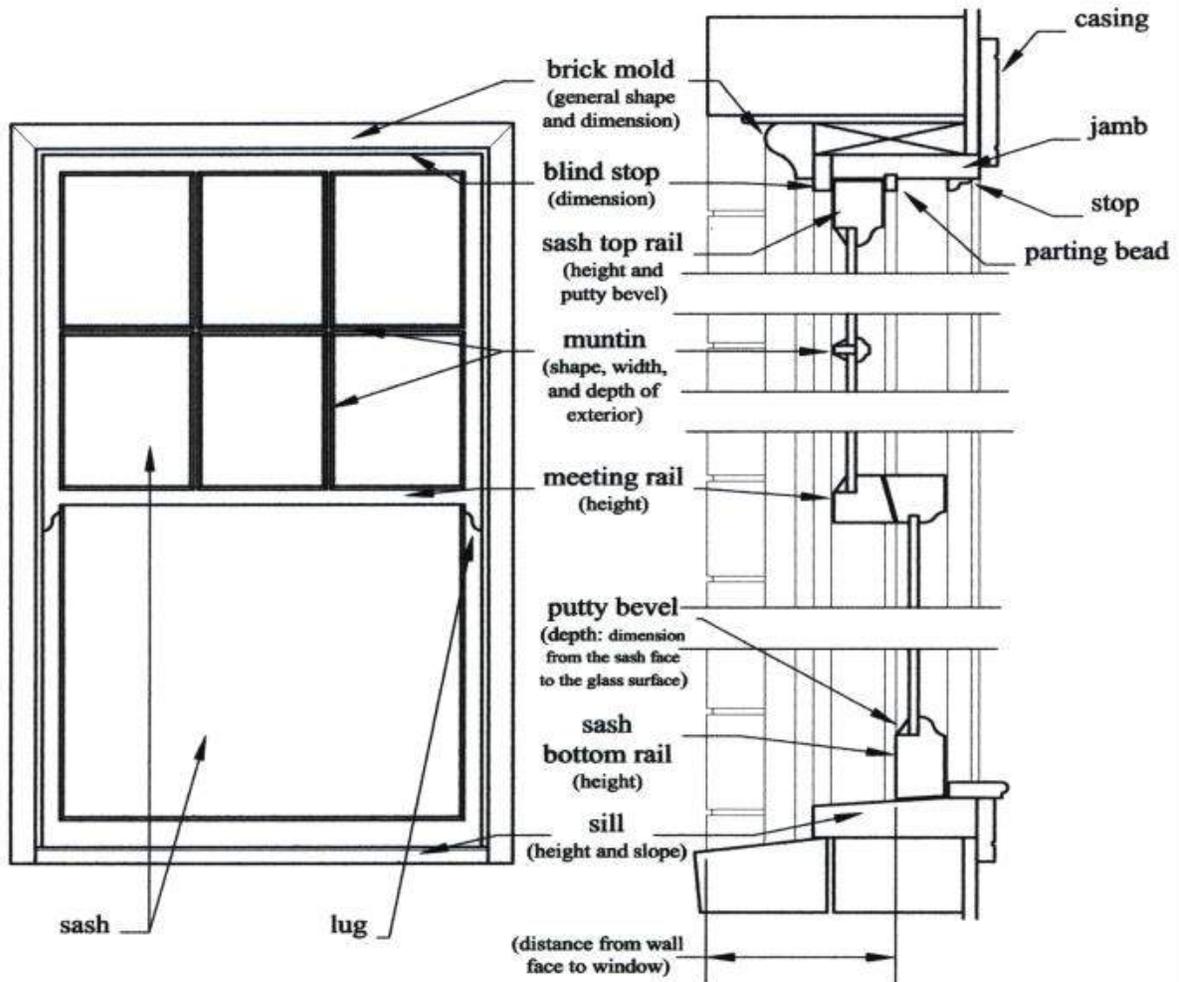
- Clear photographs of existing windows. When windows are boarded over, remove boards from typical windows in order to take photographs.
- Drawings showing the elevation and horizontal and vertical sections of existing historic windows/DOORS. Include muntins, mullions, transoms, and other window/DOOR components (see examples below). For historic steel industrial windows/DOORS that contain operable units, drawings must include this feature.
- Drawings showing the elevation and horizontal and vertical sections of proposed replacement windows/DOORS. In the case of a hung window, provide section drawings of both the upper and lower sash, including meeting rail. For replacement steel windows, include sections of both operable and fixed units. See note below regarding manufacturers' standard cut sheets.
- Drawings should be at the same scale and large enough to clearly show construction details. Scale should be provided, measurements noted, and materials indicated for the main components of the window/DOOR.
- Drawings of the existing historic window/DOOR should be accurate, based on field measurements. Examples of window drawings are shown below. Add the dimensions of existing windows/DOORS and proposed windows/DOORS.
- Replacement windows/DOORS must accurately replicate the appearance of existing historic windows. Manufacturers' standard cut sheets usually **are not** an adequate substitute for detailed drawings since they are not drawn specifically for the proposed window/DOOR replacement and do not show custom applications or installation details required for the project. ***In small projects where windows/DOORS are being replaced and the historic or existing window/DOOR is simple in design, manufacturers' standard cut sheets may be substituted for actual section drawings of the proposed window/DOOR provided there is sufficient detail for review.***
- Window/DOOR sections must show the profiles of muntins, meeting rails, sash, frames, moldings, and other features. Construction details must be apparent, including joinery. For all projects, the window's relationship to the existing wall plane must also be provided for both the existing historic windows/DOORS, when present, and the proposed replacement window/DOOR.

Meeting dates are subject to change

USE THIS ILLUSTRATION AS AN EXAMPLE TO SHOW THE DETAILS OF EXISTING AND REPLACEMENT WINDOWS AND **DOORS**. ADD THE DIMENSIONS TO SCALE FOR YOUR APPLICATION

Wood Windows

The drawings below show the details required to document existing historic windows and any replacement windows. The specific information needed about each element is noted in parentheses. Note that the section drawing on the right shows the relationship of the window sash to the exterior wall plane.



Meeting dates are subject to change

CITY OF EVANSTON
Ord. 29-O-18 “Historic Preservation”

2-8-9. - STANDARDS FOR REVIEW OF APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS.

(A) Standards for review of alteration. In considering an application for a certificate of appropriateness for alteration the Commission shall consider only the following general standards, specific design guidelines, if any, accompanying the ordinance designating the landmark or district, and the standards included in Subsection (E) of this Section. Nothing in this Chapter shall be construed to prevent ordinary maintenance or repairs that do not involve a change of design, material, or the exterior architectural appearance of a property, structure, and site or object as long as the prescribed review procedures are followed.

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. ***Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.***
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. Submission

SUBMISSIONS DEADLINES FOR COA APPLICATIONS FOR 2020 PRESERVATION COMMISSION MEETINGS

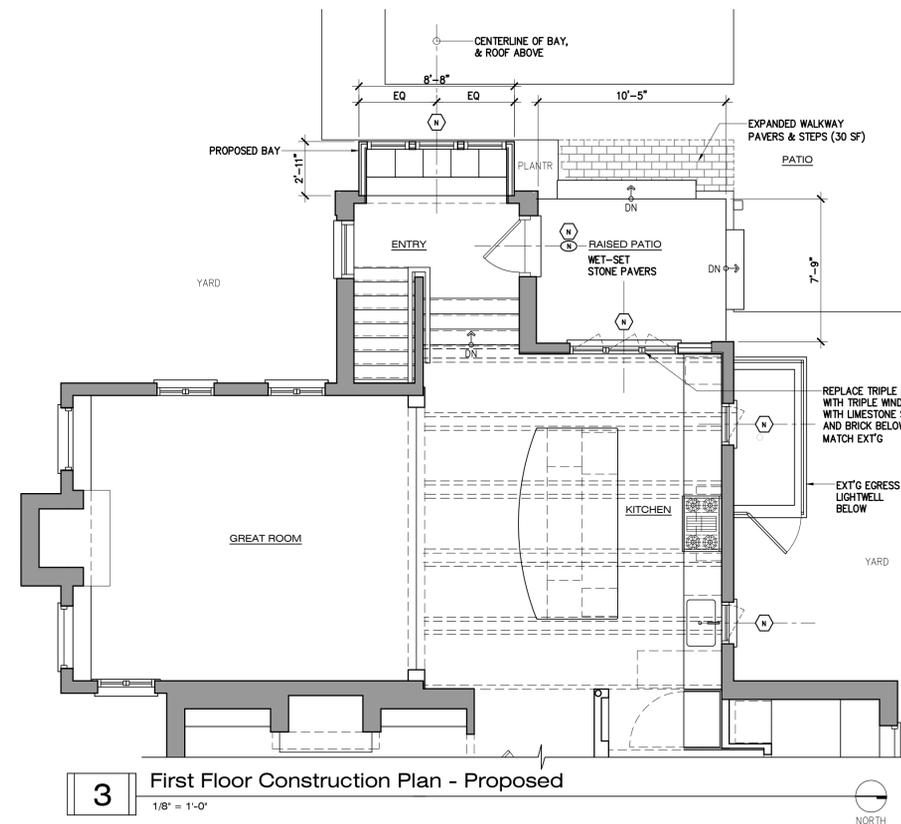
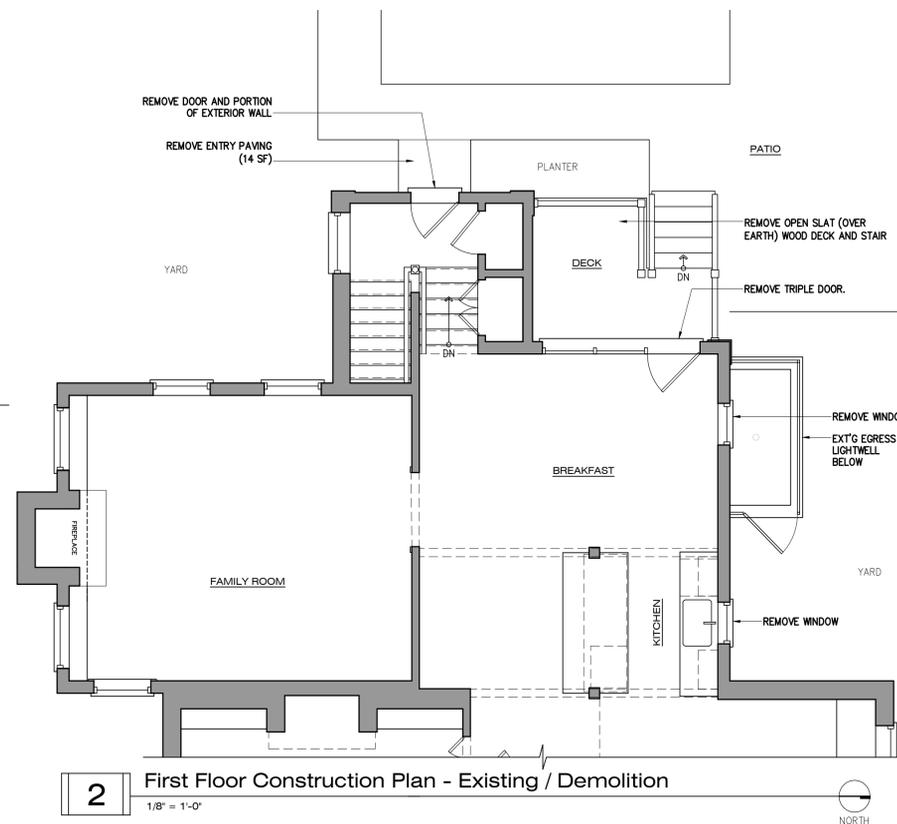
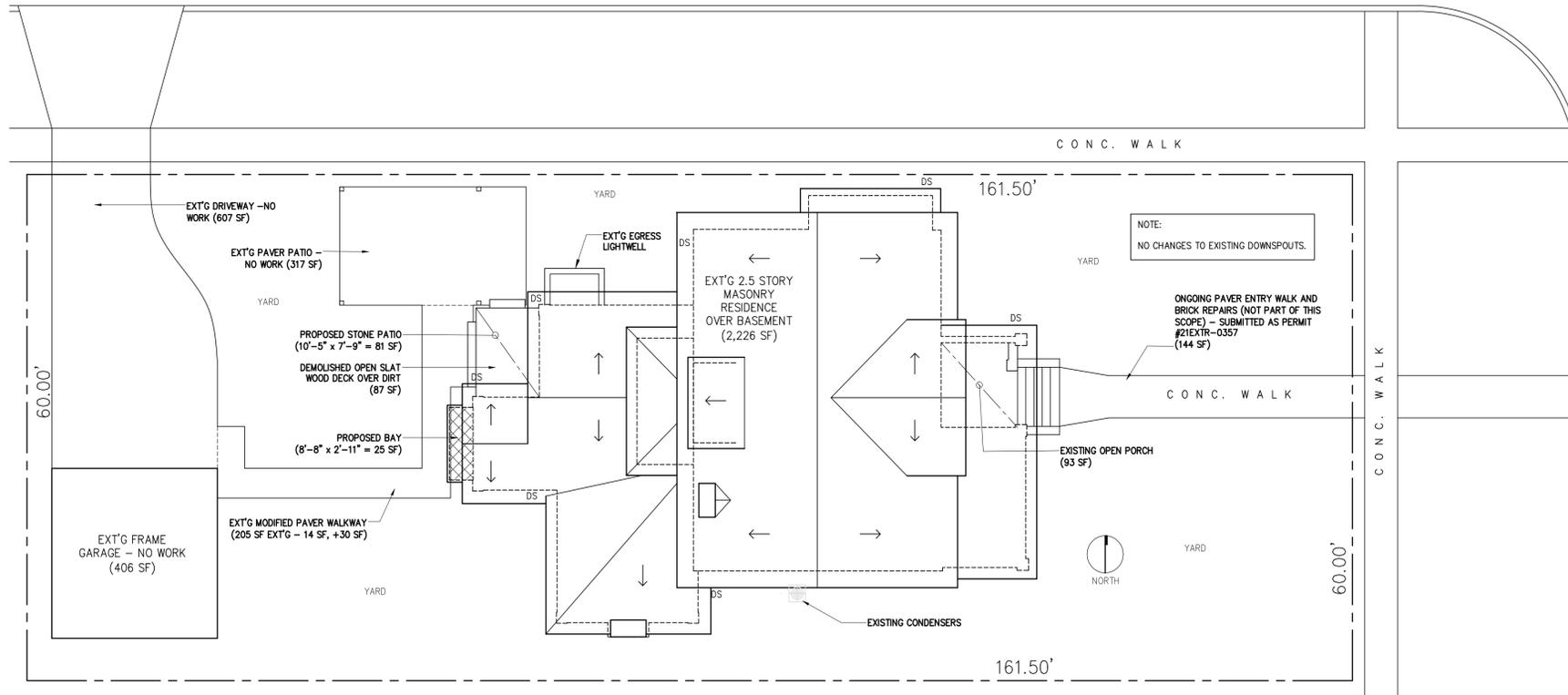
<u>Deadline</u>	<u>Meeting Date</u>	<u>Deadline</u>	<u>Meeting Date</u>
December 19, 2019	January 14, 2020	June 22, 2020	July 14, 2020
January 21, 2020	February 11, 2020	July 21, 2020	August 11, 2020
February 18, 2020	March 10, 2020	August 17, 2020	September 8, 2020
March 24, 2020	April 14, 2020	September 22, 2020	October 13, 2020
April 21, 2020	May 12, 2020	October 20, 2020	November 10, 2020
May 19, 2020	June 9, 2020	November 13, 2020	December 8, 2020

Meeting dates are subject to change



4 Existing Photos
no scale

COLFAX STREET



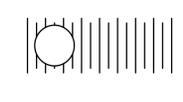
HAUSER
ARCHITECTS
847.707.5129
hauserarch@gmail.com
1715 Chancellor St.
Evanston, IL 60201

HACKNEY RESIDENCE
2330 Orrington Avenue
Evanston, IL 60201

CoE DoB: .
CONSTRUCTION: .
ZONING: 04.14.2022
HP: 04.18.2022
TSS REVIEW: .

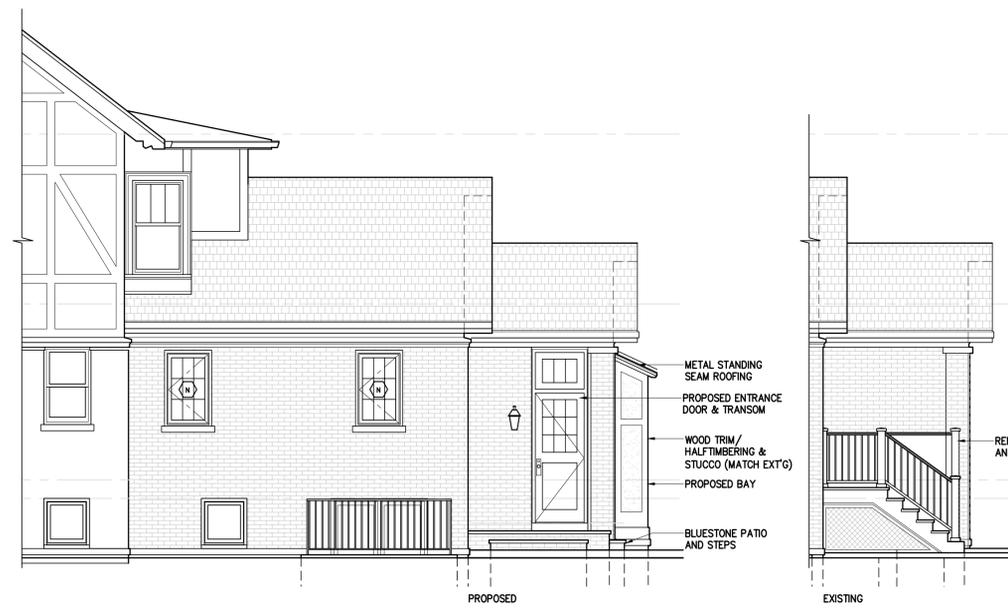
SP/EP

Site Plan
Ext'g / Proposed Plans



A-1

HAUSER
ARCHITECTS



3 North Elevation
 1/4" = 1'-0"



1 West Elevation - Existing
 1/4" = 1'-0"



4 South Elevation
 1/4" = 1'-0"



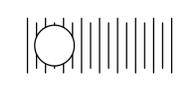
2 West Elevation - Proposed
 1/4" = 1'-0"

HACKNEY RESIDENCE
 2330 Orrington Avenue
 Evanston, IL 60201

CoE DoB: .
 CONSTRUCTION: .
 ZONING: 04.14.2022
 HP: 04.18.2022
 TSS REVIEW

EE / WS

Exterior Elevations
 Wall Sections



A-2

7100 N. TRIPP AVENUE
 LINCOLNWOOD, ILLINOIS 60712
 www.professionalsassociated.com

PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM NO. 184-003023

TEL: (847) 675-3000
 FAX: (847) 675-2167
 e-mail: pa@professionalsassociated.com

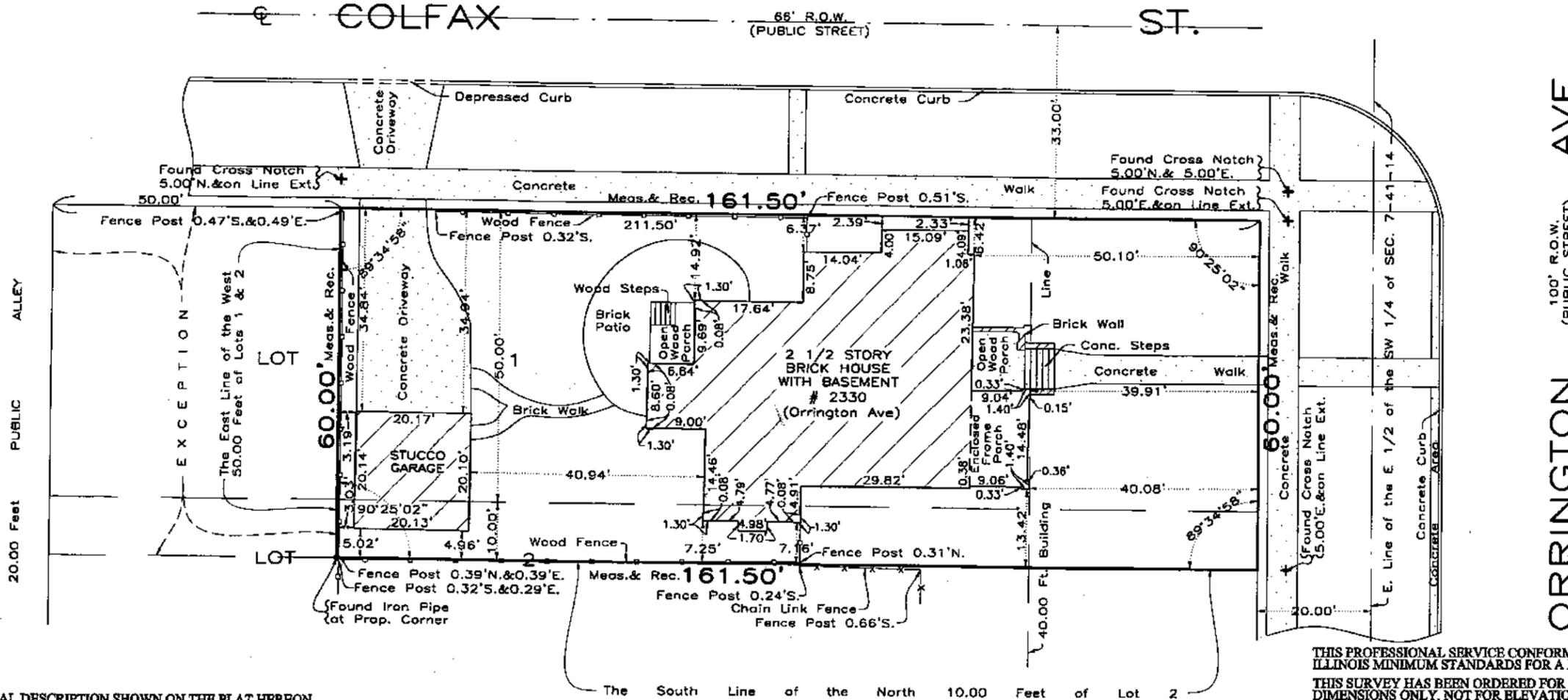
PLAT OF SURVEY

OF

LOT 1 (EXCEPT THE WEST 50 FEET THEREOF) AND THE NORTH 10 FEET OF LOT 2 (EXCEPT THE WEST 50 FEET THEREOF) IN BLOCK 7 IN ORRINGTON ADDITION TO EVANSTON IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 9,689.74 SQ. FT. = 0.222 ACRE.

COMMONLY KNOWN AS: 2330 ORRINGTON AVENUE, EVANSTON, ILLINOIS.



THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREBY DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

Order No. 91-19958
 Scale: 1 inch = 20 feet.
 Date of Field Work: August 3, 2010.
 Ordered by: KATHERINE S. O'MALLEY
 Attorney at Law

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

State of Illinois s.s.
 County of Cook

We, PROFESSIONALS ASSOCIATED SURVEY INC., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.
 Date: August 4, 2010.

Hilton E. Donaldson
 ILL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2010.
 Drawn by: JR



**1217 Michigan Avenue
Lakeshore Historic District – Landmark – 22PRES-0049**

Garry Shumaker, architect, submits for a Certificate of Appropriateness to construct a two-story, detached frame garage in the rear-yard.

Applicable Standards: Construction [1-8; and 10-16]



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 1217 Michigan Avenue – 22PRES-0049
Date: May 3, 2022

Public Notice

1217 Michigan Avenue – Lakeshore Historic District – Landmark – 22PRES-0049

Garry Shumaker, architect, submits for a Certificate of Appropriateness to construct a two-story, detached frame garage in the rear-yard.

Applicable Standards: Construction [1-8; and 10-16]

Construction Period:
1894

Style:
Shingle Style

Architect of Record:
Josiah C. Lane

Condition:
Good

Integrity:
Good

Status:
Landmark designated; Contributing

Setting:
Located in the east central portion of the Lakeshore Historic District on the east side of Michigan Avenue between Hamilton Street to the south and Burnham Place to the north, 1217 Michigan Avenue is a two-story Shingle styled residence constructed in 1894 by early Evanston architect Josiah C. Lane.

The block is bisected by Stockholm Place Park, an expansive central parkway with large mature shade trees. Surrounding properties are an eclectic mix of styles, vintages, and residential densities. The property immediately north is an international style residence

which was the longtime home of significant regional architect and Evanston resident David Haid (1929-1993). The structure immediately to the south is a Landmark Alloway Wilmore three-story apartment complex designed in the Classical Revival style with prominent round bays. Additional significant resources include 222 Burnham Place, an expansive Landmark designated Baumann & Cady Queen Anne, and 225 Hamilton, a Landmark designated Pond & Pond Shingle-Style estate.

Significance:

The structure was designed by architect Josiah C. Lane. Little is known of Lane other than he was a prolific architect in late 19th Century Evanston, designing 14 homes in the Lakeshore District, four of which are designated Landmarks. The home is a refined example of the Shingle Style and exhibits excellent integrity. Notably, the two-story addition at the south elevations east volume was designed in 1918 by prominent Evanston architects Talmadge and Watson.

Significant extant features include: side gambrel roof; eyebrow dormer; tall vertically accentuated gambrel roof dormers with blind round arches; shed roof dormer with divided bay garland panel between two double-hung windows; fish scale shingles; recessed entry at north end of façade with paneled wood door; one-story south side window bay; three-sided bay under porch; historic 1/1 and 8/1 wood windows on front and side elevations; north side Palladian window on gable wall; front window with leaded glass transom under porch; double doors with leaded glass panels under porch.

The front porch columns appear to be replications of original in the Ionic order.

The Shingle Style is mostly found in New England. A uniquely American architectural style, Shingle-styled homes often incorporate features and elements of the Queen Anne style, such as projecting gables, wide porches, towers, and asymmetrical building forms and roof shapes. However, Shingle homes differ by the use of wood shingling as the primary wall and roof cladding material. Other attributes include dormers in curved, eyebrow and polygonal shapes; Palladian windows in the main gable bays; and arched or lancet ribbon windows. Several Shingle-styled homes exist in Evanston, including 17 Shingle Style homes within the Lakeshore Historic District, including 1217 Michigan.

Proposal

Previously proposed alterations to the principle structure as well as demolition of the proposed garage were approved under Certificate of Appropriateness 21PRES-0121. This approval also included a single-story attached garage and porte cochere which has been reconsidered due to denial of proposed Minor Zoning Relief.

The proposed detached two-story frame garage is located in the rear-yard, and the proposal is zoning compliant as proposed. Compared to the previous attached garage which necessitated 5' of separation from the south lot line, detached accessory structures are only required to have 3' of separation from adjacent lot lines, and 10' of separation from the same lots principle structure. Due to the location of the proposed detached garage, and no alley access for the block in question, the only elevations visible and under the purview of the Commission are the west, front elevation, as well as the south, side elevation.

Public Comment

Staff has met with residents from the adjacent property to the south who object to the proposal.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commission's discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.
10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.
11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

16. *New Construction.* In considering applications for new construction, such as a new freestanding structure, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

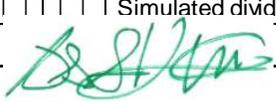
Section B: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input type="checkbox"/> Construction detached garage	<input type="checkbox"/> Residential <input type="checkbox"/> Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Demolition detached garage	<input type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear detached garage	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: Wood Clad Casement	<input type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input type="checkbox"/> New <input type="checkbox"/> Re-roof detached garage	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement detached garage	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material: Wood	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed			
<input type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Fences Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		Fascias, Soffits, Rakeboards, Trim Wood Metal Synthetic Material, Type: _____ Other: _____	<input type="checkbox"/>		<input type="checkbox"/>	Terraces, Patios, Decks Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: _____
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			Door Material Wood Metal Clad Other: _____		<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		Roofing Material Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Window Type Double Hung Casement Other: _____		<input type="checkbox"/>	<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): <input type="checkbox"/> <input type="checkbox"/> Air Conditioning Unit
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		Window Material Wood Aluminum Steel Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		Chimney Material Brick Stone Stucco Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Window Material Wood Aluminum Steel Other: _____		<input type="checkbox"/>	<input type="checkbox"/>	Muntins Not existing True divided lights Simulated divided lights
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		Gutters/Downspouts Copper Aluminum Galvanized Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Muntins Not existing True divided lights Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
4) Applicant's Signature: _____ 						Date: _____				
Print Name: _____										
Proceed to Section C if you are requesting a zoning or fence variation and/or special use . Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].										

Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS: Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts (Briefly explain below/attach a separate sheet if necessary).

B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation (Briefly explain below/attach a separate sheet if necessary).

C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98). (Briefly explain below/attach a separate sheet if necessary).

4) Applicant's Signature: _____
Print Name:

Date:

NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

Adopted October 19, 2004/Updated December 22, 2017

Page 4 of 4



**Zoning Analysis
Summary**

**April 15, 2022
22ZONA-0055**

Determination:

1217 Michigan Avenue R1 Single-Family Residential District Lakeshore Historic District Landmark	Compliant
---	-----------

Proposal:

New detached two-story accessory structure and associated rear-yard accessory uses including deck, pool, trellis, stone garden wall, and outdoor kitchen.

Zoning Section:

Comments:

6-8-2-5	The lot size is 10,500 sq.ft. where 7,200 square feet is the minimum required.
6-8-2-6	The lot width is 70' where 35' is the minimum required.
6-8-2-7	The proposed building lot coverage is 30.0% where 30% is the maximum permitted.
6-8-2-8 (C) 4.	The proposed rear-yard setback for the detached accessory structure is 3' where 3' is required (at the south lot line). Associated accessory uses in the rear-yard maintain the required 3' setback from all rear-yard lot lines. The proposed pool is 10' from any proximate lot line.
6-8-6-4	The proposed building height is two-stories and 28' where 28' is the maximum permitted. Height is measured from the existing grade at the front lot line and front walkway meet.
6-8-2-10	The proposed impervious surface ratio is 54.0% where 45% is the maximum permitted but 54% is the existing legally non-conforming condition which may remain.
6-4-6-2	The detached accessory structure maintains 10' of separation from the closest roof of the principle structure.

Additional Comments:

- Review and issuance of COA by the HPC is required.
- The proposed garden wall is reviewed as a fence or barrier and is within the 6' maximum height permitted.
- The proposed free-standing trellises are located in the side and year yards which are permitted locations. The structures do not exceed 14' in height.



Front Elevation - West



Side Elevation - South

Existing Garage Details

EXISTING GARAGE DOCUMENTATION	
DATE BUILT: 1921 - PER CITY OF EVANSTON SURVEY DATED 3/27/2012	
EXTERIOR MATERIALS:	
CONSTRUCTION:	WOOD FRAME
SIDING MATERIAL:	VINYL
ROOF MATERIAL:	ASPHALT SHINGLE
TRIM MATERIAL:	VINYL
WINDOW TYPE:	SLIDING
WINDOW MATERIAL:	VINYL
MUNTINS:	NOT EXISTING
DOOR MATERIAL:	CLAD



Side Elevation - North



Rear Elevation - East

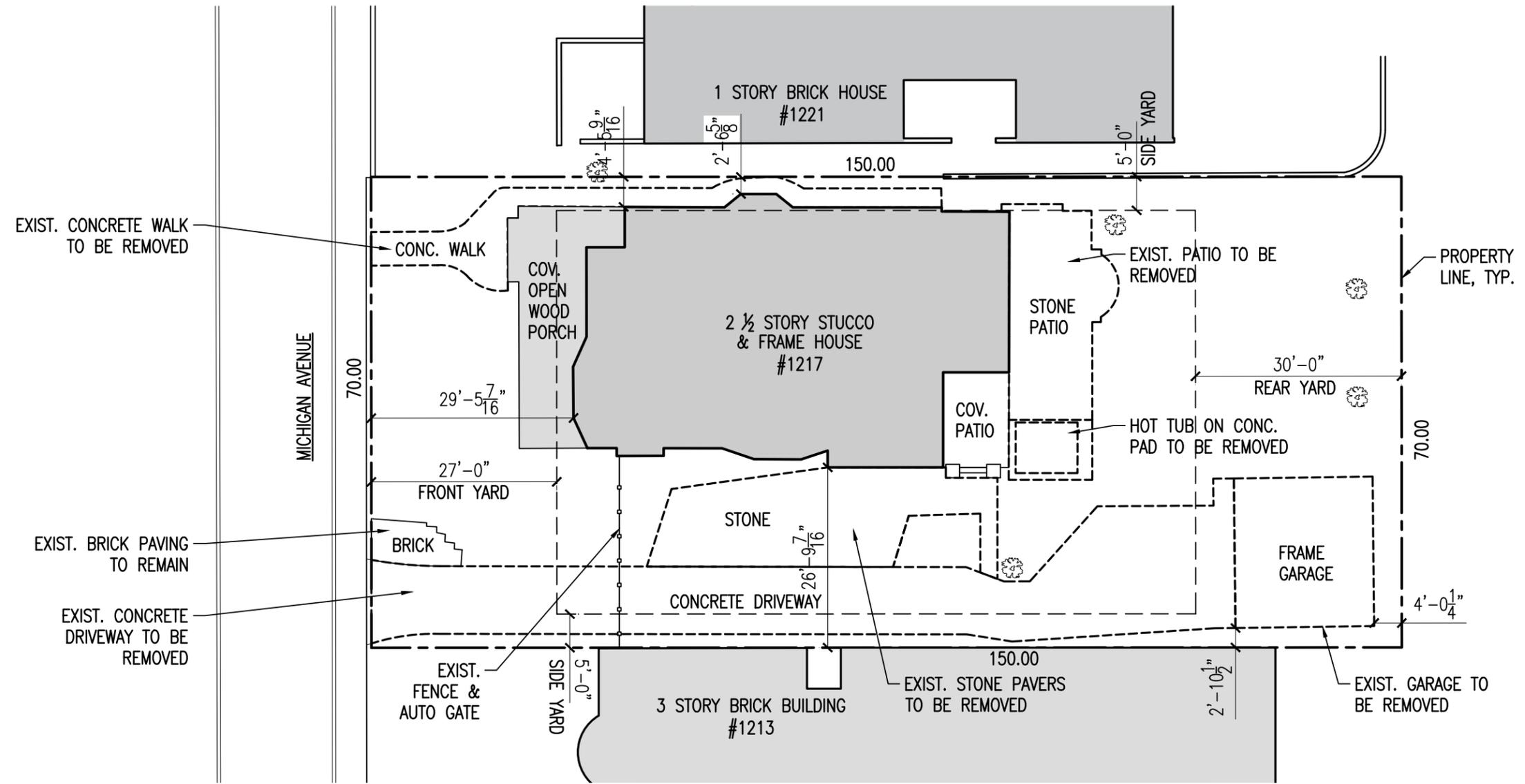


Existing Conditions

NICKELL RESIDENCE
1217 Michigan Ave.

04/19/ 2022

**SHUMAKER
DESIGN +
BUILD
ASSOCIATES**
795 WASHINGTON ST.
EVANSTON IL 60202
847.864.0595
SHUMAKERDESIGNASSOCIATES.COM



EXIST. CONCRETE WALK TO BE REMOVED

EXIST. BRICK PAVING TO REMAIN

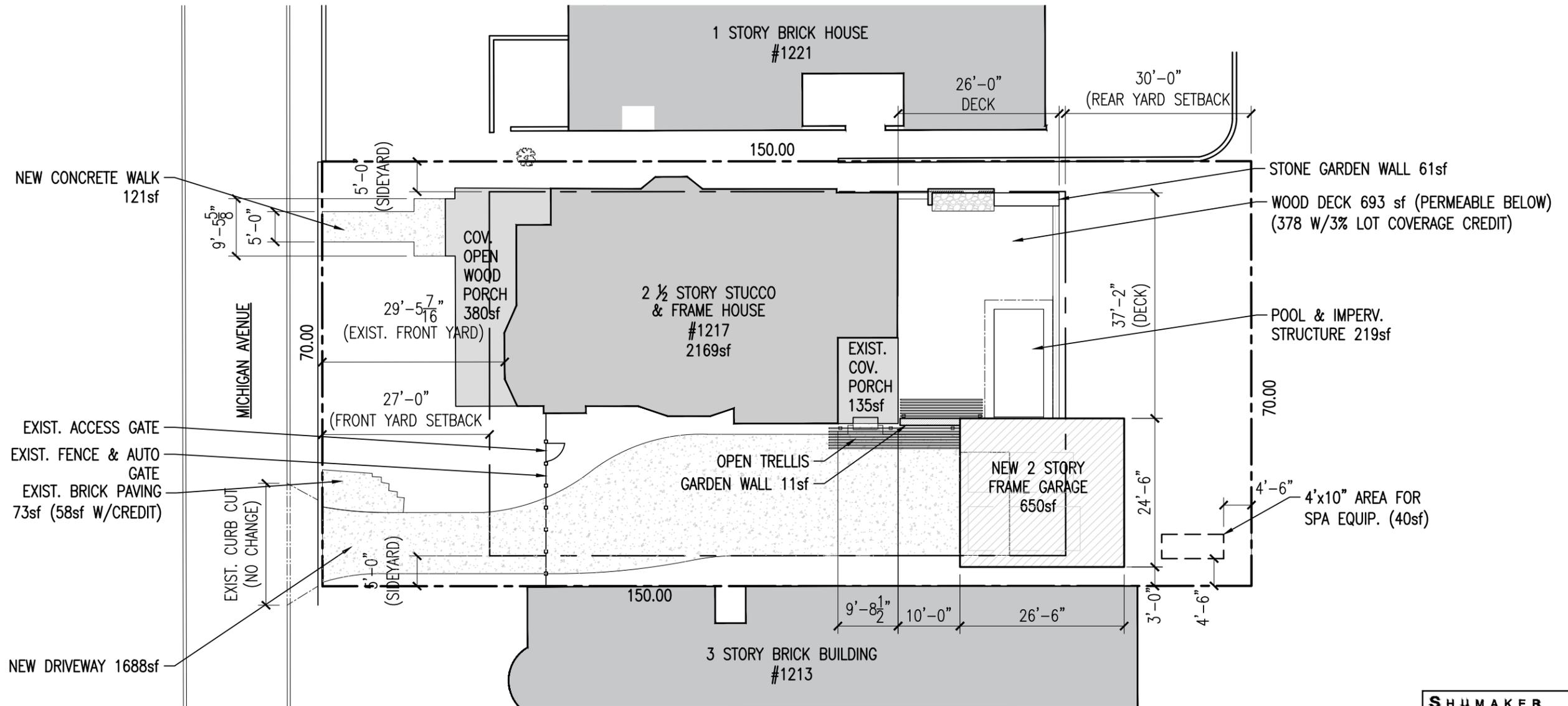
EXIST. CONCRETE DRIVEWAY TO BE REMOVED

1 Existing Site Plan NORTH
 SCALE: 1/16" = 1'-0"

NICKELL RESIDENCE
 1217 Michigan Ave.

04/19/2022

**SHUMAKER
 Design +
 BUILD
 Associates**
 705 WASHINGTON ST.
 EVANSTON IL 60202
 847.864.0595
 SHUMAKERDESIGNASSOCIATES.COM



NEW CONCRETE WALK
121sf

EXIST. ACCESS GATE
EXIST. FENCE & AUTO
GATE
EXIST. BRICK PAVING
73sf (58sf W/CREDIT)

NEW DRIVEWAY 1688sf

MICHIGAN AVENUE
9'-5 5/8"
5'-0"
5'-0" (SIDEYARD)
70.00
29'-5 7/16"
(EXIST. FRONT YARD)
27'-0"
(FRONT YARD SETBACK)
5'-0" (SIDEYARD)

COV.
OPEN
WOOD
PORCH
380sf

2 1/2 STORY STUCCO
& FRAME HOUSE
#1217
2169sf

EXIST.
COV.
PORCH
135sf

OPEN TRELLIS
GARDEN WALL 11sf

NEW 2 STORY
FRAME GARAGE
650sf

3 STORY BRICK BUILDING
#1213

26'-0"
DECK

30'-0"
(REAR YARD SETBACK)

STONE GARDEN WALL 61sf

WOOD DECK 693 sf (PERMEABLE BELOW)
(378 W/3% LOT COVERAGE CREDIT)

POOL & IMPERV.
STRUCTURE 219sf

4'x10" AREA FOR
SPA EQUIP. (40sf)

1 Proposed Site Plan NORTH
SCALE: 1/16" = 1'-0"



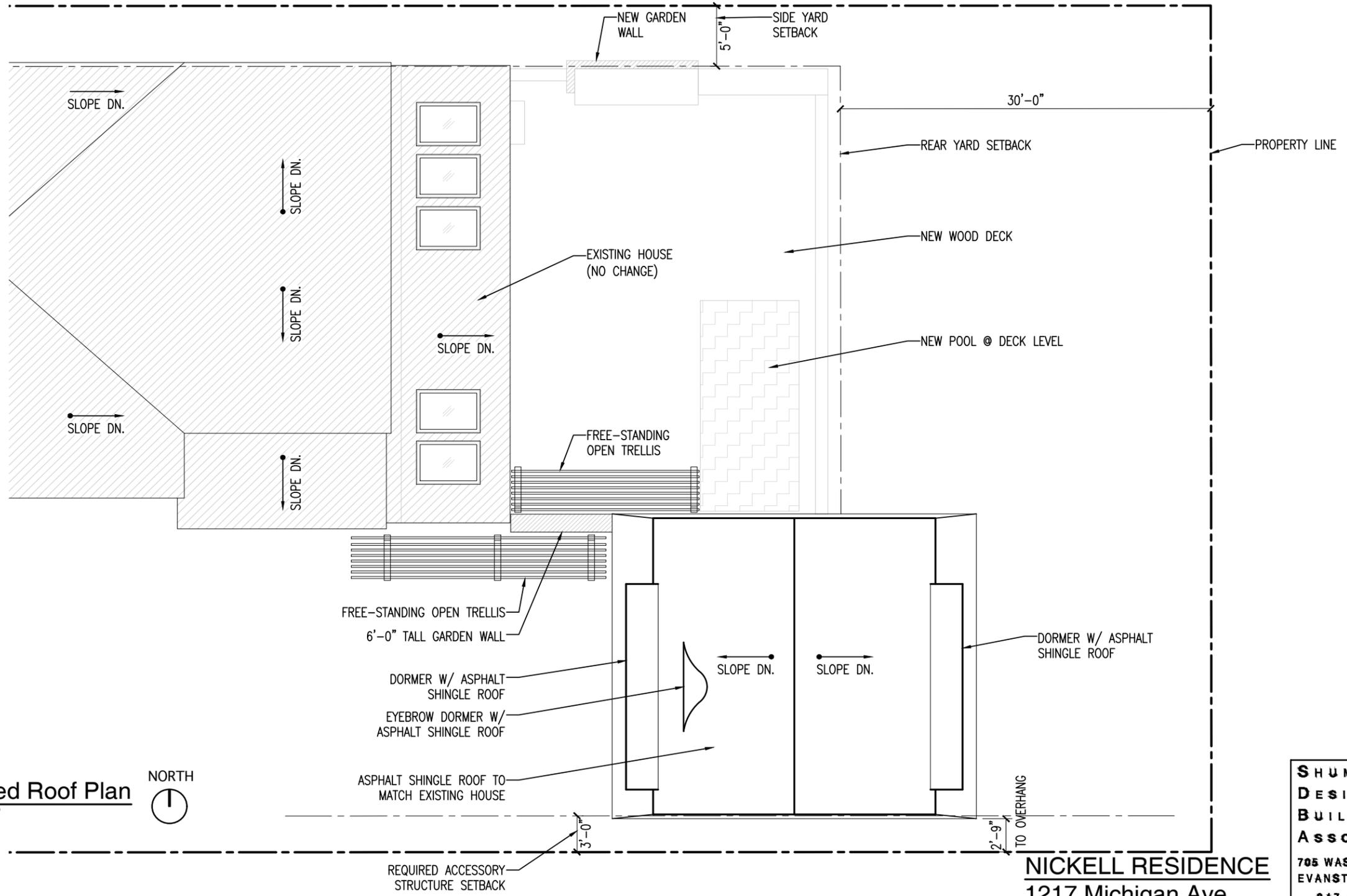
04/19/2022

NICKELL RESIDENCE
1217 Michigan Ave.

**SHUMAKER
DESIGN +
BUILD
ASSOCIATES**
705 WASHINGTON ST.
EVANSTON IL 60202
847.864.0595
SHUMAKERDESIGNASSOCIATES.COM

1 Proposed Roof Plan

SCALE: 1/8" = 1'-0"



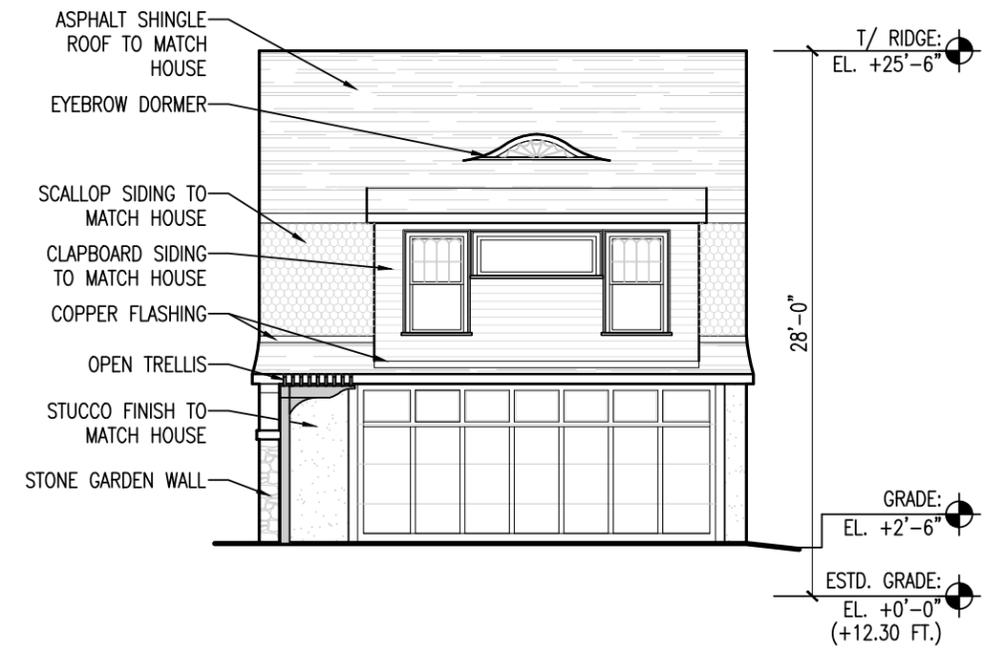
NICKELL RESIDENCE
1217 Michigan Ave.

04/19/2022

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ASSOCIATES**

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1 Proposed East Elevation
SCALE: 1/8" = 1'-0"

04/19/2022
NICKELL RESIDENCE
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1 Proposed South Elevation
 SCALE: 1/8" = 1'-0"

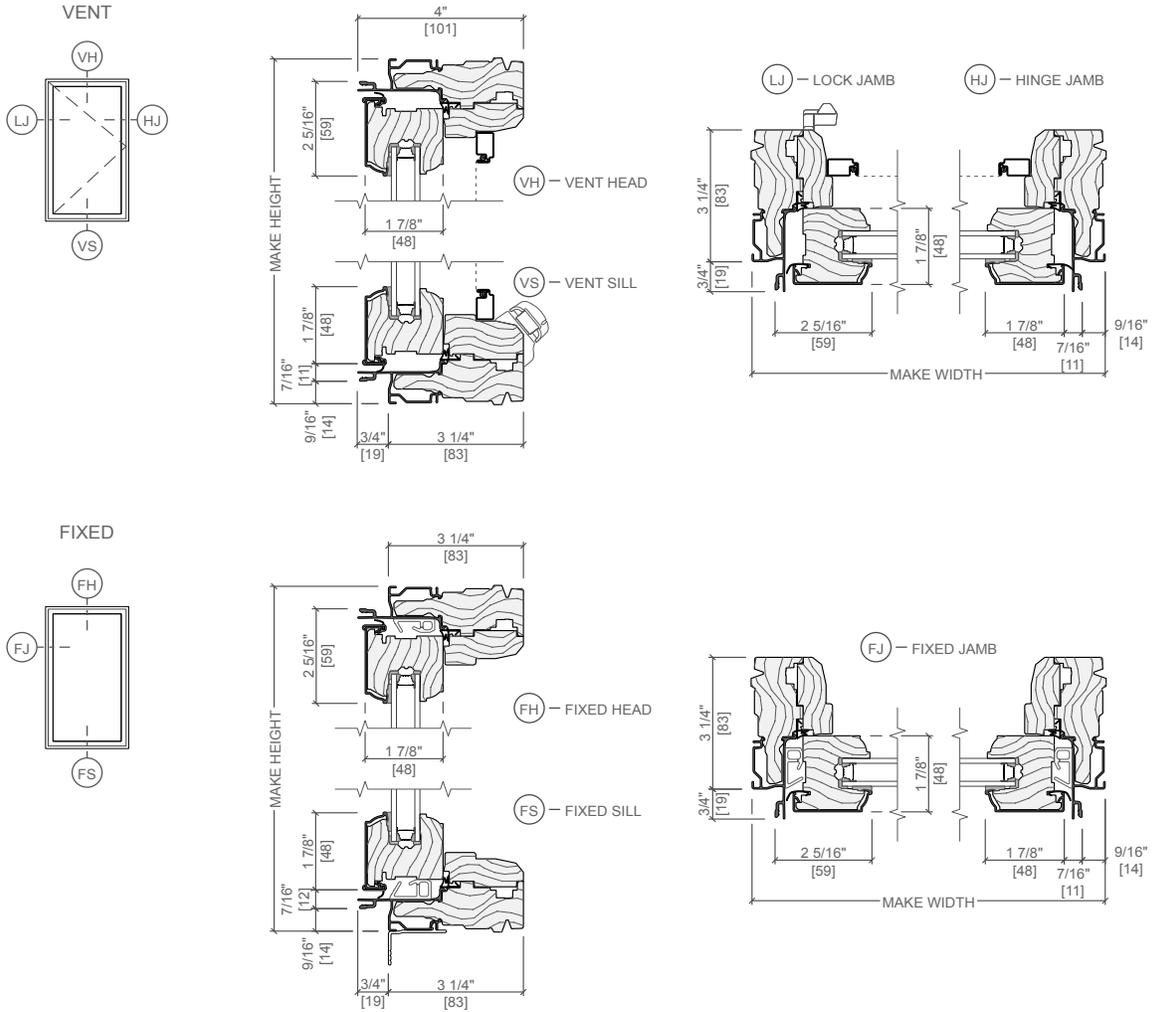
NICKELL RESIDENCE
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04/19/2022

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Pella® Reserve™ Traditional Precision-Fit Casement Window
Unit Section - Aluminum-Clad Exterior Ogee Exterior Glazing Profile

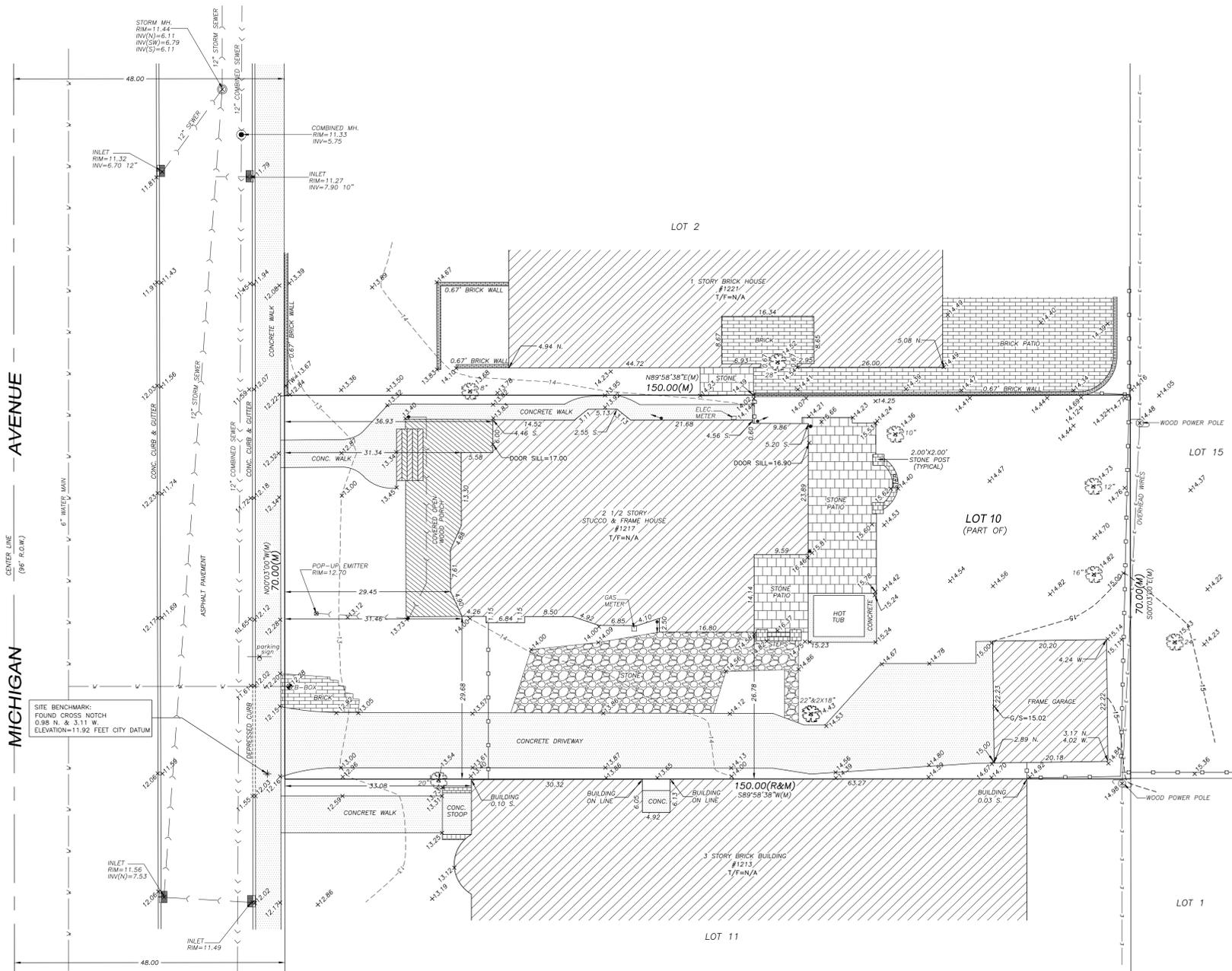


Scale 3" = 1' 0"
All dimensions are approximate.

PLAT OF TOPOGRAPHY

OF

LOT 10 (EXCEPT THE NORTH 30 FEET THEREOF) IN STOCKHAM'S RESUBDIVISION OF BLOCK 2 OF BLISS SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
 PIN: 11-19-204-002-0000 TOTAL LAND AREA: 10,500 SQ.FT.
 COMMONLY KNOWN AS: 1217 MICHIGAN AVENUE, EVANSTON, ILLINOIS 60202



SITE BENCHMARK:
 FOUND CROSS NOTCH
 0.98 N. & 3.11 W.
 ELEVATION=11.92 FEET CITY DATUM

- LEGEND:**
- (R) = Subdivision Record
 - (M) = Measured
 - N. = North
 - S. = South
 - W. = West
 - E. = East
 - T/F = Top of Foundation
 - B/S = Bottom of Siding
 - F.L. = Finish Floor
 - G/S = Garage Slab
 - TC = Top of Curb
 - G = Gutter
 - TW = Top of Wall
 - T/P = Top of Pipe
 - Conc. = Concrete
 - Tree
 - Wood Fence
 - Chain Link Fence
 - Iron Fence
 - Fire Hydrant
 - Water Valve
 - B-Box
 - Water Manhole
 - Storm Manhole
 - Catch Basin
 - Inlet
 - Sanitary/Combined Manhole
 - Wood Power Pole
 - Down Spout
 - Combined Sewer
 - Sanitary Sewer
 - Storm Sewer
 - Water Main
 - Overhead Wires

REFERENCE BENCHMARK:
 CITY OF EVANSTON BENCHMARK #42 - ROD WITH CAP
 LOCATION: NE QUADRANT DAVIS STREET & FOREST PLACE
 1.4 FEET EAST OF CURB & 8 FEET WEST OF SIDEWALK.
 ELEVATION=16.29 FEET CITY DATUM
 VERTICAL DATUM=579.70 FEET ABOVE MEAN TIDE AT NEW YORK 1959 ADJ.



ORDER NO.: 21-096-T
 ORDERED BY: BLAIR SCHMIDT
 SHUMAKER DESIGN + BUILD ASSOCIATES, LLC

PREPARED BY:
GEODETIC SURVEY, LTD.
 PROFESSIONAL DESIGN FIRM NO. 184-004394
 CONSTRUCTION AND LAND SURVEYORS
 200 WALKER ROAD, GLENVIEW, IL 60025
 TEL (847) 904-7690; FAX (847) 904-7691
 info@gsurvey.net www.gslandsurveying.com

NOTE: Location of underground utilities and sewer size where not substantiated by physical evidence are taken from records normally considered reliable. No responsibility for their accuracy is assumed by the surveyor.
 Locations of existing utility services are based on visual observations. Contractor must confirm location and condition of all utility services to remain.
 FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E.
 81-800-892-0123 BEFORE DIGGING

GENERAL NOTES:
 -FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THE PLAT OF SURVEY REFER TO YOUR ABSTRACT, DEED, TITLE POLICY, CONTRACT AND LOCAL BUILDING LINE/SETBACK REGULATIONS.
 -COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DISCREPANCIES, WHICH YOU MAY HAVE FOUND, TO THIS OFFICE, BEFORE DAMAGE IS DONE.
 -DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE NOT TO BE ASSUMED FROM SCALING.
 -BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.
 -THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND FOR ACCURACY SHOULD BE COMPARED WITH DEED AND/OR TITLE INSURANCE POLICY.

STATE OF ILLINOIS SS
 COUNTY OF COOK
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.
 FIELD WORK COMPLETED: MAY 20, 2021
 DATED THIS 25th DAY OF MAY, 2021.
 BY: *James R. Schmitt*
 PROFESSIONAL LAND SURVEYOR NO. 000-000000
 LICENSE EXPIRES 11/30/2022



1 Proposed South Elevation
 SCALE: 1/8" = 1'-0"

NICKELL RESIDENCE
 1217 Michigan Ave.

04/29/2022

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1 Bird's-Eye Perspective
SCALE: N.T.S.

05/03/2022
NICKELL RESIDENCE
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1 Street Perspective
SCALE: N.T.S.

05/03/2022
NICKELL RESIDENCE
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1 Street Perspective
SCALE: N.T.S.

05/03/2022

NICKELL RESIDENCE
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STATEMENT OF SIGNIFICANCE

Designed by an early Evanston architect, this structure was quite restrained for the period. A simple porch spreads across the entire front of this stucco and shingle house. On the north end two tall windows project into the roof to become dormers, and near the center appears a small eyebrow window. Set between the two windows on the south end of the second floor is a small stucco relief panel. The design was disturbed, however, by the removal of a large gable or dormer from the south end of the roof.

EVANSTON LANDMARK

ADDRESS: 1217 Michigan
 COMMON NAME: Same
 REAL ESTATE INDEX NUMBER:
 DATE OF CONSTRUCTION: 1894
 ARCHITECT OR BUILDER: J. C. Lane
 ORIGINAL SITE MOVED
 SIGNIFICANCE:

HISTORICAL	<input type="checkbox"/> H1	<input type="checkbox"/> H2	<input type="checkbox"/> H3
ARCHITECTURAL	<input type="checkbox"/> A4	<input type="checkbox"/> A5	<input type="checkbox"/> A6
	<input type="checkbox"/> A7	<input type="checkbox"/> A8	<input checked="" type="checkbox"/> A9

OTHER COMMENTS:



BEGINNING STREET #

END STREET #

STREET # SUFFIX

STREET NAME

SUFFIX

PIN



LOCAL

WITHIN LOCAL DISTRICT?

LOCAL DISTRICT CONTRIB/NON-CONTRIB?

LOCAL LANDMARK? YEAR

LOCAL LANDMARK ELIGIBLE?

CRITERIA:

NATIONAL REGISTER

WITHIN NR DISTRICT?

NR DISTRICT CONTRIB/NON-CONTRIB?

NR LANDMARK? YEAR

NR ELIGIBLE? CRITERIA

PHOTO ID

ALTERNATE ADDRESS?

GENERAL INFORMATION

CATEGORY CURRENT USE

CONDITION HISTORIC USE

INTEGRITY SECONDARY STRUCTURE

NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Shingle Style"/>	ROOF TYPE	<input type="text" value="Side gambrel"/>
DETAILS	<input type="text"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1894"/>	FOUNDATION	<input type="text" value="Parged"/>
OTHER YEAR	<input type="text" value="1918"/>	PORCH	<input type="text" value="Full front"/>
DATESOURCE	<input type="text" value="Building permit/alteration permits"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Stucco"/>	WINDOW MATERIAL 2	<input type="text"/>
WALL MATERIAL 2 (current)	<input type="text" value="Wood - shingle; aluminum"/>	WINDOW TYPE	<input type="text" value="Double hung"/>
PLAN	<input type="text" value="Rectangular"/>	WINDOW CONFIGURATION	<input type="text" value="8/1; 1/1"/>
NO OF STORIES	<input type="text" value="2.5"/>		

SIGNIFICANCE

HISTORIC FEATURES

ADDRESS

1217 MICHIGAN AVENUE

ALTERATIONS

Stucco first story; two-story southeast corner addition (1918); replacement windows in two-story addition in downsized openings--
SEE CONTINUATION SHEET

HISTORIC INFORMATION

OLD ADDRESS
(city dir.year)

ORIGINAL OWNER

Wells, William L.

ORIGINAL ARCHITECT

Lane, Josiah C.

BUILDING MOVED?

No

ARCHITECT SOURCE

BP463

MOVED FROM

BUILDER

Gilbert Bros (mason)

ADDITIONAL PHOTOGRAPHS



PHOTO ID2 \Images\11-19-205-002-0000-2.jpg



PHOTO ID3 \Images\11-19-205-002-0000-3.jpg

OTHER PINS

SURVEYOR

Lara Ramsey

SURVEYOR ORGANIZATION

GRANACKI HISTORIC CONSULTANTS

SURVEY DATE

3/27/2012

Historic Info Compiler

MBM

SURVEYAREA

EVANSTON LAKESHORE PHASE II

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

1217 [] MICHIGAN AVENUE []

**OLD ADDRESS
(city dir.year)**

[]

DATE OF CONSTRUCTION 1894 []

MOVING INFORMATION

BUILDING MOVED? No []

MOVING PERMIT # [] **DATE** []

MOVED FROM []

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # 463 [] **DATE** 1894.07.06 []

BUILDING PERMIT DESCRIPTION 2-story house 39'w x 53'd x 42'h, 10 rooms []

COST \$6,000 []

ORIGINAL OWNER Wells, William L. []

ORIGINAL OWNER OCCUPIED? yes []

ORIGINAL ARCHITECT Lane, Josiah C. []

ARCHITECT SOURC BP463 []

BUILDER Gilbert Bros (mason) []

EXTERIOR ALTERATION PERMITS

BP7668, 1918.04.08, 2-story addition \$7,500 (O) C.W. Alton, (A) Tallmadge & Watson, (B) E.B. Shumway []

OTHER PERMIT INFO

BP8948, 1921.07.15, 1-story frame garage improvement \$300 (O/A) C.W. Alton, (B) D. McPherson []

COA INFO

2009 - Install a 4' high aluminum fence and gate(s) across the south side yard and the north side yard, perpendicular to the house and the north and south property lines (27' long on the south side and 4' long on the north side)--SEE CONTINUATION SHEET []

HISTORIC INFO

[]

OTHER SOURCES

IHSS #195. Evanston Landmark (1978). ELHD #225. PHOTOS at EHC: 6"x4" (also details) undated; Quinlan & Tyson 1970; Cyrus Realty, 1975; Hokanson & Jenks, 1975 & 1979. []

HISTORIC INFO COMPILER MBM []

City of EVANSTON
LAKESHORE HISTORIC DISTRICT RE-SURVEY
CONTINUATION SHEET

STREET # 1217

STREET MICHIGAN AVENUE

ADDITIONAL PHOTOS OR INFORMATION

Historic Features

Side gambrel roof; small eyebrow dormer on front façade; shed roof dormer with two windows divided bay garland panel; pair of tall, slender gambrel roof dormers at north end of façade, with double hung windows topped by blind, round arches; fish scale shingles; inset full front porch (round, engaged column with Ionic capital just north of entry looks original—other columns on porch likely are historic replacements); recessed entry at north end of façade with paneled wood door; one-story south side window bay; three-sided bay under porch; historic 1/1 and 8/1 wood windows on front and side elevations; north side Palladian window on gable wall; three-side, two-story bay on north elevation; front window with leaded glass transom under porch; double doors with leaded glass panels under porch.

Alterations

Stucco first story; two-story southeast corner addition replacement windows in two-story addition in downsized openings (first story may have originally been open porch that was later enclosed); some aluminum siding on second story side elevations; rear one-story porch added to historic two-story addition; gable or dormer roof at south end of façade appears to have been removed (likely not part of the Tallmadge & Watson alteration from 1918)

COA Information

2009 - Install a 4' high aluminum fence and gate(s) across the south side yard and the north side yard, perpendicular to the house and the north and south property lines (27' long on the south side and 4' long on the north side). The south portion is setback 1 foot from the south east corner of the house and the north portion is at the north east corner of the house.

2418 Park Place - Landmark - 22PRES-0050

Patrick Jean-Jacques, owner, submits for a Certificate of Appropriateness to demolish a single-story greenhouse addition and two-story circular stair at the rear of the property, alter the principle structures rear volume fenestration, construct a two-story rear-porch addition and stairway, and construct a wrought-iron railing at the existing front stoop.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-8; and, 10-15].



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 2418 Park Place – 22PRES-0050
Date: May 4, 2022

Public Notice

2418 Park Place – Landmark – 22PRES-0050

Patrick Jean-Jacques, owner, submits for a Certificate of Appropriateness to demolish a single-story greenhouse addition and two-story circular stair at the rear of the property, alter the principle structures rear volume fenestration, construct a two-story rear-porch addition and stairway, and construct a wrought-iron railing at the existing front stoop.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-8; and, 10-15].

Construction Period:

Circa 1870

Style:

Italianate

Architect of Record:

Unknown

Condition:

Good

Integrity:

Excellent

Status:

Landmark Designated.

Setting:

2418 Park Place is located on the south side of Park Place between McDaniel Avenue to the west and Walnut Avenue to the east. The home is set in one of the more unique settings in Evanston along Park Place – known for its expansive parkway and mature shade trees. This portion of the city was near the westernmost terminus of the streetcar system, which significantly aided in the viability for residential, commercial, and institutional growth at the turn of the century. The neighborhood north of Central Street and east of

Ewing Avenue was largely developed beginning in the early 1900s onward. Although no historic district was ever formed, much of Northwest Evanston contains a significant concentration of individual Landmarks – a testament to its architectural heritage and significant built environment including a prominent street network and a purposeful system of expansive parkways (Park Place to the north and Lincoln Street to the south) and public parks (Independence Park, Howell Park, Dwight Perkins Woods, Quinlan Park, Ellingwood Park, Ackerman Park), connecting various merchant districts and institutional resources. This portion of Northwest Evanston was identified in the Commissions earliest proposed survey areas and remains the only original survey area not designed as a District.

Significance:

The structure was listed in the 1972 State Survey of significant structures and was designated an Evanston Landmark in 1978. 2418 Park Place was constructed in the early 1870s, and is one of the older remaining homes in what was formerly the Village of North Evanston. The structure exhibits an unusual, and distinctive design which contributes to the architectural and visual interest of its environs as a commanding accent or counterpoint to later and more common homes in the neighborhood. In many ways the home epitomizes the Italianate Style with brick façade, decorative, heavy brackets under wide eaves, narrow, tall rectangular single-pane windows with decorative stone hooded arches, double front entry door with transom and hooded arch, and full height bay and tower roof.

Alexander Jackson Downing's pattern books popularized the Italianate style, which was loosely modeled after the grand villas of northern Italy. Italianate homes first began to appear in most eastern and Midwestern states in the 1840s but declined in popularity after the financial panic of 1873 and the subsequent depression when home building slowed. Italianate homes in Evanston, including 2418 Park Place, are typically constructed in wood clapboard or masonry, two to three stories in height, and L-shaped, asymmetrical or gable-fronted in form. It's most recognizable features include an elaborate roof-line cornice with decorative brackets and tall, narrow doublehung windows that are often arched at the top and crowned with a hood mold made of brick or stone.

Proposal

The applicant proposes removal of the single-story rear greenhouse addition and spiral iron staircase, removal and select infill of rear elevation windows and enlargement of rear openings in the brick facade to accommodate sliding doors accessing a two-story rear porch, as well as a new rear access stair from the ground floor to the first floor.

The predominate materiality of the proposed rear porch includes wrought iron railings, urethane composite millwork including the proposed bracketing and mouldings, clad wood posts, aluminum clad wood sliding doors with simulated lite divisions, composite decking and composite treads and risers, and wood clapboard siding matching existing exposure on the location of door infill in the existing two-story wood clad addition at the homes southeast corner.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Demolition

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.
2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

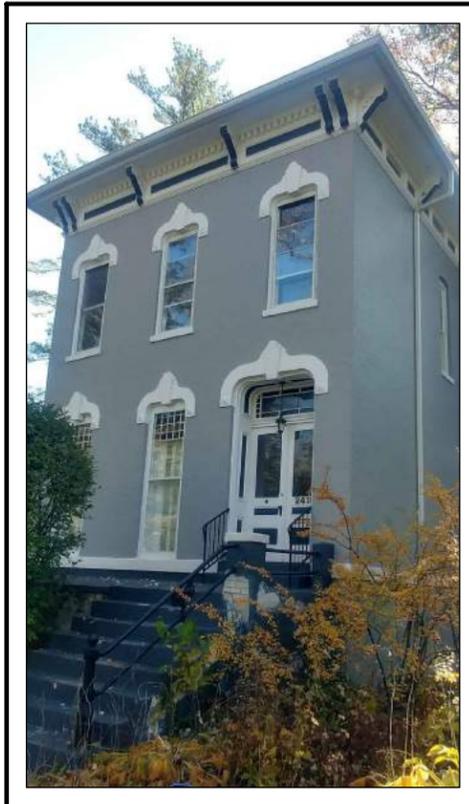
12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

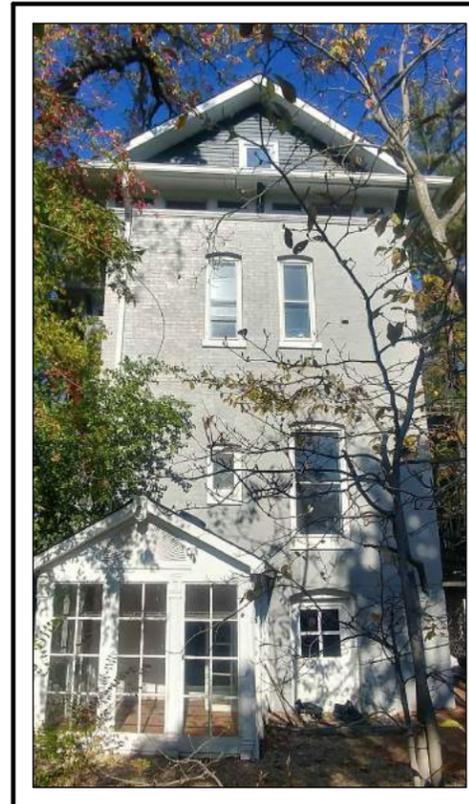
PROPOSED EXTERIOR IMPROVEMENTS SINGLE-FAMILY RESIDENCE 2418 PARK PLACE, EVANSTON, ILLINOIS 60201



EXISTING FRONT ELEVATION



PROPOSED FRONT PORCH IMPROVEMENTS



EXISTING REAR ELEVATION



PROPOSED REAR PORCH IMPROVEMENTS

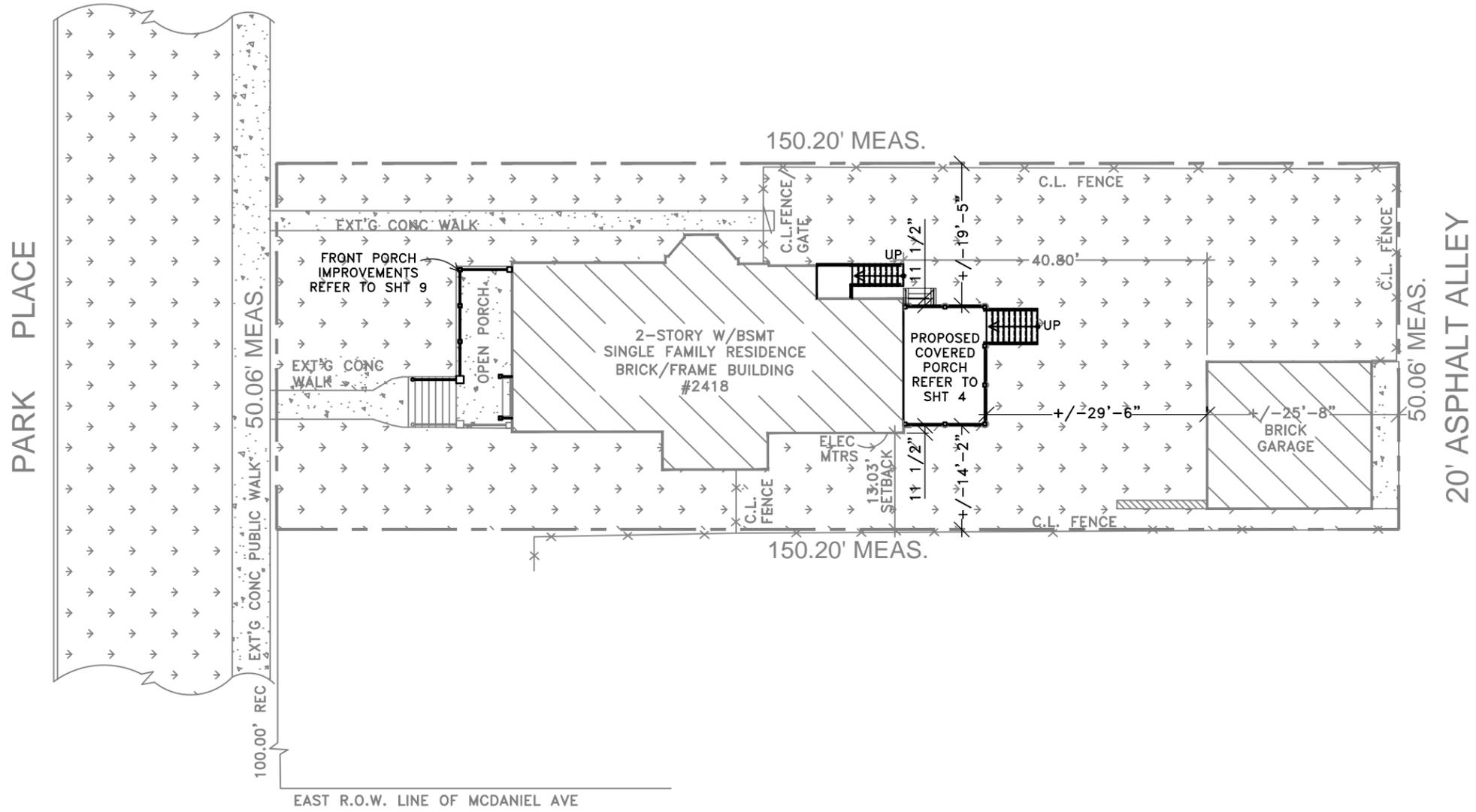
PROJECT SINGLE FAMILY RESIDENCE
NAME: PROPOSED EXTERIOR IMPROVEMENTS
PROJECT 2418 PARK PLACE
ADDRESS: EVANSTON, IL 60201

TITLE SHEET

GEORGE M. MADARAS, ARCHITECT
11950 S. HARLEM AVE., SUITE 201
PALOS HEIGHTS, ILLINOIS 60463
PHONE: 708.974.4747
EMAIL: GMADARAS@MSN.COM

NO.	ISSUE	DATE
5	OWNER'S REVIEW ASK#5	16 FEB 22
4	PRESERVATION COMM RVW ASK#4	24 JAN 22

ASK-5



* REFER TO SHT 12 FOR PLAT OF SURVEY

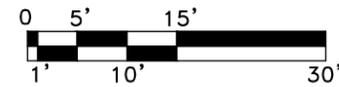
PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"



PROJECT	SINGLE FAMILY RESIDENCE
NAME:	PROPOSED EXTERIOR IMPROVEMENTS
PROJECT	2418 PARK PLACE
ADDRESS:	EVANSTON, IL 60201

PROPOSED SITE PLAN

GEORGE M. MADARAS, ARCHITECT
11950 S. HARLEM AVE., SUITE 201
PALOS HEIGHTS, ILLINOIS 60463
PHONE: 708.974.4747
EMAIL: GMADARAS@MSN.COM



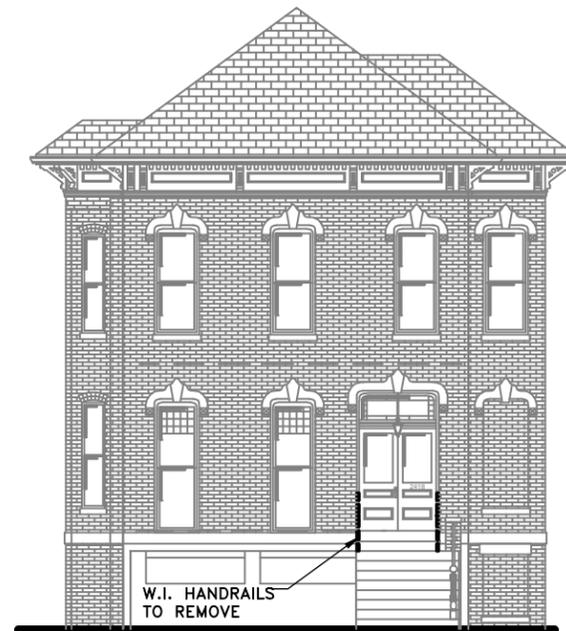
NO.	ISSUE	DATE
5	OWNER'S REVIEW ASK#5	16 FEB 22
4	PRESERVATION COMM RVW ASK#4	24 JAN 22

ASK-5



SIDE (EAST) ELEVATION EXISTING/REMOVAL

SCALE: 3/32" = 1'-0"



FRONT (NORTH) ELEVATION EXISTING

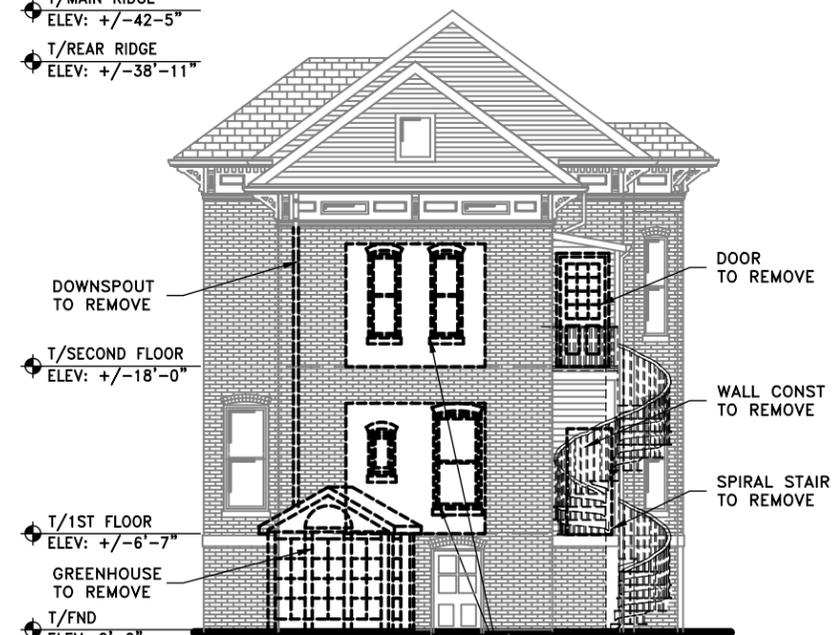
SCALE: 3/32" = 1'-0"

- ◆ T/MAIN RIDGE
ELEV: +/-42'-5"
- ◆ T/REAR RIDGE
ELEV: +/-38'-11"



SIDE (WEST) ELEVATION EXISTING/REMOVAL

SCALE: 3/32" = 1'-0"



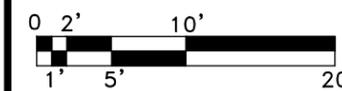
REAR (SOUTH) ELEVATION EXISTING/REMOVAL

SCALE: 3/32" = 1'-0"

PROJECT SINGLE FAMILY RESIDENCE
 NAME: PROPOSED EXTERIOR IMPROVEMENTS
 PROJECT 2418 PARK PLACE
 ADDRESS: EVANSTON, IL 60201

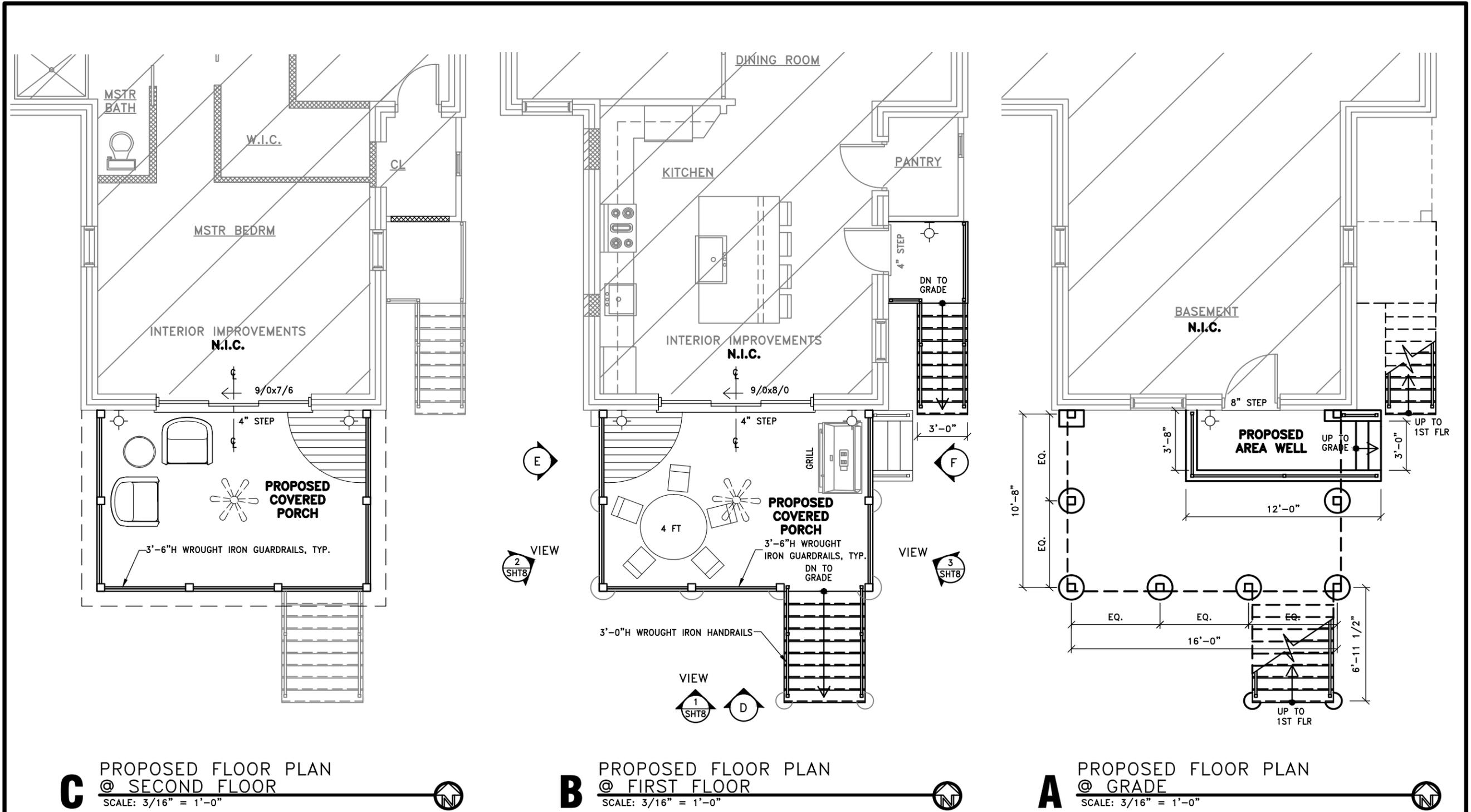
EXTERIOR BUILDING MODIFICATIONS

GEORGE M. MADARAS, ARCHITECT
 11950 S. HARLEM AVE., SUITE 201
 PALOS HEIGHTS, ILLINOIS 60463
 PHONE: 708.974.4747
 EMAIL: GMADARAS@MSN.COM



NO.	ISSUE	DATE
5	OWNER'S REVIEW ASK#5	16 FEB 22
4	PRESERVATION COMM RVW ASK#4	24 JAN 22

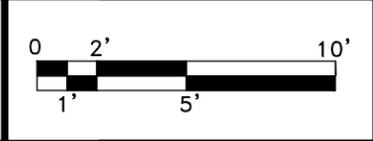
ASK-5



PROJECT SINGLE FAMILY RESIDENCE
 NAME: PROPOSED EXTERIOR IMPROVEMENTS
 PROJECT 2418 PARK PLACE
 ADDRESS: EVANSTON, IL 60201

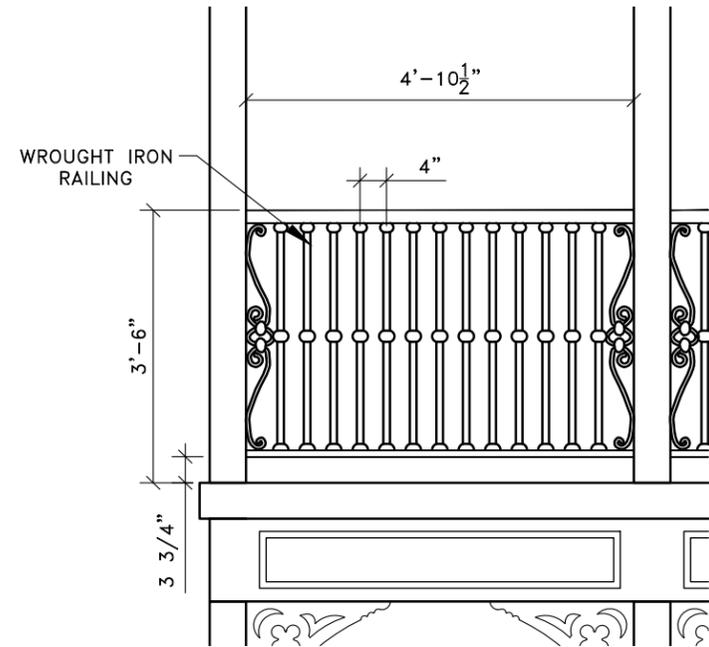
PROPOSED FLOOR PLANS @ REAR PORCH

GEORGE M. MADARAS, ARCHITECT
 11950 S. HARLEM AVE., SUITE 201
 PALOS HEIGHTS, ILLINOIS 60463
 PHONE: 708.974.4747
 EMAIL: GMADARAS@MSN.COM



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ASK-5
4 OF 12



ENLARGED GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"

T/MAIN RIDGE
ELEV: +/-42'-5"

T/REAR RIDGE
ELEV: +/-38'-11"

1"x14" COMPOSITE TRIM BD W/2" FYPON MOULDING

ALUM GUTTER W/DWNSPT

T/PORCH ROOF
ELEV: +/-27'-6"

FYPON OR EQ PVC BRACKET

TRTD 6"x6" WD COL WRAPPED W/COMPOSITE 1"x6" TRIM BOARDS

T/SECOND FLOOR
ELEV: +/-18'-0"

T/PORCH
ELEV: +/-17'-8"

WROUGHT IRON RAILING

TREX OR EQ. COMPOSITE 5/4 DECKING

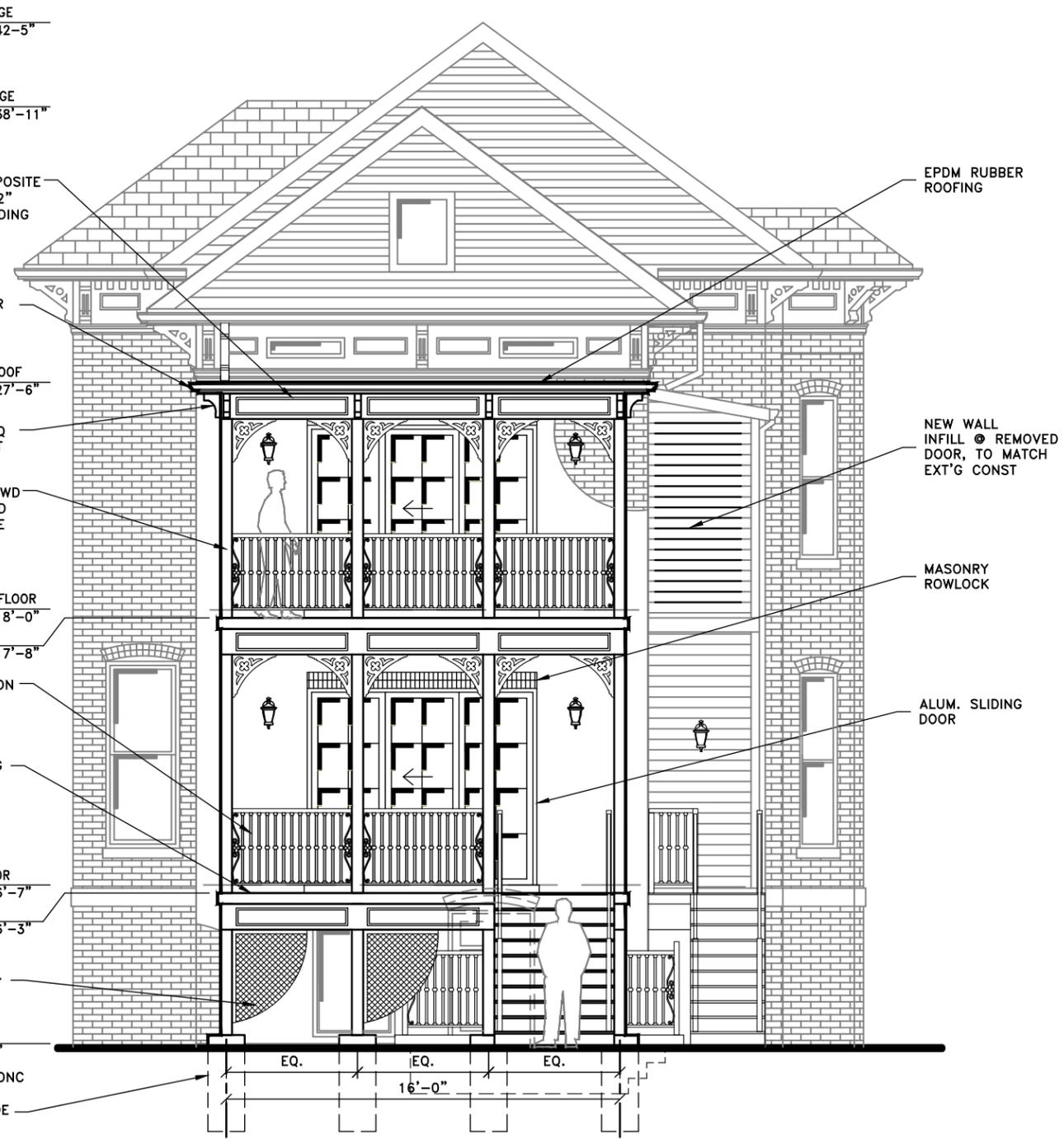
T/1ST FLOOR
ELEV: +/-6'-7"

T/PORCH
ELEV: +/-6'-3"

LATTICE, TYP.

T/FND
ELEV: 0'-0"

1'-6" DIA. CONC PIERS 3'-6" BELOW GRADE

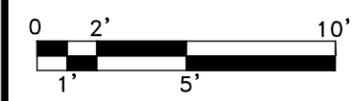


D PROPOSED REAR (SOUTH) PORCH ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT SINGLE FAMILY RESIDENCE
NAME: PROPOSED EXTERIOR IMPROVEMENTS
PROJECT 2418 PARK PLACE
ADDRESS: EVANSTON, IL 60201

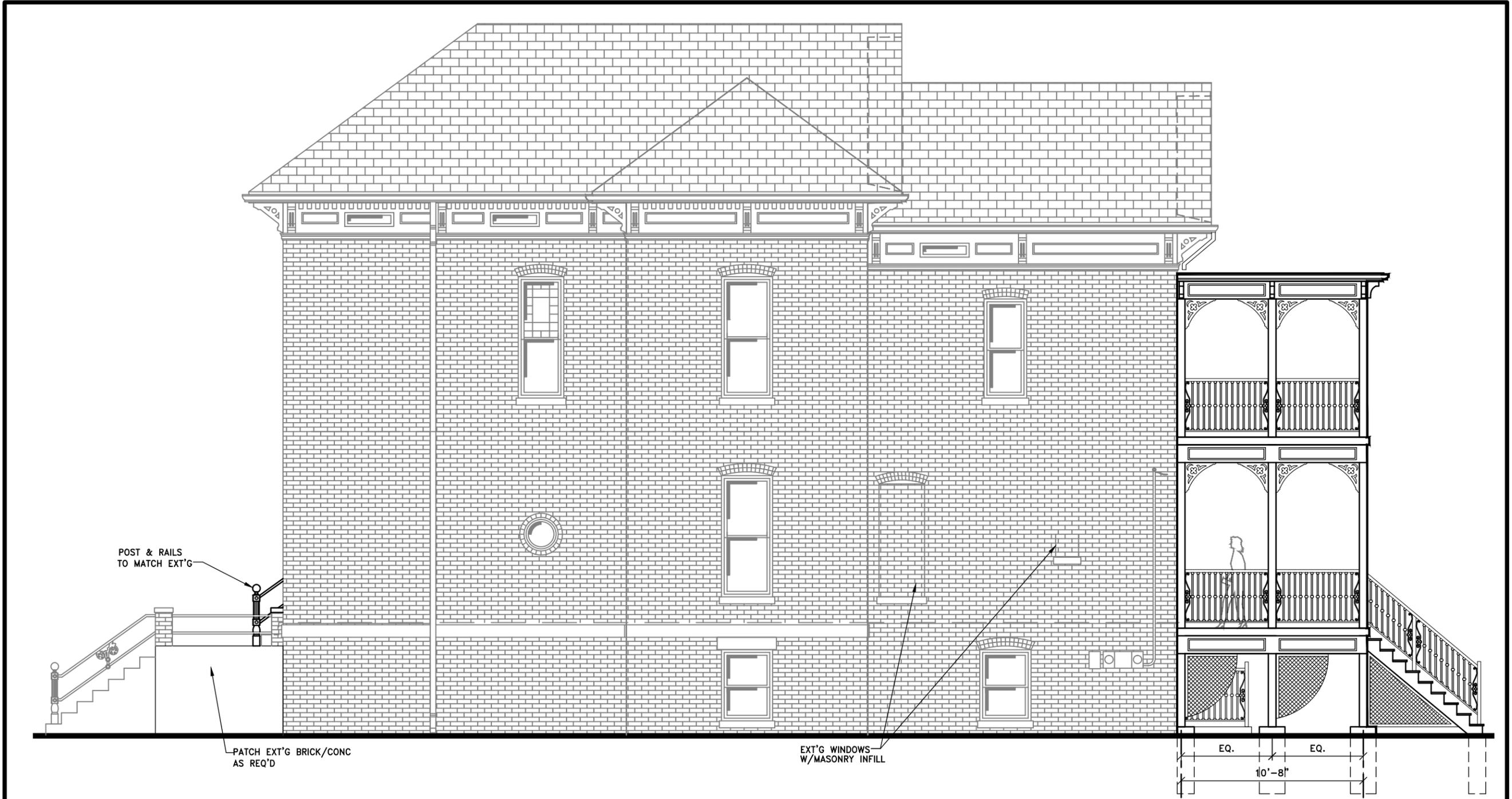
PROPOSED REAR PORCH ADDITION

GEORGE M. MADARAS, ARCHITECT
11950 S. HARLEM AVE., SUITE 201
PALOS HEIGHTS, ILLINOIS 60463
PHONE: 708.974.4747
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ASK-5



E PROPOSED SIDE (WEST) ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT SINGLE FAMILY RESIDENCE
NAME: PROPOSED EXTERIOR IMPROVEMENTS
PROJECT 2418 PARK PLACE
ADDRESS: EVANSTON, IL 60201

PROPOSED SIDE (WEST) ELEVATION

GEORGE M. MADARAS, ARCHITECT
11950 S. HARLEM AVE., SUITE 201
PALOS HEIGHTS, ILLINOIS 60463
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EMAIL: GMADARAS@MSN.COM



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ASK-5

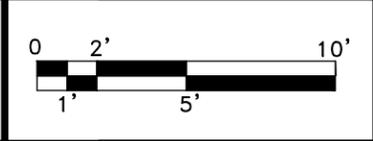


F PROPOSED SIDE (EAST) ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT SINGLE FAMILY RESIDENCE
NAME: PROPOSED EXTERIOR IMPROVEMENTS
PROJECT 2418 PARK PLACE
ADDRESS: EVANSTON, IL 60201

PROPOSED SIDE (EAST) ELEVATION

GEORGE M. MADARAS, ARCHITECT
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EMAIL: GMADARAS@MSN.COM



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ASK-5
7 OF 12



3 EAST VIEW
SCALE: N.T.S.



2 WEST VIEW
SCALE: N.T.S.



1 SOUTH VIEW
SCALE: N.T.S.

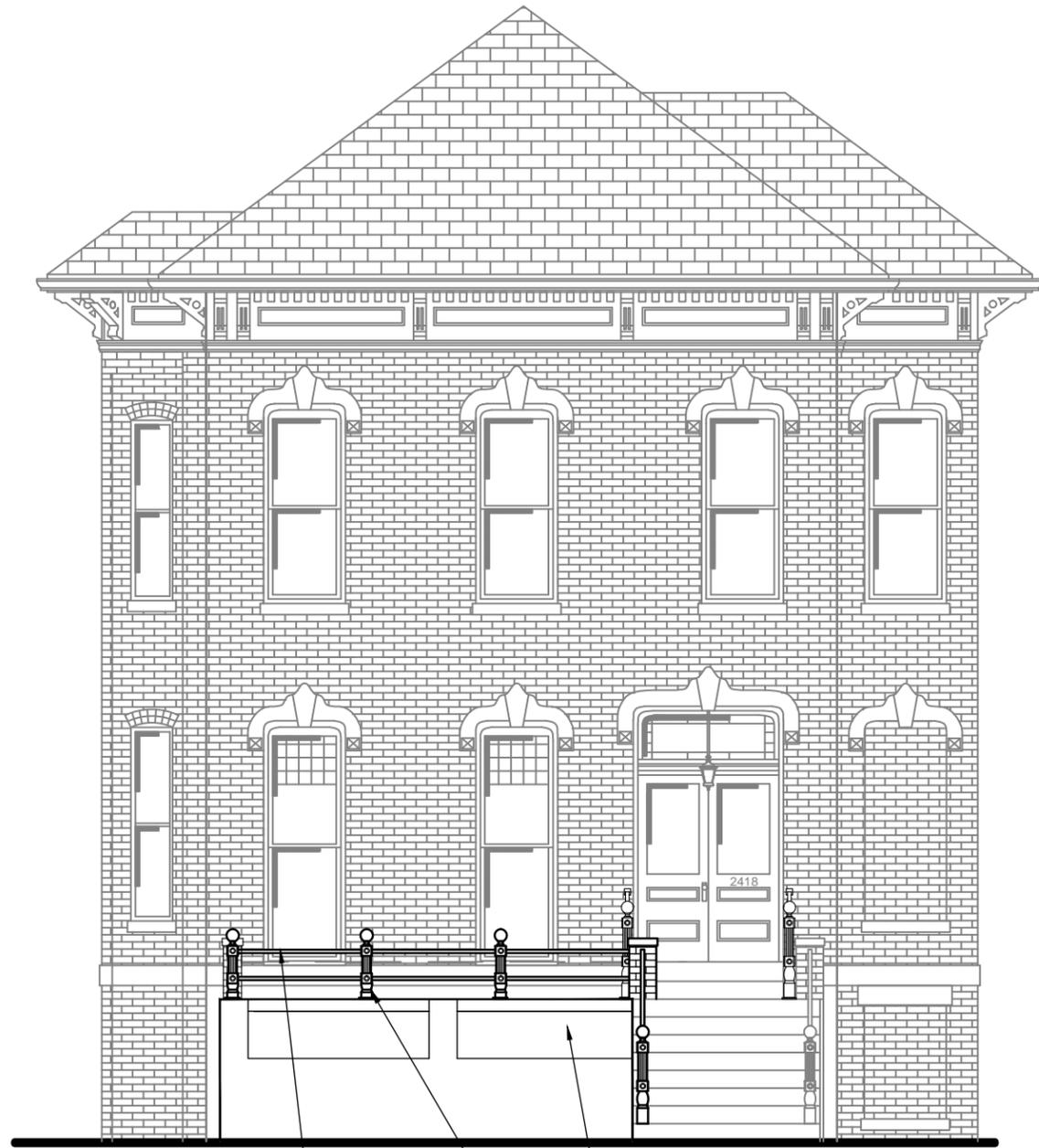
PROJECT SINGLE FAMILY RESIDENCE
 NAME: PROPOSED EXTERIOR IMPROVEMENTS
 PROJECT 2418 PARK PLACE
 ADDRESS: EVANSTON, IL 60201

REAR PORCH VIEWS

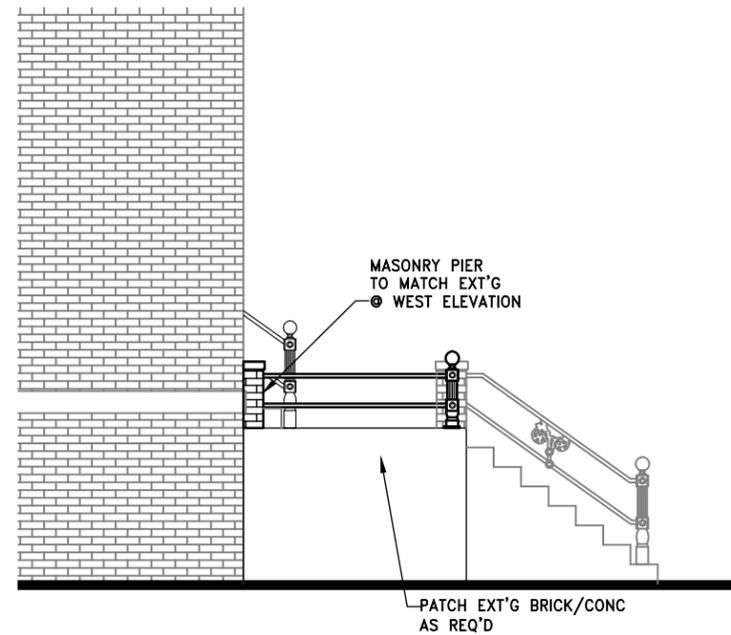
GEORGE M. MADARAS, ARCHITECT
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 PHONE: 708.974.4747
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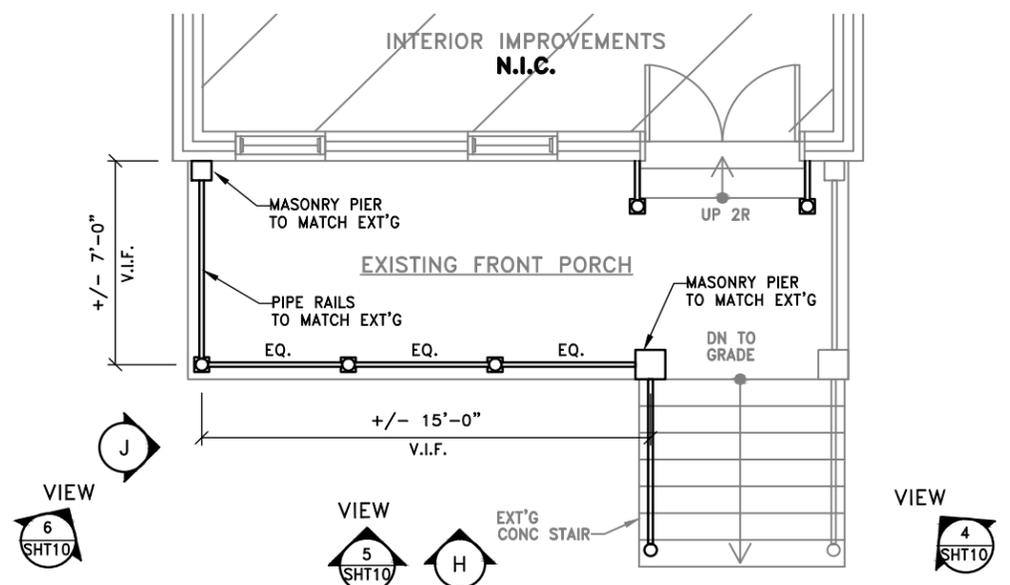
ASK-5



H PROPOSED FRONT (NORTH) ELEVATION
SCALE: 3/16" = 1'-0"



J PROPOSED PARTIAL SIDE (EAST) ELEVATION
SCALE: 3/16" = 1'-0"

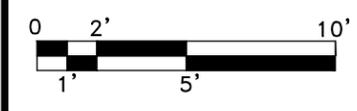


G PROPOSED FRONT PORCH PLAN @ FIRST FLOOR
SCALE: 3/16" = 1'-0"

PROJECT SINGLE FAMILY RESIDENCE
NAME: PROPOSED EXTERIOR IMPROVEMENTS
PROJECT 2418 PARK PLACE
ADDRESS: EVANSTON, IL 60201

PROPOSED FRONT PORCH PLAN & ELEVATIONS

GEORGE M. MADARAS, ARCHITECT
11950 S. HARLEM AVE., SUITE 201
PALOS HEIGHTS, ILLINOIS 60463
PHONE: 708.974.4747
EMAIL: GMADARAS@MSN.COM



NO.	ISSUE	DATE
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ASK-5



6 NORTHEAST VIEW
SCALE: N.T.S.



5 NORTH VIEW
SCALE: N.T.S.



4 NORTHWEST VIEW
SCALE: N.T.S.

PROJECT SINGLE FAMILY RESIDENCE
 NAME: PROPOSED EXTERIOR IMPROVEMENTS
 PROJECT 2418 PARK PLACE
 ADDRESS: EVANSTON, IL 60201

FRONT PORCH VIEWS

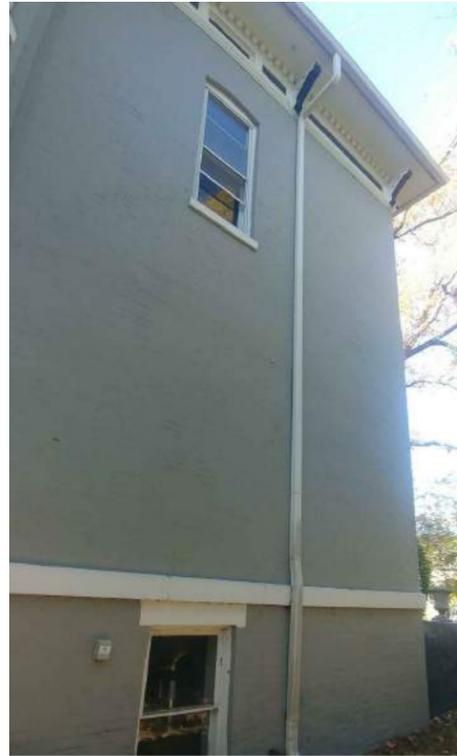
GEORGE M. MADARAS, ARCHITECT
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 PHONE: 708.974.4747
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ASK-5



11 EAST PHOTO
SCALE: N.T.S.



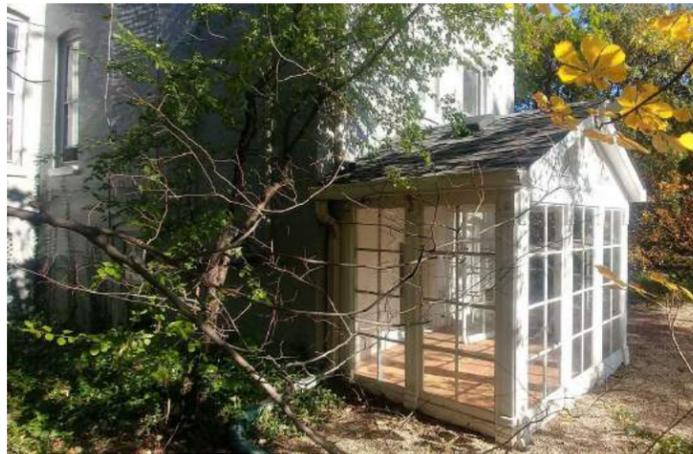
10 NORTHEAST PHOTO
SCALE: N.T.S.



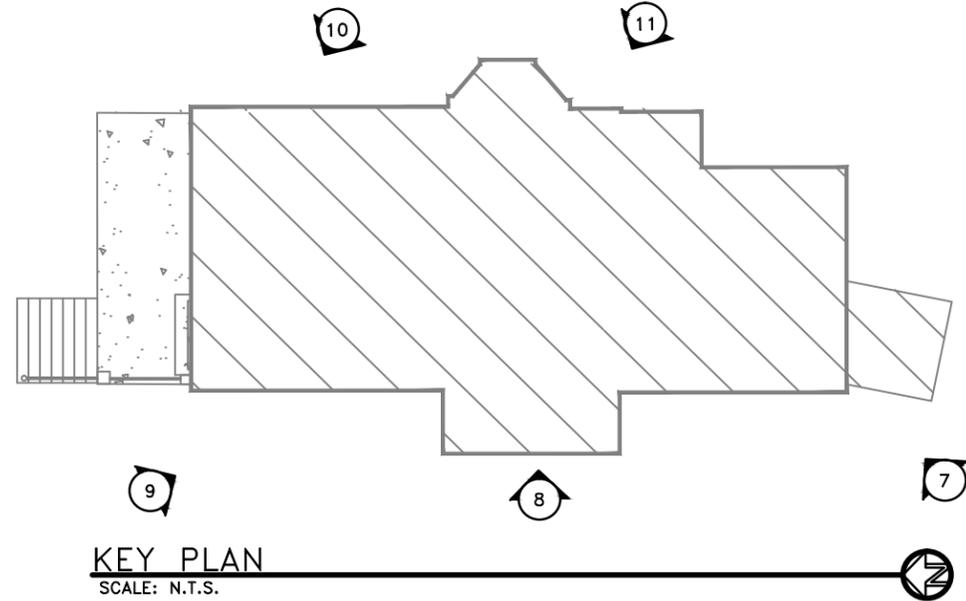
9 NORTHWEST PHOTO
SCALE: N.T.S.



8 WEST PHOTO
SCALE: N.T.S.



7 SOUTHWEST PHOTO
SCALE: N.T.S.



PROJECT SINGLE FAMILY RESIDENCE
 NAME: PROPOSED EXTERIOR IMPROVEMENTS
 PROJECT 2418 PARK PLACE
 ADDRESS: EVANSTON, IL 60201

EXISTING RESIDENCE PHOTOS

GEORGE M. MADARAS, ARCHITECT
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 PALOS HEIGHTS, ILLINOIS 60463
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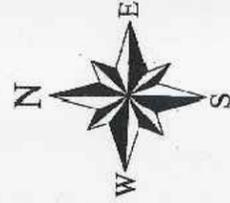
PROJECT SINGLE FAMILY RESIDENCE
 NAME: PROPOSED EXTERIOR IMPROVEMENTS
 PROJECT 2418 PARK PLACE
 ADDRESS: EVANSTON, IL 60201

PLAT OF SURVEY

GEORGE M. MADARAS, ARCHITECT
 11950 S. HARLEM AVE., SUITE 201
 PALOS HEIGHTS, ILLINOIS 60463
 PHONE: 708.974.4747
 EMAIL: GMADARAS@MSN.COM

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ASK-5



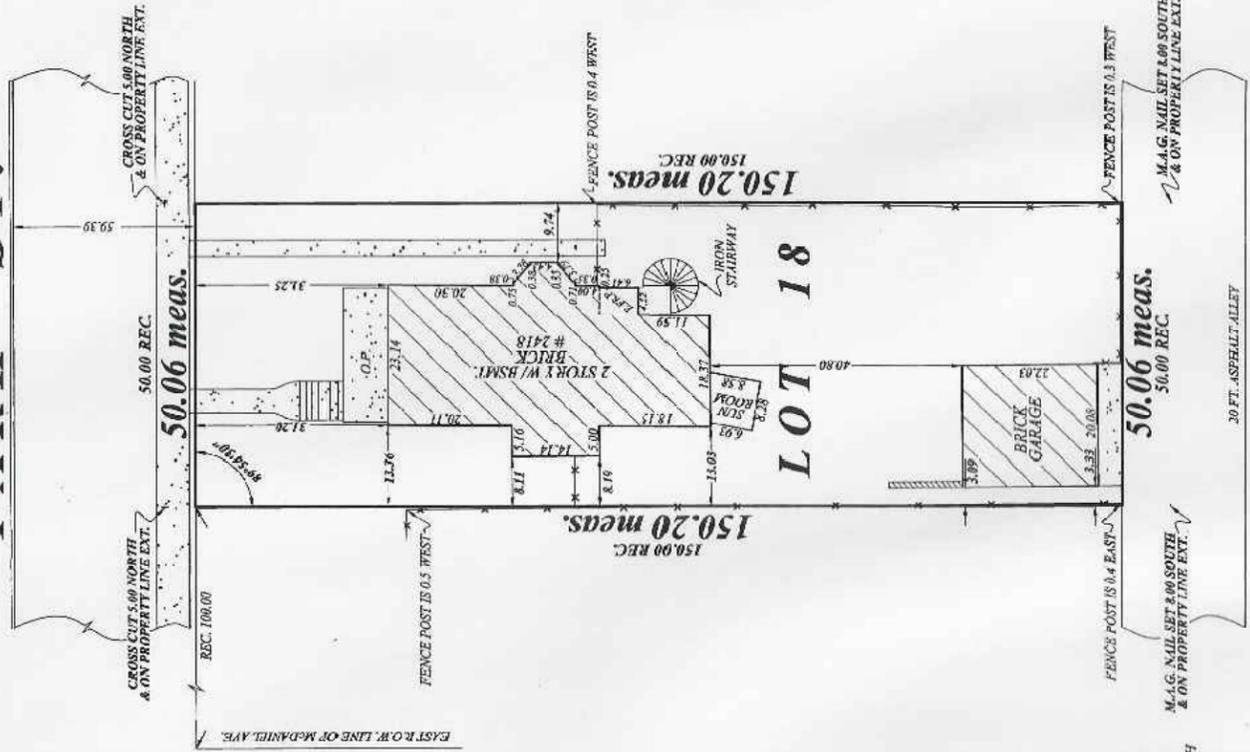
PLAT OF SURVEY

DESCRIBED AS :

LOT 18 IN BLOCK 2 IN JOHN CULVER'S ADDITION TO NORTH EVANSTON IN TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL LAND AREA: 7519 SQ. FT.

PARK ST.



- LEGEND**
- - - - - CHAIN LINK FENCE
 - - - - - WOOD FENCE
 - - - - - IRON FENCE
 - - - - - CONCRETE PAVEMENT
 - - - - - ENCLOSED FRAME PORCH
 - - - - - OPEN FRAME PORCH
 - - - - - SIDE BOUNDARY LINE
 - - - - - EASEMENT LINE
 - - - - - BLDG. SETBACK LINE
 - - - - - CENTER LINE

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

SCALE: 1" = 20'

ORDERED BY: KATHERINE D. MARYNIA

JOB NO: 2203104

FIELDWORK COMPLETION DATE: MARCH 6TH 2020

MUNICIPALITY: EVANSTON

STATE OF ILLINOIS

COUNTY OF COOK

SS

SIGNATURE DATE: MARCH 10TH 2020

ANDRZEJ MURZANSKI AN ILLINOIS REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT HEREBY DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

ANDRZEJ MURZANSKI P.L.S. NO. 35-3258 EXPIRES 11/30/2020

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ANY DISCREPANCY IN MEASUREMENT SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THIS PLAT REFER TO YOUR ABSTRACT, DEED, TITLE POLICY AND LOCAL BUILDING REGULATIONS.



ANDRZEJ MURZANSKI
 LAND SURVEYORS, INC
 PROFESSIONAL DESIGN FIRM
 NO. 184-004748

240 COUNTRY LANE
 GLENVIEW, IL 60025
 PHONE : 847-486-8731
 FAX : 847-486-8732
 amurzanski@outlook.com

Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 2418 Park Pl. , Evanston, IL, 60201	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Patrick Jean-Jacques	Address: 2418 Park Pl.
City: Evanston State: Illinois Zip: 60201	Phone: 773-642-2772 Email/Fax: pjeanjac@gmail.com
3) Architect's Name: George M. Mandaras	Address: 11950 S. Harlem Ave., Suite 201
City: Palos Heights State: Illinois Zip: 60463	Phone: 708-974-4747 Email/Fax: gmandaras@msn.com
4) Contractor's Name: Christian Blancas	Address: 2111 W. Birchwood Ave.
City: Chicago State: Illinois Zip: 60645	Phone: 773-707-3984 Email/Fax: cb1ancas3898@gmail.com
5) Landmark: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No; If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires: <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only. Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

I am building a double level deck at the rear of the home. I have made a concerted effort to maintain the architectural style of the home. While doing this, we will be demolishing the spiral staircase in the rear, discreetly closing windows with masonry infills and adding sliding doors at the rear of the home.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: Masonry Infills and addition of aluminum clad rear sliding doors	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed				
<input type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Fences Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____			
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		Roofing Material Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Fascias, Soffits, Rakeboards, Trim Wood Metal Synthetic Material, Type: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Terraces, Patios, Decks Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: _____		
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>			Chimney Material Brick Stone Stucco Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Door Material Wood Metal Clad Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Material Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____	
<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>				Gutters/Downspouts Copper Aluminum Galvanized Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Window Type Double Hung Casement Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): Air Conditioning Unit
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Muntins Not existing True divided lights Simulated divided lights				<input checked="" type="checkbox"/>	<input type="checkbox"/>	Window Material Wood Aluminum Steel Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>			<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
4) Applicant's Signature: <u>Patrick Jean-Jacques</u>						Date: 4/28/2022					
Print Name: Patrick Jean-Jacques											
Proceed to Section C if you are requesting a zoning or fence variation and/or s special use . Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].											

Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS: Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: (submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)	
A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts (Briefly explain below/attach a separate sheet if necessary).	
B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation (Briefly explain below/attach a separate sheet if necessary).	
C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98). (Briefly explain below/attach a separate sheet if necessary).	
4) Applicant's Signature: _____ Print Name:	Date:

NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

Adopted October 19, 2004/Updated March 30, 2021

Page 4 of 4

SUPPLEMENTAL INFORMATION
COA Application Checklist

Submit one (1) digital copy in PDF format of the same as follows:

- APPLICATION FOR PRESERVATION REVIEW** - To process your application,
- ELEVATIONS/SITE PLANS/DRAWINGS** to scale including dimensions (not to exceed 11" x 17" paper size).
- CHANGES TO THE EXTERIOR INCLUDING CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS - SEE ADDITIONAL INFORMATION REQUIRED FOR WINDOW CHANGES (BELOW)**

Provide an **exterior elevation** of each façade involved, showing the existing and proposed appearance (preferably on the same sheet for each facade) with the new items/areas clearly identified.

 - Site plan with the existing footprint of the primary structure(s) clearly showing the side(s) being altered.
 - If the changes also include a **change in the footprint**, provide a **site plan** clearly showing the location of proposed change, setback dimensions, existing and proposed lot coverage, existing and proposed setbacks, location and height of existing and proposed fences, parking, and landscape design (if any).
- ADDITIONS, NEW CONSTRUCTION/DEMOLITION**
 - If a major alteration, construction or demolition is planned, City staff will notify neighbors within 250 feet of the subject property at least five (5) business days prior to the Preservation Commission hearing to allow neighbors to comment on the proposal at the meeting. The applicant is responsible for providing to City staff the filled out Certification and Notice along with the updated list of names and addresses of current owners/taxpayers in Excel format. City staff will provide the initial list (Excel file) of names and addresses to the applicant with the instructions.
 - **Exterior elevations**, showing building materials, height and width of proposed structure in the context of existing primary structure and/or the immediate surroundings.
 - **Site Plan** clearly showing the location of proposed structure, existing and proposed lot coverage, proposed setbacks and their dimensions, location and height of proposed fences, parking, and landscape design (if any).
 - **Roof Plans** - Provide roof plans to scale including dimensions.
 - **3D drawings, models** (for new construction and substantial additions)
 - **Photos of existing building, structure, site, fence or object in context with the immediate structures on the block.**
- LAND-ALTERING ACTIVITY** - Full **description and illustrations** including berming, re-grading, excavation, walkways, patios, and alteration of seawalls, etc.
- FENCES - Site plan** with fence location(s) clearly identified. Also, **illustration(s)** of existing and or proposed fence indicating the material, the height, and length (to scale). If zoning variance or fence variance is required, see section immediately below.
- ZONING VARIANCE FOR ADDITIONS, NEW CONSTRUCTIONS, FENCE VARIANCE**
 - Fully completed Part C of the COA application
 - Zoning Analysis Summary as prepared by the Zoning Division
 - Fully completed Zoning or Fence Variation Application as submitted to the Zoning Division
- SPECIAL USE** - Special Use Application as submitted to the Zoning Division
- PLANNED DEVELOPMENT** - Planned Development Application as submitted to the Zoning Division, including: Zoning Analysis, General Information Form, Special Use Application, Executive Summary and Aerial Photograph, Zoning Comparison, Number of Units, Unit Mix and Description, Statement in Support of Proposal Survey, Development Plan, Preliminary Civil Engineering Plan and Preliminary Landscape Plan

SUPPORTING INFORMATION - Any information you feel would enhance your application (e.g., photos, letters of support from neighbors, scale models, material samples, etc.). Photos of elevations, proximity to neighbors and any other information must show significant detail and/or context to be replicated. Details must be visible on printouts of digital photos and black and white copies of photos.

ADDITIONAL INFORMATION REQUIRED FOR CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS (Use same example for windows found in the “sample of supplemental window drawings” document under additional resources on the Commission website.)

- Clear photographs of existing windows. When windows are boarded over, remove boards from typical windows in order to take photographs.
- Drawings showing the elevation and horizontal and vertical sections of existing historic windows. Include muntins, mullions, transoms, and other window components (see examples below). For historic steel industrial windows that contain operable units, drawings must include this feature.
- Drawings showing the elevation and horizontal and vertical sections of proposed replacement windows. In the case of a hung window, provide section drawings of both the upper and lower sash, including meeting rail. For replacement steel windows, include sections of both operable and fixed units. See note below regarding manufacturers’ standard cut sheets.
- Drawings should be at the same scale and large enough to clearly show construction details. Scale should be provided, measurements noted, and materials indicated for the main components of the window.
- Drawings of the existing historic window should be accurate, based on field measurements. Examples of window drawings are shown below. Add the dimensions of existing windows and proposed windows.
- Replacement windows must accurately replicate the appearance of existing historic windows. Manufacturers’ standard cut sheets usually are not an adequate substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project. In small projects where windows are being replaced and the historic or existing window is simple in design, manufacturers’ standard cut sheets may be substituted for actual section drawings of the proposed window provided there is sufficient detail for review.
- Window sections must show the profiles of muntins, meeting rails, sash, frames, moldings, and other features. Construction details must be apparent, including joinery. For all projects, the window’s relationship to the existing wall plane must also be provided for both the existing historic windows, when present, and the proposed replacement window

NOTE: The deadline for submission of Certificate of Appropriateness applications is the **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of the month (except when marked with * on Page v below). However, dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).



Zoning Analysis

Summary

Case Number:

Case Status/Determination:

21ZONA-0117	Compliant
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Proposal:

2-story deck to rear of house

Site Information:

Property Address	2481 Park Place	Zoning District	R1
Overlay District:	None	Preservation District:	No

Applicant	Patrick Jacques	Jean-
Phone Number	(773) 642-2772	


8/24/2021

 Signature Date

General Comments:

1. The subject property is Landmark property and the proposed improvements require review and approval by the Preservation Commission. The Commission will request information pertaining to the materiality of the proposed doors and windows at the rear and also the railing system so they can ensure this meets the standards for review.
2. For reference, additional resources as well as the standards for review can be found on the HPC website here: <https://www.cityofevanston.org/government/departments/community-development/planning-zoning/historic-preservation/preservation-commission>.

Recommendation(s): Click on the link(s) below to access online application(s)

1. [Submit for building permit.](#)
2. [Submit a Major Work Certificate of Appropriateness application.](#)

City of Evanston

ZONING ANALYSIS REVIEW SHEET

APPLICATION STATUS: Closed/Compliant August 24, 2021

RESULTS OF ANALYSIS: Compliant

Z.A. Number: 21ZONA-0117
Address: 2418 PARK PL
Applicant: Patrick Jean-jacques
Phone: 7736422772

Purpose: Zoning Analysis without Bld Permit App
District: R1 **Overlay:** None **Preservation:** Not Within
Reviewer: Katie Ashbaugh **District:**

THIS APPLICATION PROPOSES (select all that apply):

- New Principal Structure
- New Accessory Structure
- Addition to Structure
- Alteration to Structure
- Retention of Structure
- Change of Use
- Retention of Use
- Plat of Resubdiv./Consol.
- Business License
- Home Occupation

ANALYSIS BASED ON:

Plans Dated: 8/2020
Prepared By: Frederick Lam
Survey Dated: 3/10/2020
Existing Improvements: single-family house, detached garage

Proposal Description:
 Two-story deck

ZONING ANALYSIS

RESIDENTIAL DISTRICT CALCULATIONS

The following three sections apply to building lot coverage and impervious surface calculations in Residential Districts.

<u>Front Porch Exception (Subtract 50%)</u>	<u>Pavers/Pervious Paver Exception (Subtract</u>	<u>Open Parking Debit (Add 200sqft/open space</u>
Total Elible	Total Paver Area	# Open Required Spaces
Front	Paver Regulatory Area	Addn. to Bldg Lot Cov.
Front Porch		
Regulatory Area		

PRINCIPAL USE AND STRUCTURE

	Standard	Existing	Proposed	Determination
USE:	R1	Dwelling - SF Detached		Compliant
Comments: no change				
Minimum Lot Width (LF)	35	50.06		Compliant
USE: Single Family Detached				
Comments: no change				
Minimum Lot Area (SF)	7200	7519		Compliant
USE: Single Family Detached				
Comments: no change				
Dwelling Units:	1	1		
Comments:				
Rooming Units:				
Comments:				
Building Lot Coverage (SF) (defined, including subtractions& additions):	30%	1844.1455 24.52647293523075%	1994.15 26.52%	Compliant
Comments:				

LF: Linear Feet SF: Square Feet FT: Feet

	Standard	Existing	Proposed	Determination
Impervious Surface Coverage (SF, %)	45%	2208.3455	2393.86	Compliant
		29.4%	31.8%	

Comments:

Accessory Structure Rear Yard Coverage:	40% of rear yard	13.2%		Compliant
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Comments: no change

Height (FT)

Comments:

Front Yard(1) (FT)	27	31.2		Compliant
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Direction: N

Street: Park

Comments: no change

Front Yard(2) (FT)

Direction: Does Not

Apply

Street:

Comments:

Street Side Yard (FT)

Direction: Does Not

Apply

Street:

Comments:

Interior Side Yard(1) (FT)	5	8.11		Compliant
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Direction: W

Comments: no change

Interior Side Yard(2) (FT)	5	9.74		Compliant
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Direction: E

Comments: no change

Rear Yard (FT)	30	66.8		Compliant
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Direction: S

Comments: no change

ACCESSORY USE AND STRUCTURE

Use (1)	Standard	Existing	Proposed	Determination
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Permitted Districts:	R1	None	Deck or Patio (raised)	Compliant
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Comments:

Permitted Required Yard:		None	Rear Yard	Compliant
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Comments:

Additional Standards:

Comments:

Height (FT)	Flat or mansard roof 14.5', ot		15.5	Compliant
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Comments:

LF: Linear Feet SF: Square Feet FT: Feet

	Standard	Existing	Proposed	Determination
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Front Yard(1B) (FT)

Direction: Does Not

Apply

Street:

Comments:

Street Side Yard (FT)

Direction: Does Not

Apply

Street:

Comments:

Interior Side Yard(1A) (FT)

3

15.5

Compliant

Direction: W

Comments:

Interior Side Yard(1B) (FT)

3

18.6

Compliant

Direction: E

Comments:

Rear Yard (FT)

3

56.4

Compliant

Direction: S

Comments:

COMMENTS AND/OR NOTES

Analysis Comments

RESULTS OF ANALYSIS

Results of Analysis: This Application is **Compliant**

Site Plan & Appearance Review Committee approval is: **Not Required**

See attached comments and/or notes.

Katie Ashbaugh

8/24/2021

SIGNATURE

DATE

**548 Judson Avenue
Lakeshore Historic District - 19PRES-0262**

Maria Nanos, owner, seeks approval of substantial modifications to a previously approved Certificate of Appropriateness, 19PRES-0262, for construction of a new two-story single-family residence and detached two-story coach house and garage. Alterations primarily include changes to the structures roof form, pattern of fenestration including window locations, sizes, and operating style, exterior cladding, and front-porch dimension and detailing.

Applicable Standards: Construction [1-8; and 10-16]



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 548 Judson Avenue – 19PRES-0262
Date: May 5, 2022

Project Description

548 Judson Avenue – Lakeshore Historic District – 19PRES-0262

Maria Nanos, owner, seeks approval of substantial modifications to a previously approved Certificate of Appropriateness, 19PRES-0262, for construction of a new two-story single-family residence and detached two-story coach house and garage. Alterations primarily include changes to the structures roof form, pattern of fenestration including window locations, sizes, and operating style, exterior cladding, and front-porch dimension and detailing.

Applicable Standards: Construction [1-8; and 10-16]

Background

In February of 2020, the applicant presented and received unanimous approval for demolition of the existing single-story home located on the property, and construction of a new two-story single-family home and detached two-story accessory dwelling unit located in the rear yard. The applicant has since demolished the previously existing home, and started construction.

Upon receiving post-permit revisions for the project, City staff determined that the modifications proposed were substantial in nature although the overall spirit of the original design was still present. Changes include altering the roof form, window locations, window operating style, and exterior cladding. Under the Commissions Rules and Procedures, Article 4, Section 4, modifications that constitute a substantial change, “the applicant must treat the application for post-permit revisions as a new application, appearing before the Commission.” The Commission may thus review the project as if it were being received for the first time, and apply the standards for review of construction for all aspects of the project.

The application for COA submitted treats the “existing column” as the previously approved proposal, and the “proposed column” as the post-permit revisions before the Commission for review. Staff has asked the applicant to provide the originally approved elevations with revision clouds on proposed changes, followed by the proposed elevations. The full set of post-permit revisions has also been included for review as well as the minutes from February 2020.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.
10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.
11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.
12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment

should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

16. *New Construction.* In considering applications for new construction, such as a new freestanding structure, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.



Application for Preservation Review of Certificate of Appropriateness (COA)

Binding Review of Certificate of Appropriateness (COA) &

Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments

Thank you for submitting your COA application for Preservation Review. This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way. To process your application, submit no less than **15 business days** before the next scheduled Preservation Commission meeting the following: one **(1) hard copy** of the fully completed application and attachments including: plat of survey, site plan, elevation drawings of the existing and proposed, **3D drawings** of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size); and one **(1) digital copy in PDF format of the same**. The Preservation Commission meetings are on the **second Tuesday** of the month. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. The submission of the completed COA **15 business days** prior to the next scheduled meeting date allows the City staff's review of the application and to provide the applicant feedback on the completeness of the COA application. **Incomplete applications will not be accepted.** Refer to the **Supplemental Information**, pages (i - iv) below.

Applications can be submitted in person, by regular mail, electronically via email at cruiz@cityofevanston.org or in a flash drive to the Preservation Coordinator, City of Evanston, Community Development Department, Planning & Zoning Division, Lorraine H. Morton Civic Center, 2100 Ridge Avenue, Room 3201, Evanston, Illinois 60201.

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Depending on the case load and during construction season, zoning analysis may take longer. Applicants must give themselves enough time to request a zoning analysis to meet deadlines.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Preservation Commission meets on the **second Tuesday** of the month [see schedule on page (v) below].

Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) *Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 548 Judson	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Maria Nanos and Lynn Briskin	Address: 750 Florence
City: Evanston State: IL Zip: 60202	Phone: 773-551-3652 Email/Fax: mnanos@yahoo.com
3) Architect's Name: Thomas Buckley	Address: P.O Box 95624
City: Hoffman Estates State: IL Zip: 60195	Phone: 847-310-9530 Email/Fax:
4) Contractor's Name: 3CC Chicago / Bryan Thomas	Address: 2516 Waukegan Rd
City: Glenview State: IL Zip: 60025	Phone: 847-361-9490 Email/Fax:
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No *Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;	
If yes, <input checked="" type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires:	
<input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.	
Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

Good afternoon,

Minor changes were made to the "existing" plans approved in 2020. Changes are the front porch (wall added), window removal (for security and aesthetics), window function (casement for efficiency) and roof line (Gable removed). Attached are pages AA, BB etc. "existing" pages followed by the "proposed." These minor changes seemed to fit the style of the house and integrity of the neighborhood.

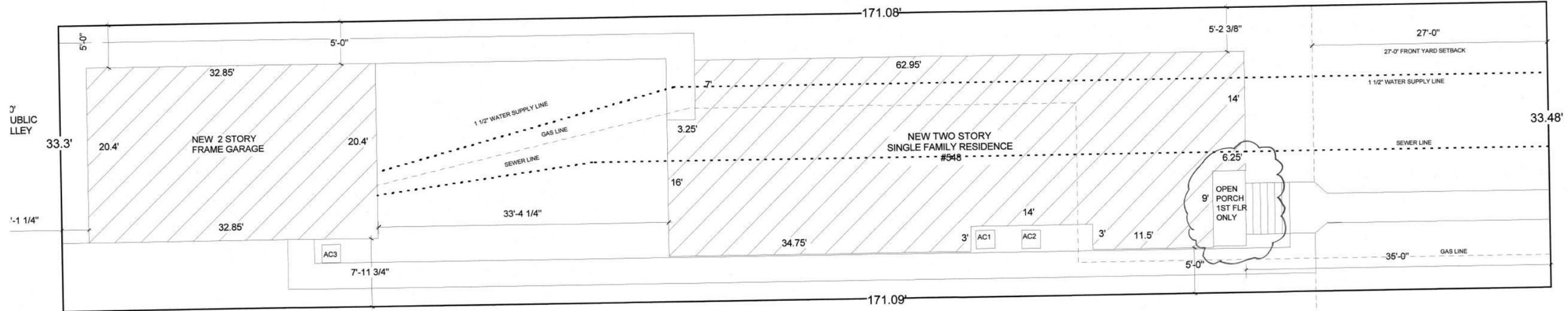
We are excited to complete our home. Thank you all for your time.

Maria Nanos and Lynn Briskin

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Demolition	<input type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.									
Existing	Proposed		Existing	Proposed		Existing	Proposed		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Hardie Board Other: <small>Interior front porch 6" alum, wood grain</small>	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fences Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____	
<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>		Fascias, Soffits, Rakeboards, Trim Wood Metal Synthetic Material, Type: _____ Wood synthetic Other: _____	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		Driveway Material Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): <input type="checkbox"/> <input type="checkbox"/> Air Conditioning Unit <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		Roofing Material Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Door Material Wood Metal Clad Other: _____	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>		Chimney Material Brick Stone Stucco Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Window Type Double Hung Casement Other: storms	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		Gutters/Downspouts Copper Aluminum Galvanized Sheet Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Window Material Wood Aluminum Steel Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	Muntins Not existing True divided lights Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
4) Applicant's Signature: <u>Dr. Maria Nanos</u> <small>Digitally signed by Dr. Maria Nanos Date: 2022.04.19 13:17:29 -0500</small>						Date: 4-19-22			
Print Name: Maria Nanos									
Proceed to Section C if you are requesting a zoning or fence variation and/or special use . Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].									



SITE PLAN
SCALE 1" = 10'-0"



NO.	PAGE #	CHANGE MADE	CHANGES SHOWN ON PAGE#	
1	C1	SITE PLAN	REDUCED FRONT PORCH FROM 12'-0" X 10'-0" TO 5'-0" X 10'-0"	C2 SITE PLAN
2	A1.0	BASEMENT PLAN	RELOCATE CENTER WALL 2'-0" SOUTH AND REMOVE HASLL CLOSET	A1.01 BASEMENT FLR PLANS
3	A1.0	BASEMENT PLAN	1'-0" WIDE BY 1'-0" DEEP CONCRETE FOOTING UNDER WALL SUPPORTING FLOOR JSTS ABOVE	A1.01 BASEMENT FLR PLANS
4	A1.0	BASEMENT PLAN	REMOVE SMALL WINDOW IN BASEMENT BEDROOM	A1.01 BASEMENT FLR PLANS
5	A1.0	BASEMENT PLAN	BASEMENT BATHROOM DOOR OPEN TO HALLWAY NOT BEDROOM	A1.11 FIRST FLR PLAN
6	A1.1	FIRST FLOOR PLAN	REDUCED FRONT PORCH FROM 12'-0" X 10'-0" TO 5'-0" X 10'-0"	A1.11 FIRST FLR PLAN
7	A1.1	FIRST FLOOR PLAN	REDUCE AREA OF HALLWAY FROM BATHROOM TO STUDY AND ADD SMALL CLOSET TO STUDY	A1.11 FIRST FLR PLAN
8	A1.1	FIRST FLOOR PLAN	REMOVE WINDOW IN LIVING ROOM	A1.11 FIRST FLR PLAN
9	A1.1	FIRST FLOOR PLAN	GARAGE: CHANGE TWO 8'-0" WIDE OVER-HEAD GARAGE DOOR TO ONE 16'-0" WIDE OVER-HEAD GARAGE DOOR	A1.11 FIRST FLR PLAN
10	A1.1	FIRST FLOOR PLAN	GARAGE: REMOVE CENTER WALL DIVIDING PARKING AREA	A1.11 FIRST FLR PLAN
11	A1.1	FIRST FLOOR PLAN	GARAGE: EXTEND NORTH SOUTH WALL TO DIVIDE PARKING AREA	A1.11 FIRST FLR PLAN
12	A1.1	FIRST FLOOR PLAN	GARAGE: REMOVE SMALL WINDOWS ON FIRST FLOOR	A2.1 SECOND FLR PLAN
13	A1.2	2ND FLOOR PLAN	RELOCATE FIXTURES TO OPPOSITE WALL	A2.1 SECOND FLR PLAN
14	A1.2	2ND FLOOR PLAN	ADD SECOND LAVATORY TO VANITY	A2.1 SECOND FLR PLAN
15	A1.2	2ND FLOOR PLAN	GARAGE: REPLACE 42" HIGH WALL FOR RAILING AROUND STAIRWELL	A1.31 ROOF PLANS
16	A1.3	ROOF PLAN	CHANGE ALL DIMENSIONAL FRAMING FOR ROOF TO ENGINEERED 2X4 WOOD TRUSSES	A2.01 HOUSE ELEVATIONS
17	A2.0	HOUSE ELEVATIONS	SHORTEN FRONT PORCH FROM 12'-0" LONG TO 6'-0" LONG	A2.01 HOUSE ELEVATIONS
18	A2.0	HOUSE ELEVATIONS	SOUTH ELEVATION: REMOVE THREE WINDOWS DOWN FRONT STAIRS AND REPLACE WITH ONE AT THE TOP OF THE STAIR AS SHOWN A2.01 HOUSE ELEVATIONS	A2.01 HOUSE ELEVATIONS
19	A2.0	HOUSE ELEVATIONS	WEST ELEVATION REMOVE SIDELIGHT NEXT TO BACK DOOR	A2.01 HOUSE ELEVATIONS
20	A2.0	HOUSE ELEVATIONS	CHANGE ALL DOUBLE HUNG WINDOWS TO CASEMENTS	A2.01 HOUSE ELEVATIONS
21	A2.0	HOUSE ELEVATIONS	CHANGE FOUNDATION TO CONCRETE PEIRS UNDER KNEEWEL AT BOTTOM OF PORCH STAIRS	A2.01 HOUSE ELEVATIONS A1.31 ROOF PLANS
22	A2.0	HOUSE ELEVATIONS	CHANGE TO ROOF LINE	A2.1 GARAGE ELEVATIONS
23	A2.1	GARAGE ELEVATIONS	NORTH AND SOUTH ELEVATIONS REMOVE ALL WINDOWS ON FIRST FLOOR	A2.1 GARAGE ELEVATIONS
24	A2.1	GARAGE ELEVATIONS	CHANGE ALL DOUBLE HUNG WINDOWS TO CASEMENTS	A3.4 BUILDING SECTIONS A1.31 ROOF PLANS
25	A3.1	BUILDING SECTIONS	CHANGE ALL DIMENSIONAL FRAMING FOR ROOF TO ENGINEERED 2X4 WOOD TRUSSES	A3.4 BUILDING SECTIONS
26	A3.1	BUILDING SECTIONS	REMOVE STAIRS TO BASEMENT IN FRONT AND REPLACE WITH STAIRS FROM REAR ENTRY TO BASEMENT AND TO FIRST FLOOR	A3.4 BUILDING SECTIONS A1.31 ROOF PLANS
27	A3.2	BUILDING SECTIONS	CHANGE ALL DIMENSIONAL FRAMING FOR ROOF TO ENGINEERED 2X4 WOOD TRUSSES	A3.4 BUILDING SECTIONS
28	A3.3	BUILDING SECTIONS	CHANGES MADE TO FRONT PORCH	A3.4 BUILDING SECTIONS
29	A5.11	DOORS, WINDOW EQUIP. & FIXT.	CHANGES TO LIGHT AND VENT, WINDOW, DOOR & EQUIPMENT SCHEDULES & HEAT LOSS SCHEDULE	A5.11 LIGHT & VENT, EQUIPMENT SCHEDULES
30	E1.1	ELECTRICAL PLANS	CHANGES TO ELECTRICAL FIXTURES, RECEPTACLE AND SWITCH LOCATIONS	E1.2 ELECTRICAL FLR PLANS
31	M1.1	MECHANICAL PLANS	CHANGES TO LOCATIONS OF REGISTERS AND GRILLS INCLUDING DUCT SIZES AND LOCATIONS	M1.2 MECHANICAL FLR PLANS
32	P1.1	PLUMBING PLANS	CHANGES TO LOCATIONS OF PLUMBING FIXTURES INCLUDING NUMBER AND LOCATIONS	P1.2 PLUMBING FLR PLANS

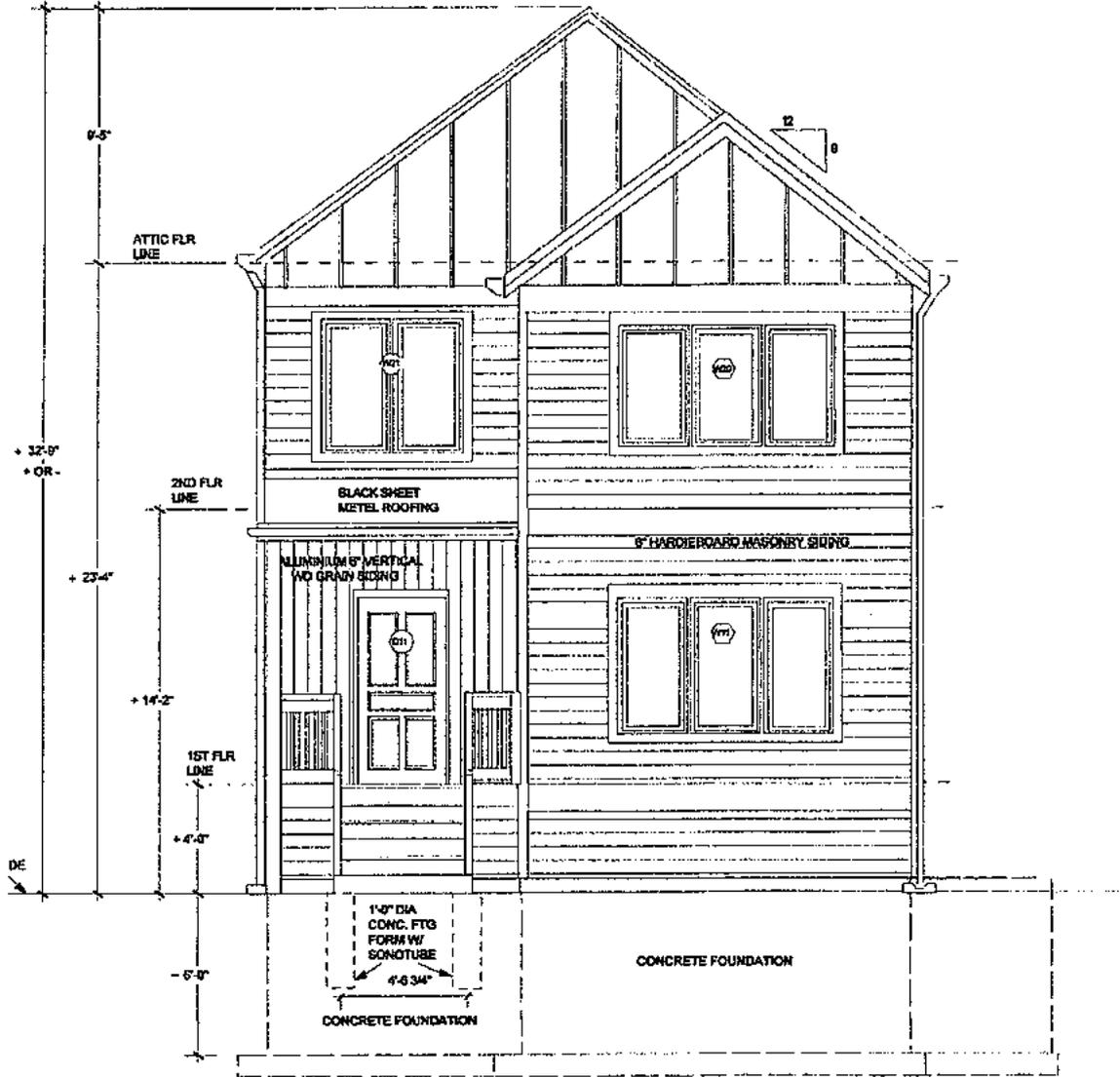
REVISIONS	NANOS - BRISKIN RESIDENCE NEW SINGLE FAMILY RESIDENCE 548 JUDSON STREET EVANSTON ILLINOIS 60202	THOMAS W. BUCKLEY ARCHITECT & ASSOCIATES P.O. BOX 95624, HOFFMAN ESTATES, IL 60195 TEL: 847-310-9530 FAX: 847-310-9539		3 CC CHICAGO 2516 WALKEGAN ROAD, GLENVIEW, IL 60025 (847)-361-9490	SHEET NUMBER A0.1 OF SHEET
JOB #					
DATE					

- 1 AA Existing East elevation front door with transom
- 2 AA Proposed East elevation front door
- 3 BB Existing third gable
- 4 BB Proposed gable removal
- 5 CC Existing open porch deck
- 6 CC Proposed front porch wall to enclose
- 7 DD Existing North elevation windows
- 8 DD Proposed North elevation windows
- 9 EE Existing South elevation double hung window removal
- 10 EE Proposed South elevation casement windows
- 11 FF Existing garage North elevation double hung window removal
- 12 FF Proposed Garage North elevation casement windows
- 13 GG Existing garage South elevation double hung window removal
- 14 GG Proposed garage South elevation casement windows

AA Existing East elevation front door with transom



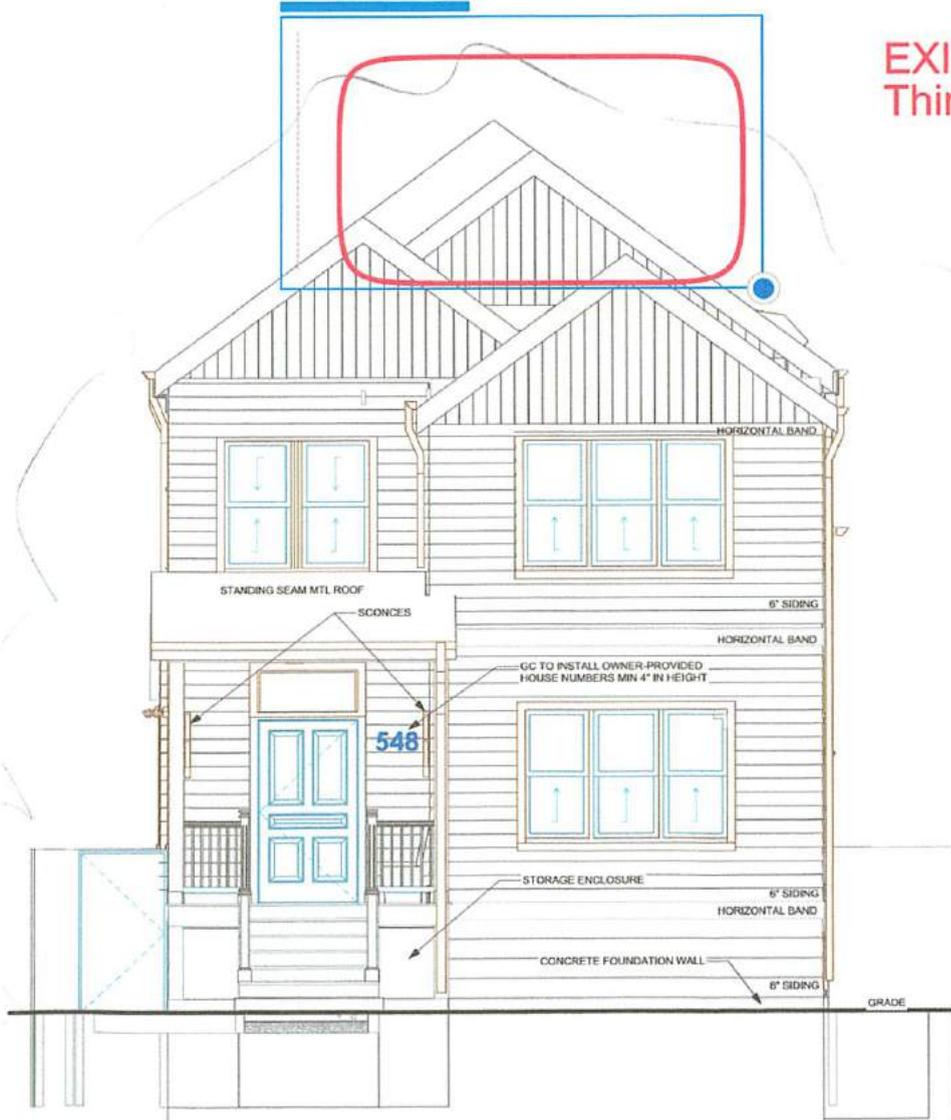
AA Proposed East elevation front door



EAST ELEVATION

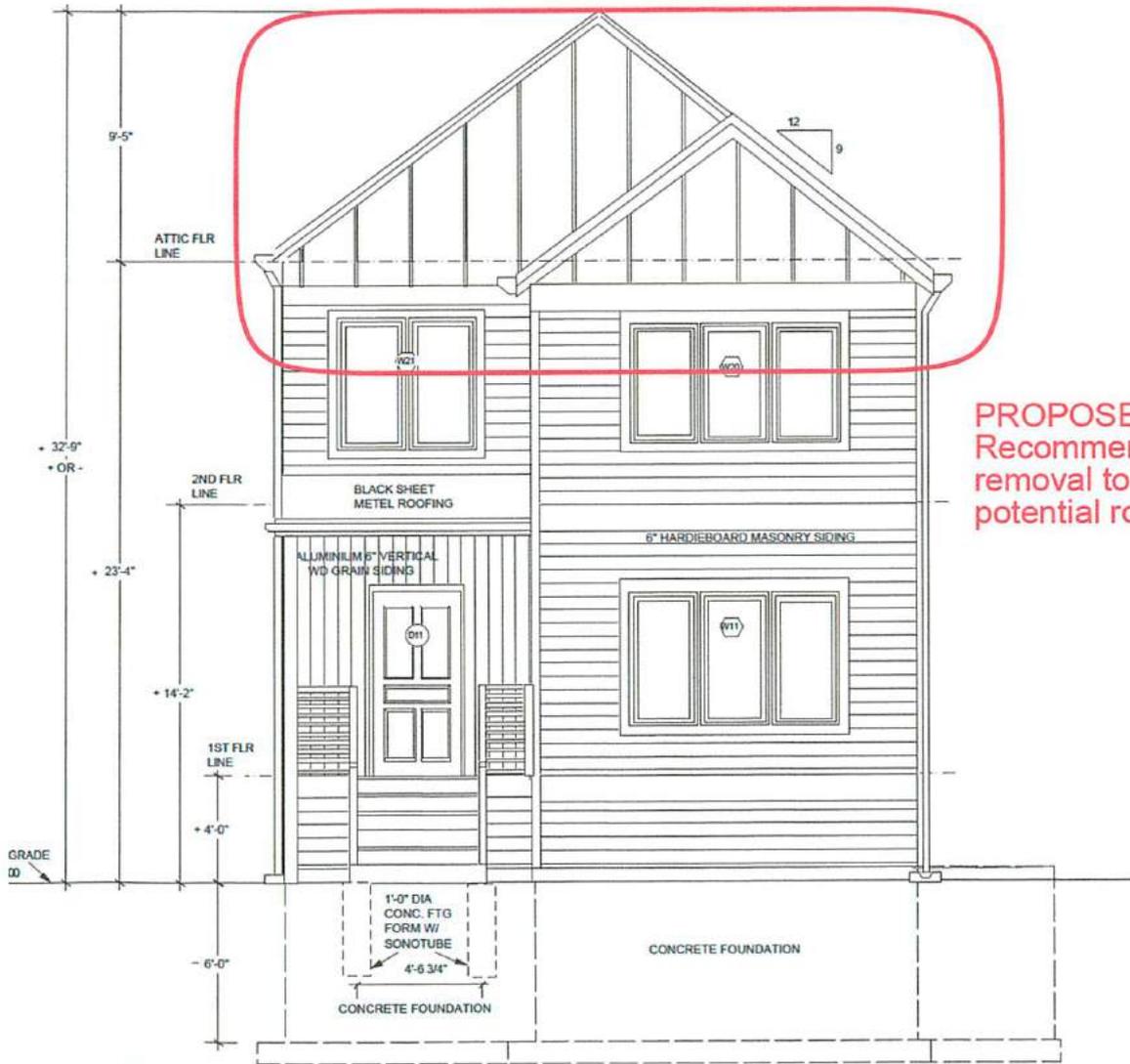
BB Existing third gable

EXISTING:
Third gable



1 HOUSE EAST ELEVATION
SCALE: 1/4" = 1'-0"

BB Proposed gable removal



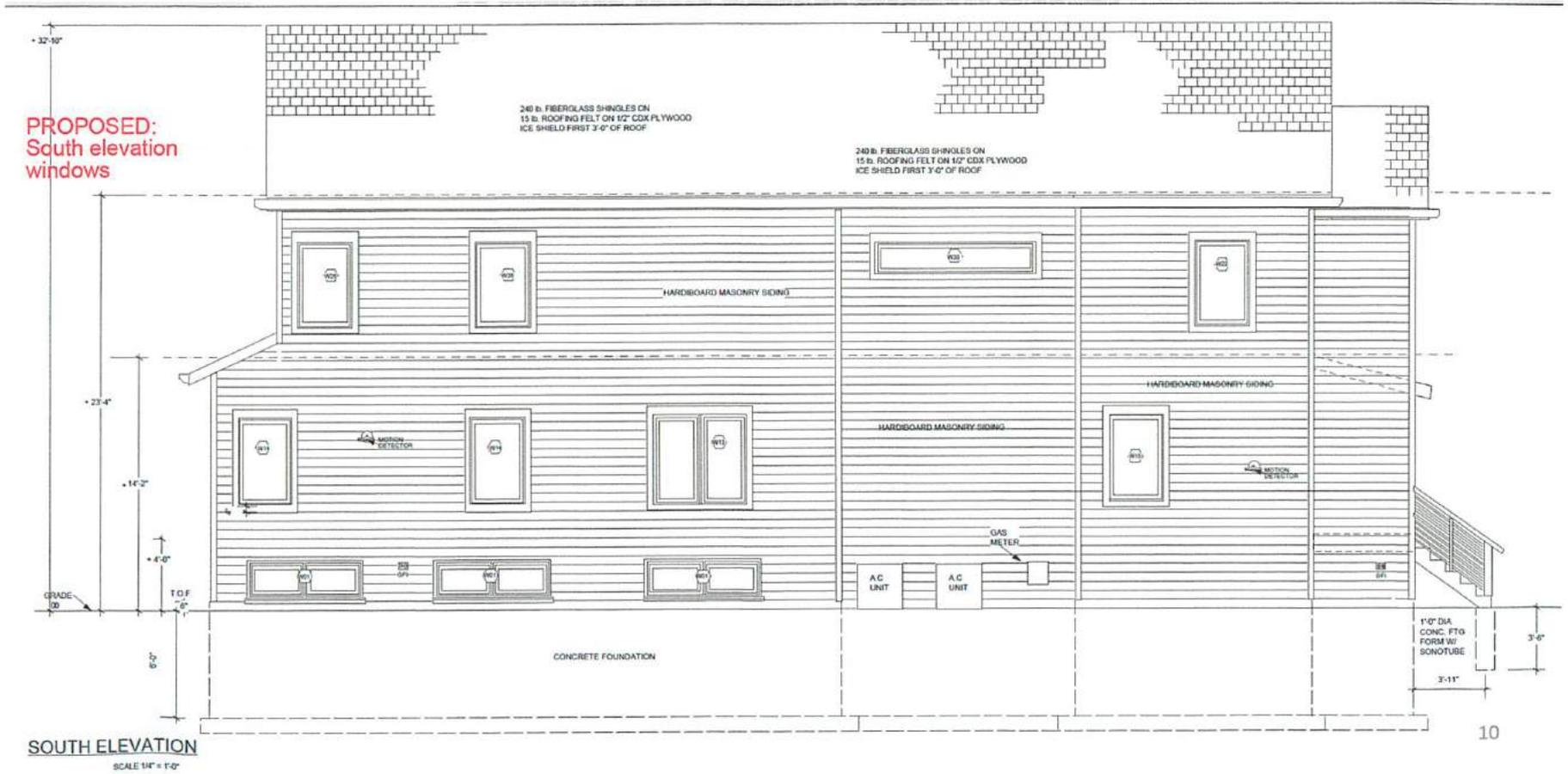
PROPOSED:
Recommended gable removal to reduce potential roof leaks

EAST ELEVATION

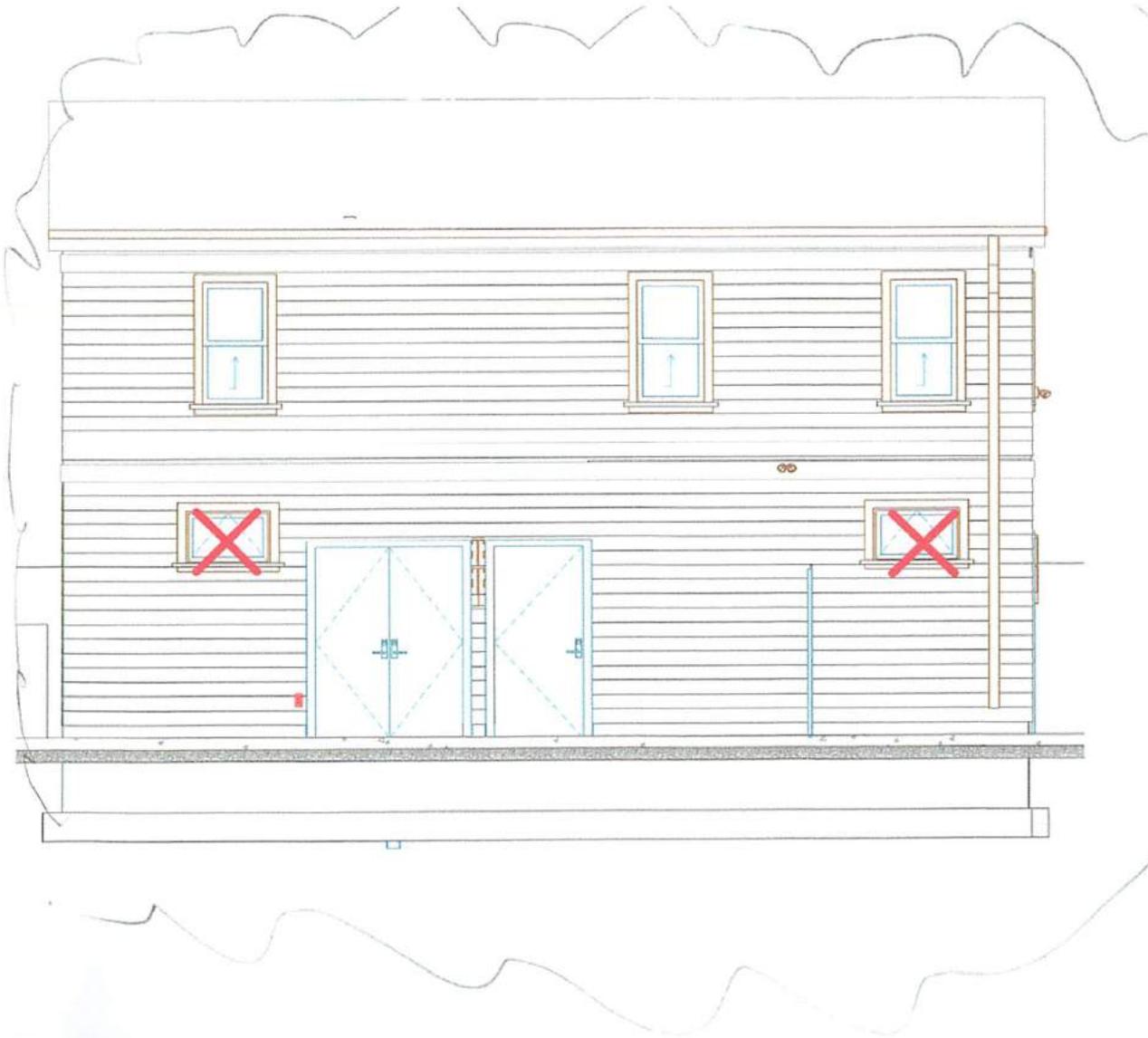
EE Existing South elevation double hung window removal



EE Proposed South elevation casement windows

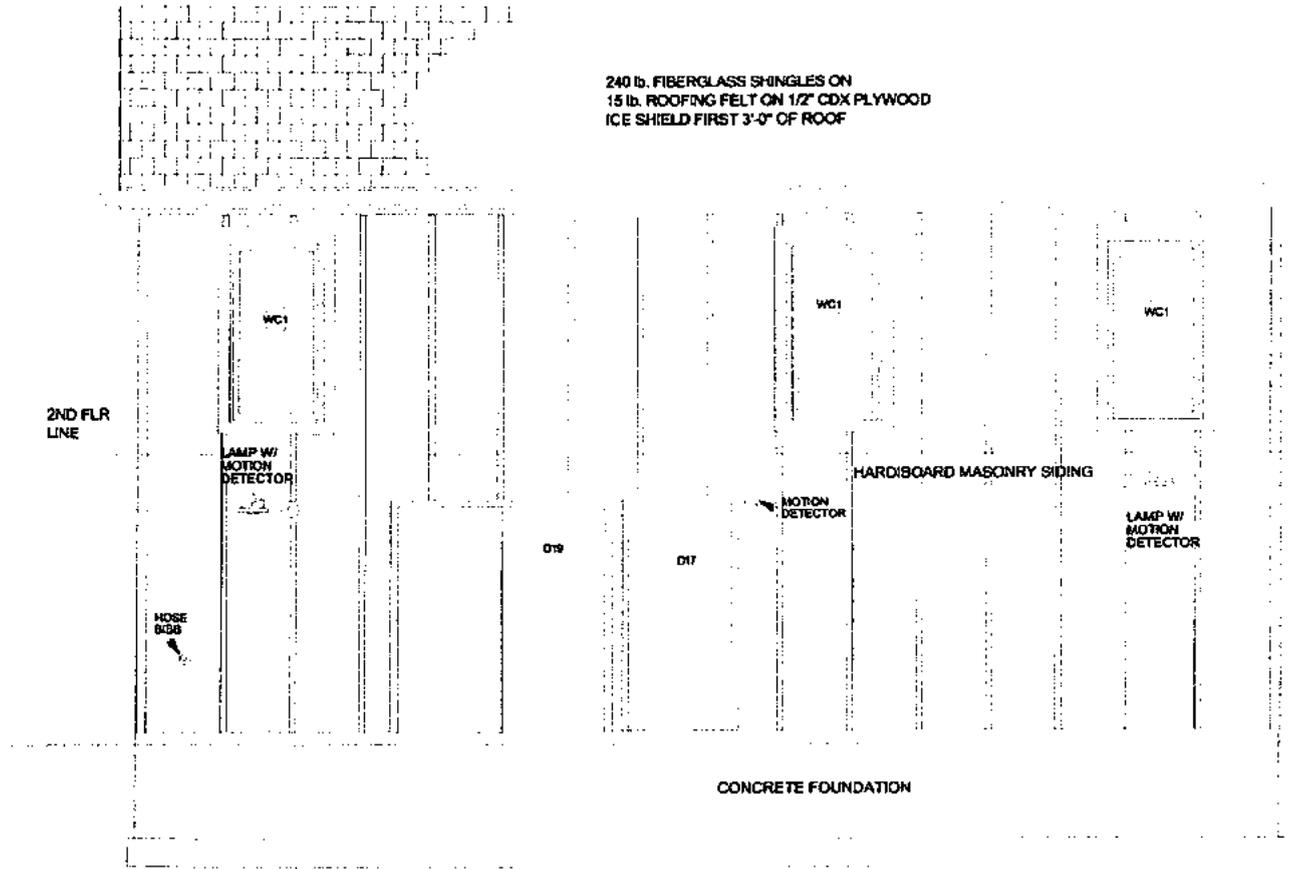


FF Existing garage North elevation double hung window removal



4 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"

FF Proposed Garage North elevation casement windows



GARAGE NORTH ELEVATION

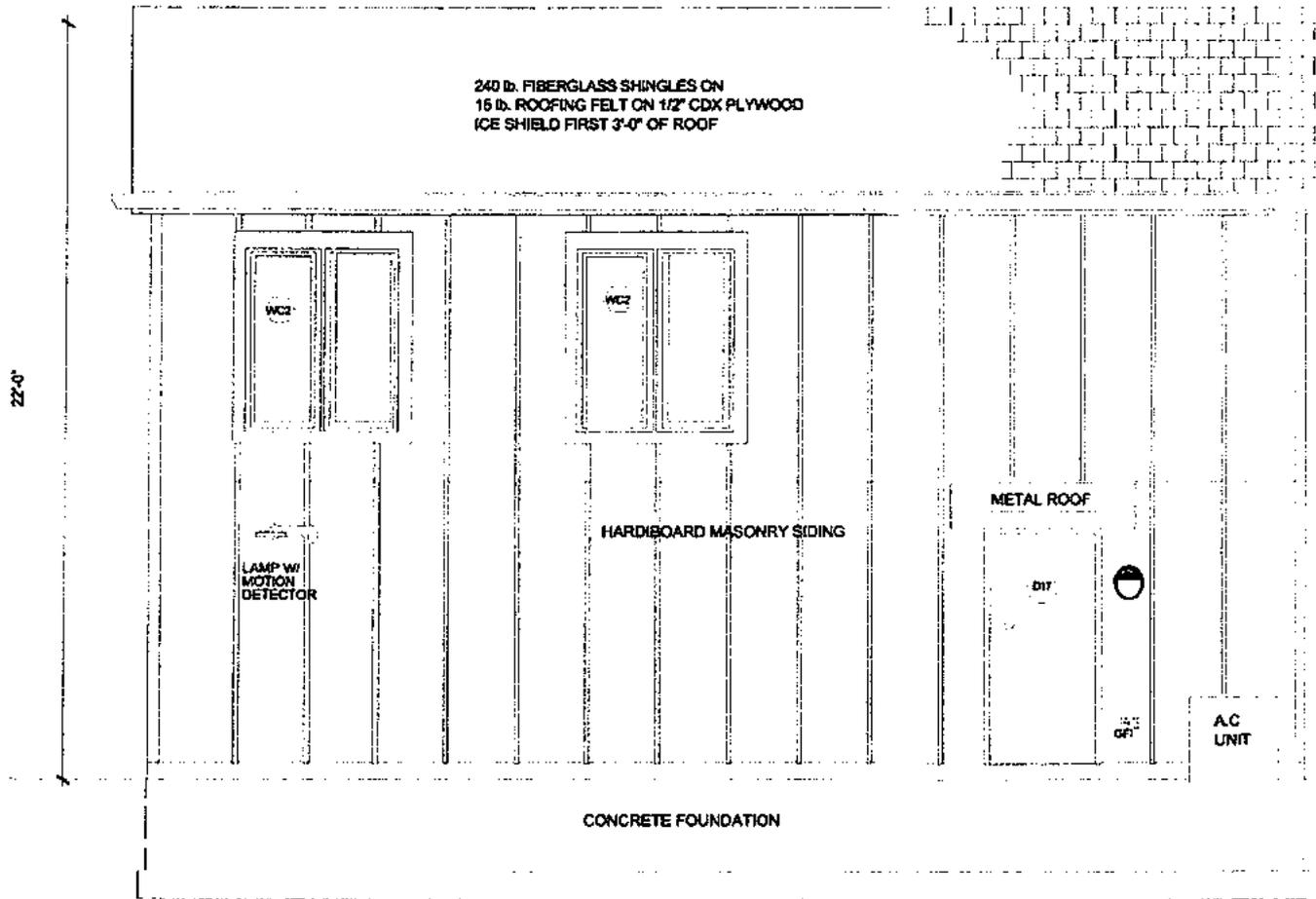
SCALE 1/4" = 1'-0"

GG Existing garage South elevation double hung window removal



3 GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GG Proposed garage South elevation casement windows



GARAGE SOUTH ELEVATION

SCALE 1/4" = 1'-0"

NANOS-BRISKIN RESIDENCE

548 JUDSON STREET

A NEW SINGLE FAMILY RESIDENCE PROPOSED FOR THE
EVANSTON LAKESHORE HISTORIC DISTRICT



MATERIALS

SAMPLES TO BE SUBMITTED AT HEARING

- WHITE PAINT ON SMOOTH FINISH WOOD SIDING AND HORIZONTAL TRIM
- BLACK ALUMINUM DOUBLE HUNG, AWNING, AND CASEMENT WINDOWS
- BLACK PAINTED DOOR, FASCIA, AND POSTS
- NATURAL WOOD FINISH ON WALLS OF ENTRY, PORCH FLOOR BLACK STAINED WOOD
- 6' CEDAR FENCE AND CONCRETE WALKS AND PATIO
- CHARCOAL GRAY ASPHALTIC ARCHITECTURAL ROOF SHINGLES
- BLACK ALUMINUM GUTTERS AND WHITE DOWNSPOUTS

NANOS-BRISKIN RESIDENCE

NEW SINGLE FAMILY RESIDENCE
548 JUDSON STREET
EVANSTON, ILLINOIS 60202

CHRISTOPHER TURLEY, TURLEY ARCHITECTS
2225 W. GIDDINGS STREET, CHICAGO, ILLINOIS 60625
847 492-1617 CHRIS.TURLEY@TURLEYARCHITECTS.COM

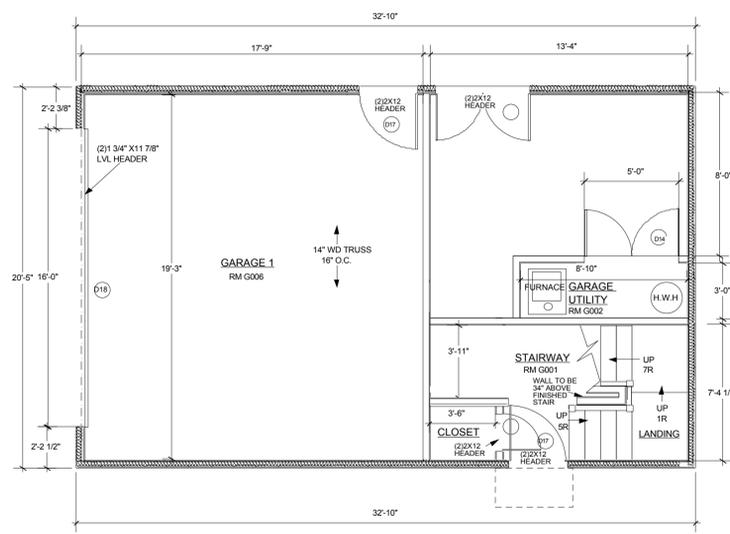
HISTORIC PRESERVATION COMMISSION



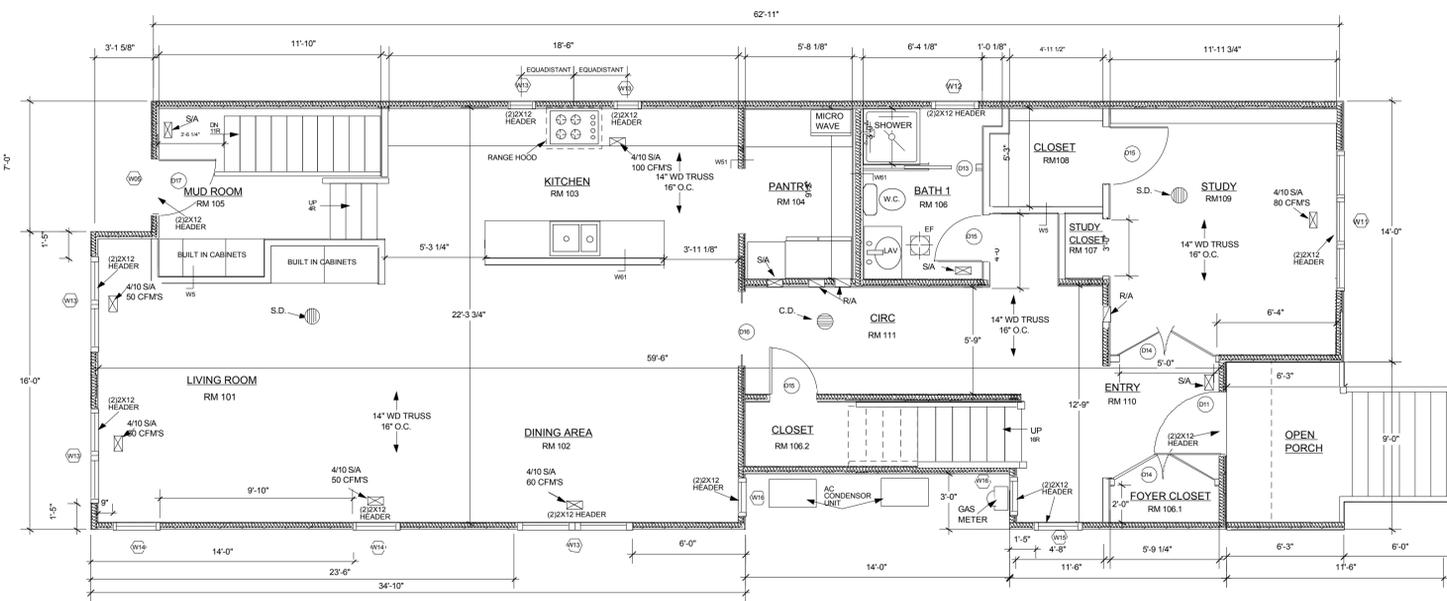
1/10/2020
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TURLEY ARCHITECTS

**COVER
A01.1**





GARAGE FLOOR PLAN AT GRADE
G.F.A. GARAGE FIRST FLOOR
SCALE 1/4" = 1'-0"
673 S.F.



FIRST FLOOR PLAN
FIRST FLOOR G.F.A.
SCALE 1/4" = 1'-0"
1,443 S.F.



NOTE
ALL H.V.A.C. REGISTERS AND GRILLS IN FLOOR OR LOW ON WALLS
ALL EXHAUST FANS SMOKE DETECTORS AND C.M. DETECTORS ARE ON THE CEILING

R E V I S E D
4/6/2022
CITY OF EVANSTON
BUILDING DIVISION
APP.# **20BLDR-0005**

DOOR SCHEDULE						
MARK	LOCATION	TYPE	SIZE	MATERIAL	HARDWARE	COMMENTS
D02	BASEMENT BEDROOM	HINGED	2'-6" X 6'-8" X 1 3/4"	SOLID CORE WD	DEADBOLT	
D03	BASEMENT PANTRY	HINGED	2'-6" X 6'-8" X 1 3/4"	SOLID CORE WD	PASSAGE LOCK	
D04	MACH. ROOM	HINGED	3'-0" X 6'-8" X 1 3/4"	SOLID CORE WD		PROVIDE 24" X 36" LOUVERED PANEL INSET
D11	FRONT ENTRY	HINGED	3'-6" X 7'-0" X 1 3/4"	SOLID CORE WD		
D05	OVER BACK ENTRY	HINGED	4'-1'-0" X 6'-8" X 1 3/4"	SOLID CORE WD		
D13	1ST FLR BATH	SLIDING POCKET	2'-6" X 6'-8" X 1 3/4"	SOLID CORE WD		
D14	STUDY	HINGED	(2) 2'-6" X 6'-8" X 1 3/4"	SOLID CORE WD	PASSAGE LOCK	
D15	BATHROOM LINEN CLOSET	HINGED	2'-6" X 6'-8" X 1 3/4"	SOLID CORE WD	LATCHSET	
D16	KITCHEN DINING RN	SLIDING	(2) 2'-0" X 6'-8" X 1 3/4"	SOLID CORE WD		
D17	REAR ENTRY	HINGED	2'-10" X 6'-8" X 1 3/4"	SOLID CORE WD	DEADBOLT	
D21	2ND FLR BEDROOMS	HINGED	2'-8" X 6'-8" X 1 3/4"	SOLID CORE WD	LATCHSET	
D22	2ND FLR BEDROOM CLOSET	HINGED	2'-4" X 6'-8" X 1 3/4"	SOLID CORE WD		
D23	BEDRM CLOSETS	HINGED	(2) 2'-0" X 6'-8" X 1 3/4"	SOLID CORE WD	PUSH/PULL HANDLE	
D24	2ND FLR GARAGE CLOSETS	HINGED	(2) 1'-4" X 6'-8" X 1 3/4"	SOLID CORE WD	LATCHSET	
D25	2ND FLR GARAGE CLOSETS	SLIDING	(2) 2'-0" X 6'-8" X 1 3/4"	SOLID CORE WD	PUSH/PULL HANDLE	
D26	2ND FLR BATH	SLIDING POCKET	(2) 2'-0" X 6'-8" X 1 3/4"	SOLID CORE WD	PUSH/PULL HANDLE	
D18	OVERHEAD GARAGE DOOR	SECTIONAL ROLL UP	16'-0" X 7'-0"	SOLID CORE WD		
D19	GARAGE ENTRY	HINGED	(2) 2'-16" X 6'-8" X 1 3/4"	SOLID CORE WD	DEADBOLT	

NOTE UNDERCUT ALL BEDROOM DOORS 1 7/8" ABOVE FLOOR

WINDOW SCHEDULE							
MARK	LOCATION	TYPE	SIZE	R.O.	LIGHT	VENT	COMMENTS
W01	BASEMT BEDRM	AWNING	49'-23 5/8"	49" X 23 5/8"	7.8 S.F.	7.8 S.F.	INSULATED GLASS
W02	BASEMT BEDRM	GLIDER	54" X 48"	18.5 S.F.	9.5 S.F.		MEETS MIN. EGRESS REQ'TS INSULATED GLASS
W03	BASEMT BATH	AWNING	30" X 18"	3.75 S.F.	3.75 S.F.		INSULATED SAFETY GLASS
W04	BASEMT STAIRS	AWNING	29" X 23 5/8"	4.6 S.F.	4.6 S.F.		INSULATED GLASS
W05	OVER BACK ENTRY	FIXED	24" X 64 5/8"	10.5 S.F.	10.5 S.F.		INSULATED GLASS
W11	STUDY	CASEMT	(3) 33'71"	109" X 71 5/8"	48.8 S.F.	48.8 S.F.	INSULATED GLASS
W12	BATH 1	CASEMT	20'4 3/4"	5 S.F.	5 S.F.		INSULATED GLASS
W13	KITCHEN	CASEMT	25'51 5/8"	3.8 S.F.	3.8 S.F.		INSULATED GLASS
W14	LIVING ROOM	CASEMT	(2) 33'71"	65" X 71 5/8"	32.5 S.F.	32.5 S.F.	INSULATED GLASS
W15	LIVING ROOM	CASEMT	33'71 5/8"	16.2 S.F.	16.2 S.F.		INSULATED GLASS
W16	DINING ROOM	CASEMT	25'71 5/8"	12.3 S.F.	12.3 S.F.		INSULATED GLASS
W20	MASTER BEDROOM	CASEMT	(3) 33'71"	109" X 71 5/8"	48.8 S.F.	48.8 S.F.	INSULATED GLASS
W21	READING ROOM	CASEMT	(2) 33'55 5/8"	35.2 S.F.	35.2 S.F.		INSULATED GLASS
W22	READING ROOM	CASEMT	33' X 55 5/8"	12.6 S.F.	12.6 S.F.		INSULATED GLASS
W23	MASTER BEDRM	CASEMT	(3) 33'55 5/8"	37.8 S.F.	37.8 S.F.		MEETS MIN. EGRESS REQ'TS INSULATED GLASS
W24	MASTER BEDRM	CASEMT	28' X 55 5/8"	10.6 S.F.	10.6 S.F.		INSULATED GLASS
W25	WATER CLOSET	CASEMT	29' X 20 5/8"	4 S.F.	4 S.F.		INSULATED GLASS INSULATED GLASS
W26	BEDROOM 2 & BEDROOM 3	CASEMT	28' X 55 5/8"	10.6 S.F.	10.6 S.F.		MEETS MIN. EGRESS REQ'TS
W27	BEDROOM 2 & BEDROOM 3	CASEMT	(2) 28'55 5/8"	21.2 S.F.	21.2 S.F.		MEETS MIN. EGRESS REQ'TS INSULATED GLASS
W28	2ND FLR BATHROOM	CASEMT	36'16 5/8"	4 S.F.	4 S.F.		INSULATED GLASS
W29	LAUNDRY RM	CASEMT	24' X 55 5/8"	3.1 S.F.	3.1 S.F.		INSULATED GLASS
W30	STAIRWAY	CASEMT	24' X 55 5/8"	3.1 S.F.	3.1 S.F.		INSULATED GLASS INSULATED GLASS
WC1	COACH HSE BATHRM	CASEMT	25' X 47 5/8"	3.1 S.F.	3.1 S.F.		MEETS MIN. EGRESS REQ'TS
WC2	COACH HSE BEDRM	CASEMT	(2) 28'47 5/8"	6.2 S.F.	6.2 S.F.		MEETS MIN. EGRESS REQ'TS INSULATED GLASS

NOTE: ALL BATHROOM WINDOWS ARE TO BE SAFETY GLAZED ACCORDING TO CODES AND REGULATIONS

ARCHITECTURAL NOTES

1. BUILDING THERMAL ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING FOUR AIR CHANGES PER HOUR BY BLOWER DOOR TEST. TESTING SHALL BE CONDUCTED BY APPROVED THIRD PARTY WITH A SIGNED RESULT TEST REPORT SUBMITTED DURING FINAL INSPECTIONS

- ALL SPRAY FOAM TO BE COVERED WITH MIN. 1/2" GWB
- PIPES THRU STUDS TO BE PROTECTED FROM DAMAGE WITH METAL STUD GAUDES
- ALL PENETRATIONS AND OPENINGS FOR ANNU PENETRATIONS INCLUDING FOR PIPES AND DUCTS MUST BE SEALED WITH APPROPRIATE MATERIALS

INTERIOR WALL TYPES

W21- 2X2S @ 16" O.C. STUD WALL WITH 5/8" PTD GWB ON ONE SIDE INSULATED WITH 3 1/2" FIBERGLASS INSULATION AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT.

W5- 2X4S @ 16" O.C. STUD WALL WITH 5/8" GWB ON BOTH SIDES.

W51- 2X4S @ 16" O.C. STUD WALL WITH 5/8" GWB ON BOTH SIDES INSULATED WITH 3 1/2" FIBERGLASS INSULATION AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT.

W6- 2X6S @ 16" O.C. WITH 5/8" PTD OR TILED GREENBOARD ON WET SIDE AND PTD MR GWB ON THE OTHER

W61- 2X6S @ 16" O.C. WITH 5/8" PTD OR TILED GREENBOARD ON WET SIDE AND PTD MR GWB ON THE OTHER INSULATED WITH MIN. 1 1/2" FIBERGLASS AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT. ALL SANITARY LINES TOP BE INSULATED WITH 1" FOAM

ROOM PURPOSE	CODE NAME	FLOOR AREA SQ. FT.	ORDINANCE REQUIREMENTS				PLAN REQUIREMENTS				SUPPLY UNITS	EXHAUST UNITS
			NATURAL LIGHT AND VENTILATION		MECHANICAL VENTILATION		ACTUAL AND VENTILATION		MECHANICAL VENTILATION			
			SQ. FT. GLASS AREA	SQ. FT. VENT AREA	CFM AIR SUPPLY	CFM AIR EXHAUST	SQ. FT. GLASS AREA	SQ. FT. VENT AREA	CFM AIR SUPPLY	CFM AIR EXHAUST		
FAMILY ROOM	RM 001	378	30.24	15.12	148.9			39	39	100		(F1)
BASEMT STAIRS	RM 003	71.1	2.8	1.4	28			4.5	4.5	30		
LAUNDRY BASMT	RM004	91.3	3.6	1.8	35.9			7.8	7.8	40		EFS EXHAUST TO OUTSIDE VIA F DUCT
BATH BASMT	RM 006	53.6	4.2	3.0		80.4		3.75	3.75	30	115	EFA EXHAUST TO OUTSIDE VIA F DUCT
BEDRM BASMT	RM 007	151.1	12	6	59.5			18	9	60		
STORAGE RM	RM 010	108.5	NR	NR	NR							
BASMT HALLWAY	RM 011	130.1	NR	NR	51.2					60		
LIVING ROOM	RM 101	204.4	16.32	8.16	80.5			97.5	97.5	100		
DINING AREA	RM 102	262.7	21	11.5	103.5			48.6	48.6	110		
KITCHEN	RM 103	171.7	21	10.5	67.6			7.6	7.6	100		RFI EXHAUST TO OUTSIDE VIA F DUCT
PANTRY	RM 104	52.4	NR	NR	NR			NR	NR			
MUD ROOM	RM 105	31.65	2.5	1.25	12.4			NR	NR	30		
BATH 1	RM 106	58.1	4.6	3.0	NR	87.15		5	5	30	115	EFA EXHAUST TO OUTSIDE VIA F DUCT
STUDY	RM 109	157.6	12.6	5.3	62			48	48	80		
ENTRY	RM 110	66.3	NR	NR	26.1			16.25	16.25	30		
CIRC	RM 111	109.7	NR	NR	43.2							(F2)
MASTER BEDROOM	RM 200	192.6	15.4	7.7	75.8			70	70	80		
READING RM	RM 202	69.1	5.5	2.7	27.2			47.8	47.8	40		
MASTR LAVS	RM 204	113.9	9.1	4.55	NR	170.8				215		EFS EXHAUST TO OUTSIDE VIA F DUCT
W.C.	RM 205	23.2	1.8	3	NR	34.8		10.6	10.6	30	115	
BATHROOM 2	RM 211	61.7	4.9	3	NR	92.5		4	4	30	115	EFA EXHAUST TO OUTSIDE VIA F DUCT
MECH	RM 207	40.4	NR	NR	NR							
BEDROOM 2	RM 212	57.8	4.6	2.3	22.7			3.1	3.1	30	115	EFA EXHAUST TO OUTSIDE VIA F DUCT
BEDROOM 3	RM 209	142	11.36	5.68	55.9			42.4	42.4	80		
BEDROOM 2	RM 210	134.6	10.7	5.38	53			42.4	42.4	80		
GARAGE												
ADU LIVING RM	RM G100	215.6	17.2	8.6	84.9			18.6	18.6	100		(F3)
ADU BATH	RM G101	46.5	3.72	3.0	NR	69.7		3.1	3.1	30	115	EFS EXHAUST TO OUTSIDE VIA F DUCT
ADU KITCHEN	RM G102	86.4	6.9	3.4	34			NR	NR	300		EFA EXHAUST TO OUTSIDE VIA F DUCT
ADU BEDROOM	RM G003	143	11.4	5.72	56.3			12.4	12.4	80		

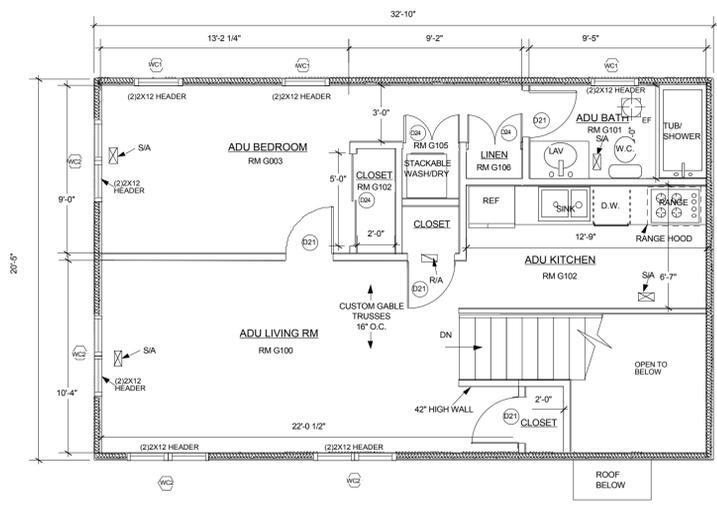
NOTE:

ALL SPECIFICATIONS, DETAILS, SECTIONS AND NOTES AS PER APPROVED PERMIT PLANS #20BLDR-0005 EXCEPT THOSE MODIFICATIONS SHOWN IN THESE DOCUMENTS

FIRST FLOOR PLAN	REVISIONS	NANOS - BRISKIN RESIDENCE FINAL CHANGES OF PERMIT PLANS FOR NEW SINGLE FAMILY RESIDENCE 548 JUDSON STREET EVANSTON ILLINOIS 60202	THOMAS W. BUCKLEY ARCHITECT & ASSOCIATES P.O. BOX 95624, HOFFMAN ESTATES, IL 60195 TEL: 847-310-9530 FAX: 847-310-9539		3 CC CHICAGO 2516 WAUKEGAN ROAD, GLENVIEW, IL 60025 (847)-361-9490	SHEET NUMBER
	JOB #					A-1 OF 10 SHEET
	DATE					

KEY

- EXISTING WALLS
- NEW WALLS
- Z 2 TUBE FLOURESCENT
- 4 1/4 TUBE FLOURESCENT
- WALL MOUNTED BRACKET LIGHT FIXTURE
- INDIRECT LIGHTING FIXTURE
- RECESSED LIGHT FIXTURE
- EMERGENCY EXIT FIXTURE
- VENT LIGHT
- EXHAUST FAN
- DUPLEX OUTLET
- 220 VOLT OUTLET
- GROUND FAULT INTERRUPT OUTLET
- ELECT. SWITCH
- 3 WAY ELECT. SWITCH
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- 120 V. BAT. BACKUP
- F.D. - 4" FLOOR DRAIN
- DOOR AND DOOR SYMBOL
- WINDOW AND WINDOW SYMBOL
- HEAT REGISTER
- RETURN GRILL
- RIA



SECOND FLOOR GARAGE PLAN
SCALE 1/4" = 1'-0"

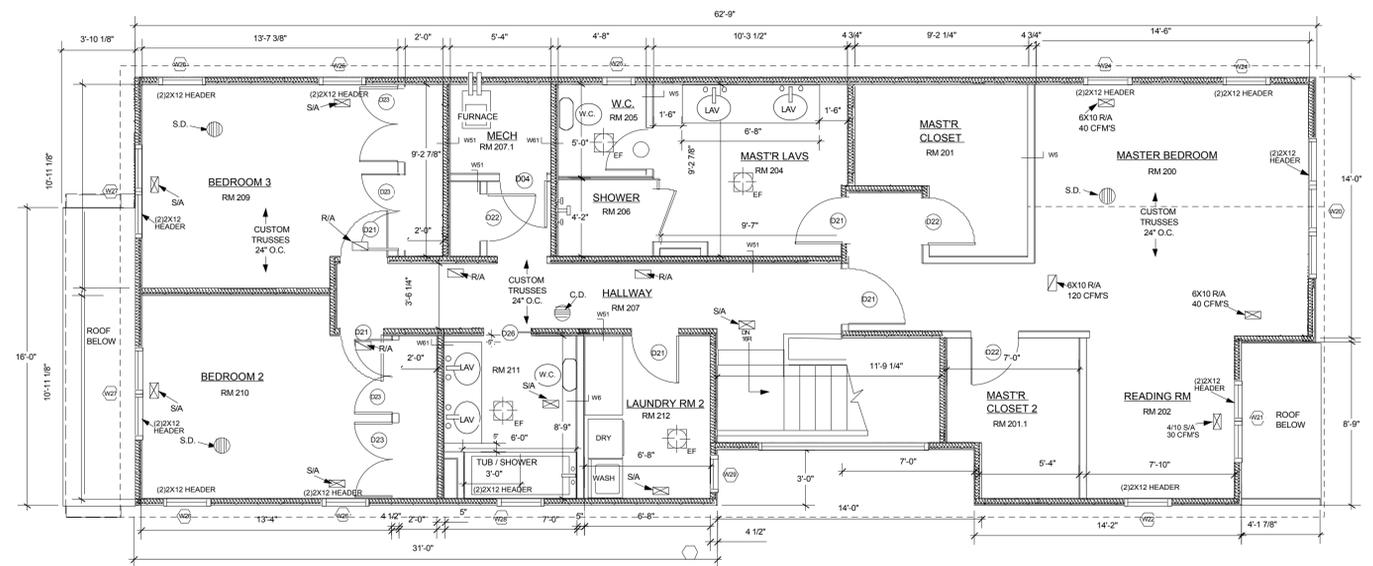
G.F.A. GARAGE SECOND FLOOR
673 S.F.



TRUSS SCHEDULE

LABEL	PITCH	SPACING	HEIGHT	SPAN	MATERIAL
T01	9 / 12	24"	9'-8"	22'-10"	2X4
T02	9 / 12	24"	9'-8"	22'-10"	2X4
T03	9 / 12	24"	9'-8"	22'-10"	2X4
T04	9 / 12 6 / 12	24"	9'-8"	22'-10"	2X4
T05	9 / 12 6 / 12	24"	9'-8"	22'-10"	2X4
T06	9 / 12 6 / 12	24"	9'-8"	13'-10"	2X4
T07	9 / 12 6 / 12	24"	9'-8"	13'-10"	2X4

NOTE: SEE FABRICATORS SPECIFICATIONS TO BE SUBMITTED AT TIME OF INSPECTION



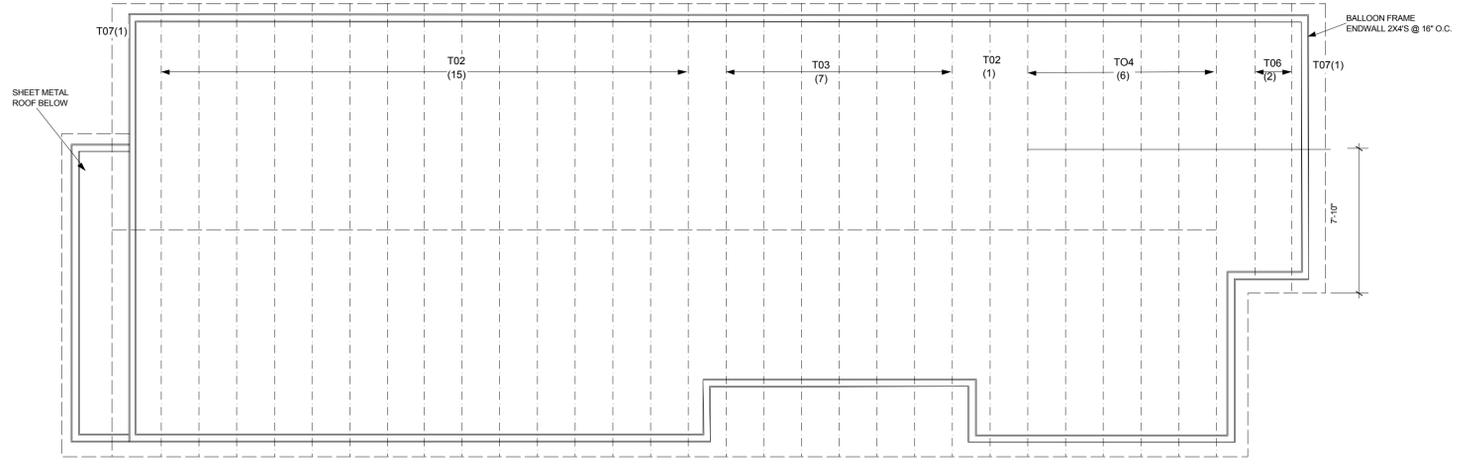
SECOND FLOOR PLAN G.F.A. SECOND FLOOR
SCALE 1/4" = 1'-0" 1,384 S.F.



NOTE:
ALL V.A.C. REGISTERS AND GRILLS IN CEILING OR HIGH ON WALLS
ALL EXHAUST FANS SMOKE DETECTORS AND C.M. DETECTORS ARE ON THE CEILING

ARCHITECTURAL NOTES

- BUILDING THERMAL ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING FOUR AIR CHANGES PER HOUR BY BLOWER DOOR TEST. TESTING SHALL BE CONDUCTED BY APPROVED THIRD PARTY WITH A SIGNED-RESULT TEST REPORT SUBMITTED DURING FINAL INSPECTIONS
 - ALL SPRAY FOAM TO BE COVERED WITH MIN. 1/2" GWB
 - PIPES THRU STUDS TO BE PROTECTED FROM DAMAGE WITH METAL STUD GUARDS
 - ALL PENETRATIONS AND OPENINGS FOR ANNU PENETRATIONS INCLUDING FOR PIPES AND DUCTS MUST BE SEALED WITH APPROPRIATE MATERIALS
- INTERIOR WALL TYPES**
- W2- 2X2S @ 16" O.C. STUD WALL WITH 5/8" PTD GWB ON ONE SIDE INSULATED WITH 3 1/2" FIBERGLASS INSULATION AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT.
 - W5- 2X4S @ 16" O.C. STUD WALL WITH 5/8" GWB ON BOTH SIDES.
 - W51- 2X4S @ 16" O.C. STUD WALL WITH 5/8" GWB ON BOTH SIDES INSULATED WITH 3 1/2" FIBERGLASS INSULATION AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT.
 - W6- 2X6S @ 16" O.C. WITH 5/8" PTD OR TILED GREENBOARD ON WET SIDE AND PTD MR GWB ON THE OTHER
 - W61- 2X6S @ 16" O.C. WITH 5/8" PTD OR TILED GREENBOARD ON WET SIDE AND PTD MR GWB ON THE OTHER INSULATED WITH MIN. 3 1/2" FIBERGLASS AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT. ALL SANITARY LINES TOP BE INSULATED WITH 1" FOAM



ROOF PLAN
SCALE 1/4" = 1'-0"

NOTE:

ALL SPECIFICATIONS, DETAILS, SECTIONS AND NOTES AS PER APPROVED PERMIT PLANS #20BLDR-0005 EXCEPT THOSE MODIFICATIONS SHOWN IN THESE DOCUMENTS

KEY

EXISTING WALLS	
NEW WALLS	
Z 2 TUBE FLUORESCENT	
4 1/4 TUBE FLUORESCENT	
WALL MOUNTED BRACKET LIGHT FIXTURE	
INDIRECT LIGHTING FIXTURE	
RECESSED LIGHT FIXTURE	
LIGHT FIXTURE	
EMERGENCY EXIT FIXTURE	
VENT LIGHT	
EXHAUST FAN	
DUPLEX OUTLET	
220 VOLT OUTLET	
GROUND FAULT INTERRUPT OUTLET	
ELECT. SWITCH	
3 WAY	
ELECT. SWITCH CARBON MONOXIDE DETECTOR	
SMOKE DETECTOR	
120 V. BAT. BACKUP	
F.D. 4" FLOOR DRAIN	
DOOR AND DOOR SYMBOL	
WINDOW AND WINDOW SYMBOL	
HEAT REGISTER	
SA	
RETURN GRILL	
RA	

SECOND FLOOR PLAN	REVISIONS
ROOF PLAN, TRUSS SECTIONS	
	JOB #
	DATE

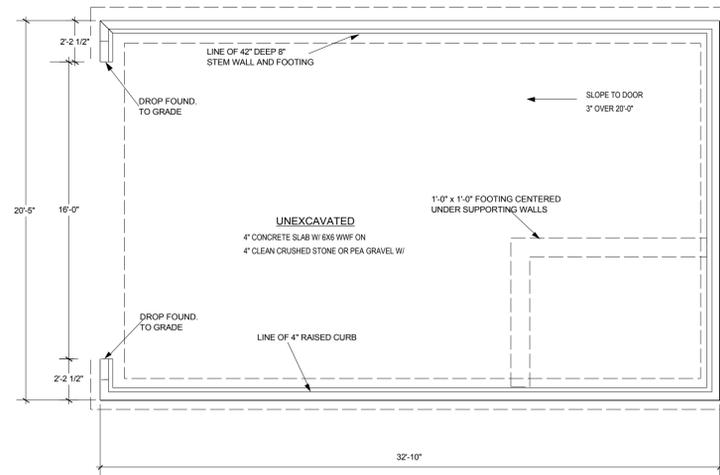
NANOS - BRISKIN RESIDENCE
FINAL CHANGES OF PERMIT PLANS FOR
NEW SINGLE FAMILY RESIDENCE
548 JUDSON STREET
EVANSTON ILLINOIS 60202

THOMAS W. BUCKLEY
ARCHITECT & ASSOCIATES
P.O. BOX 95624, HOFFMAN ESTATES, IL 60195
TEL: 847-310-9530 FAX: 847-310-9539



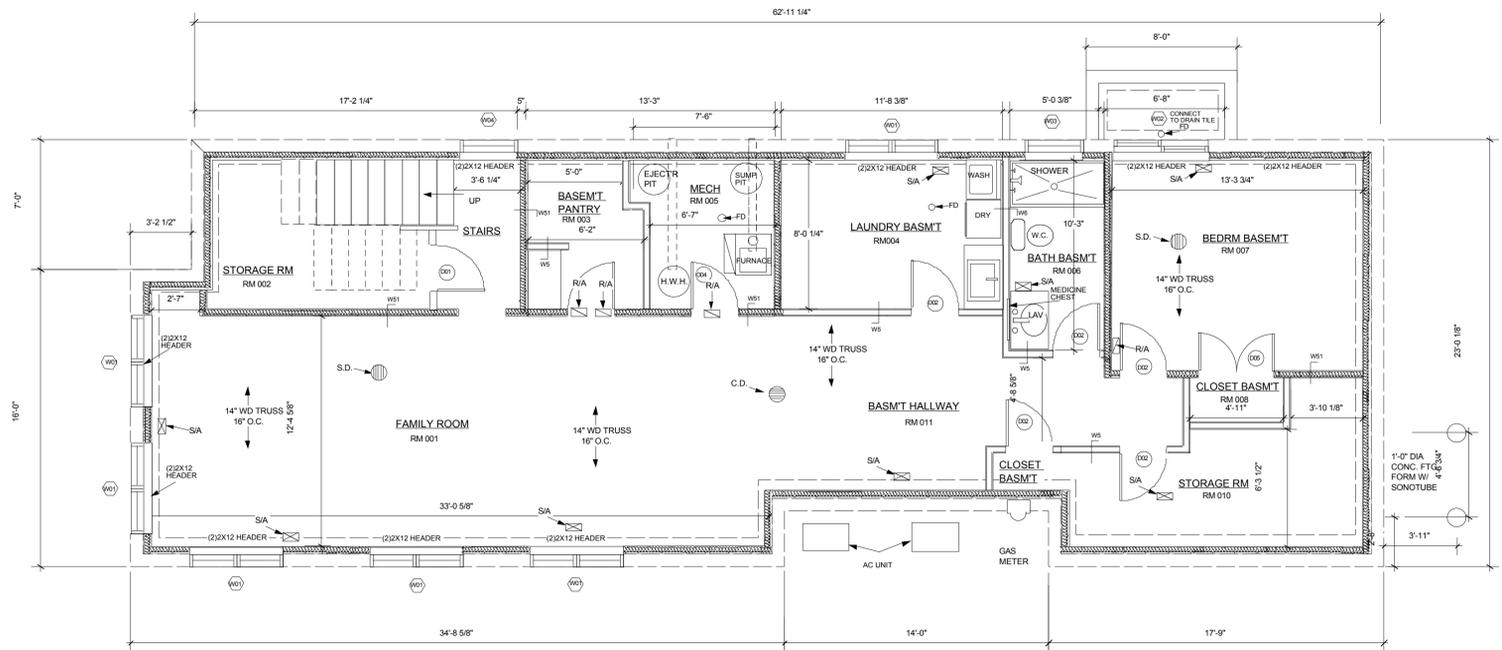
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(847)-361-9490

SHEET NUMBER
A-2
OF 10 SHEET



GARAGE FOUNDATION PLAN AT GRADE

SCALE 1/4" = 1'-0"



BASEMENT HOUSE FLOOR PLAN

SCALE 1/4" = 1'-0"



NOTE:
ALL H.V.A.C. REGISTERS AND GRILLS IN CEILING.
ALL EXHAUST FANS SMOKE DETECTORS AND C.M. DETECTORS ARE ON THE CEILING

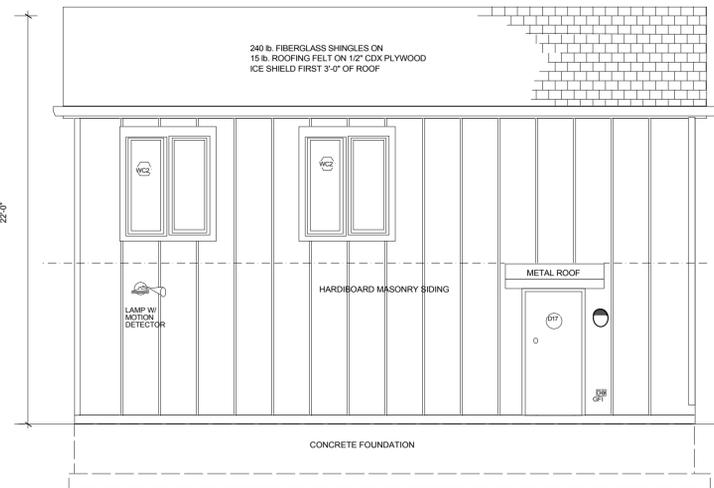
ARCHITECTURAL NOTES

1. BUILDING THERMAL ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING FOUR AIR CHANGES PER HOUR BY BLOWER DOOR TEST. TESTING SHALL BE CONDUCTED BY APPROVED THIRD PARTY WITH A SIGNED RESULT TEST REPORT SUBMITTED DURING FINAL INSPECTIONS

- ALL SPRAY FOAM TO BE COVERED WITH MIN. 1/2" GWB
- PIPES THRU STUDS TO BE PROTECTED FROM DAMAGE WITH METAL STUD GUARDS
- ALL PENETRATIONS AND OPENINGS FOR ANNU PENETRATIONS INCLUDING FOR PIPES AND DUCTS MUST BE SEALED WITH APPROPRIATE MATERIALS

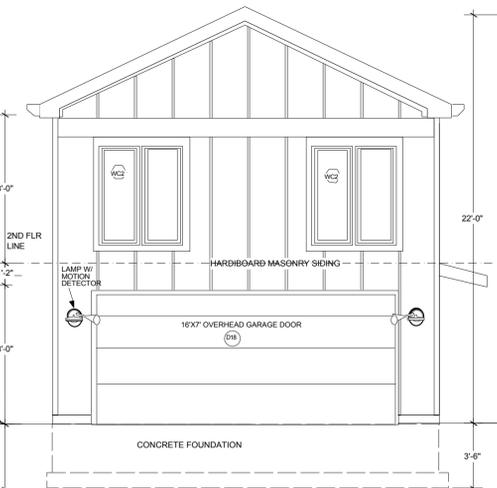
INTERIOR WALL TYPES

- W21- 2X2S @ 16" O.C. STUD WALL WITH 5/8" PTD GWB ON ONE SIDE INSULATED WITH 3 1/2" FIBERGLASS INSULATION AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT.
- W5- 2X4S @ 16" O.C. STUD WALL WITH 5/8" GWB ON BOTH SIDES.
- W1- 2X4S @ 16" O.C. STUD WALL WITH 5/8" GWB ON BOTH SIDES INSULATED WITH 3 1/2" FIBERGLASS INSULATION AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT.
- W6- 2X6S @ 16" O.C. WITH 5/8" PTD OR TILED GREENBOARD ON WET SIDE AND PTD MR GWB ON THE OTHER
- W61- 2X6S @ 16" O.C. WITH 5/8" PTD OR TILED GREENBOARD ON WET SIDE AND PTD MR GWB ON THE OTHER INSULATED WITH MIN. 3 1/2" FIBERGLASS AND TO HAVE ALL GAPS INCLUDING FLOOR SILL PLATE GAP SEALED WITH SILICONE SEALANT. ALL SANITARY LINES TOP BE INSULATED WITH 1" FOAM



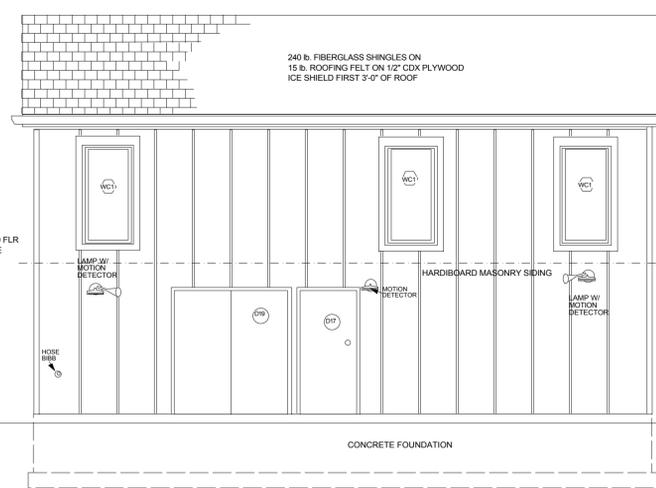
GARAGE SOUTH ELEVATION

SCALE 1/4" = 1'-0"



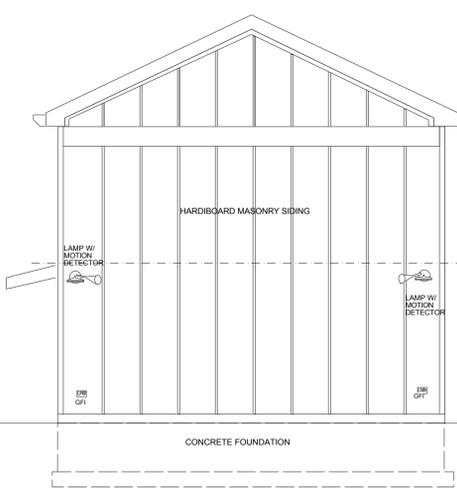
GARAGE WEST ELEVATION

SCALE 1/4" = 1'-0"



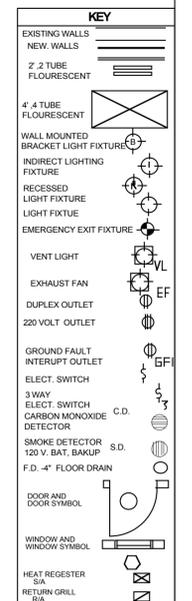
GARAGE NORTH ELEVATION

SCALE 1/4" = 1'-0"



GARAGE EAST ELEVATION

SCALE 1/4" = 1'-0"



NOTE:
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FOUNDATION AND BASEMENT FLOOR PLAN	REVISIONS
GARAGE ELEVATIONS	JOB #
	DATE

NANOS - BRISKIN RESIDENCE
FINAL CHANGES OF PERMIT PLANS FOR
NEW SINGLE FAMILY RESIDENCE
548 JUDSON STREET
EVANSTON ILLINOIS 60202

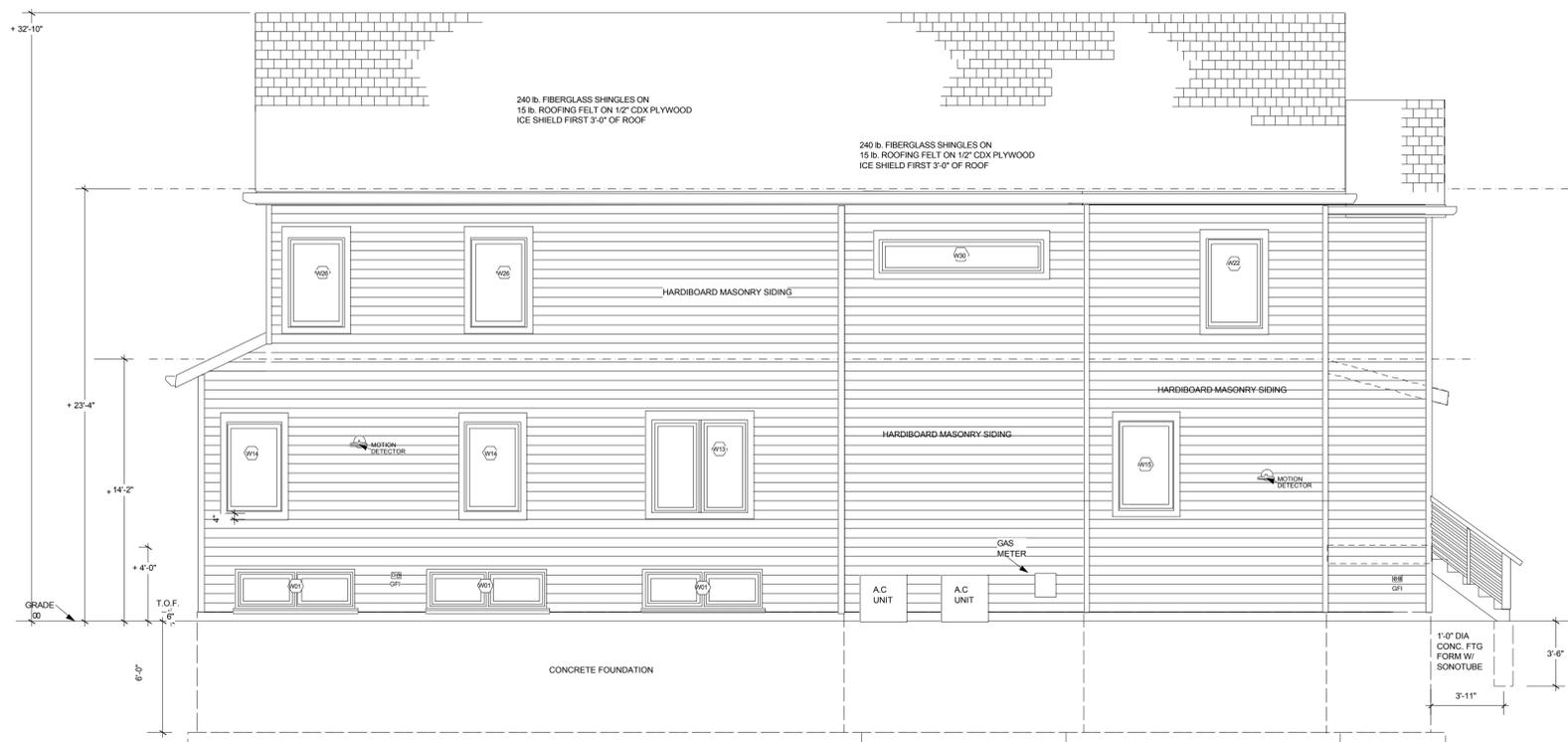
THOMAS W. BUCKLEY
ARCHITECT & ASSOCIATES
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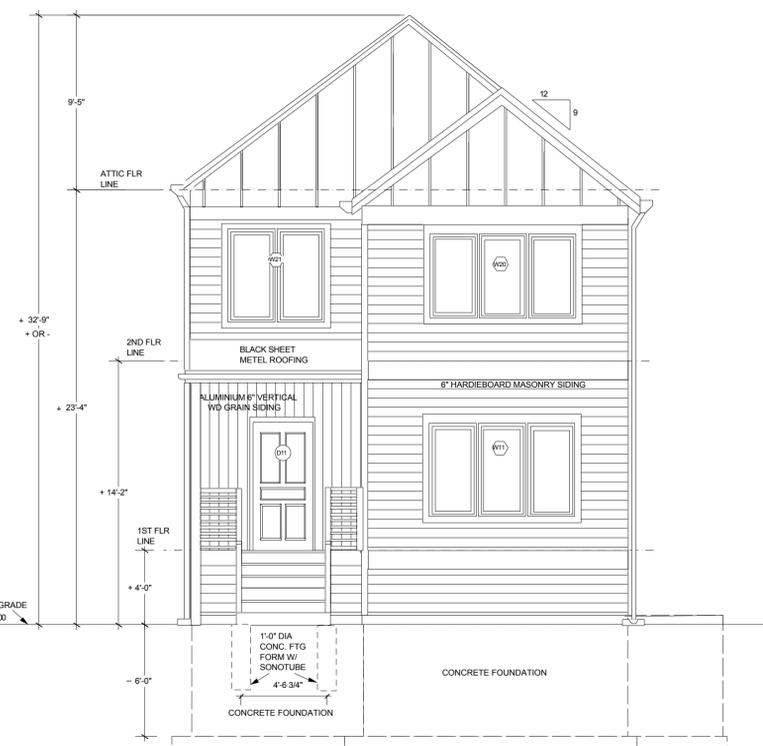
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SHEET NUMBER
A-3
OF 10 SHEET

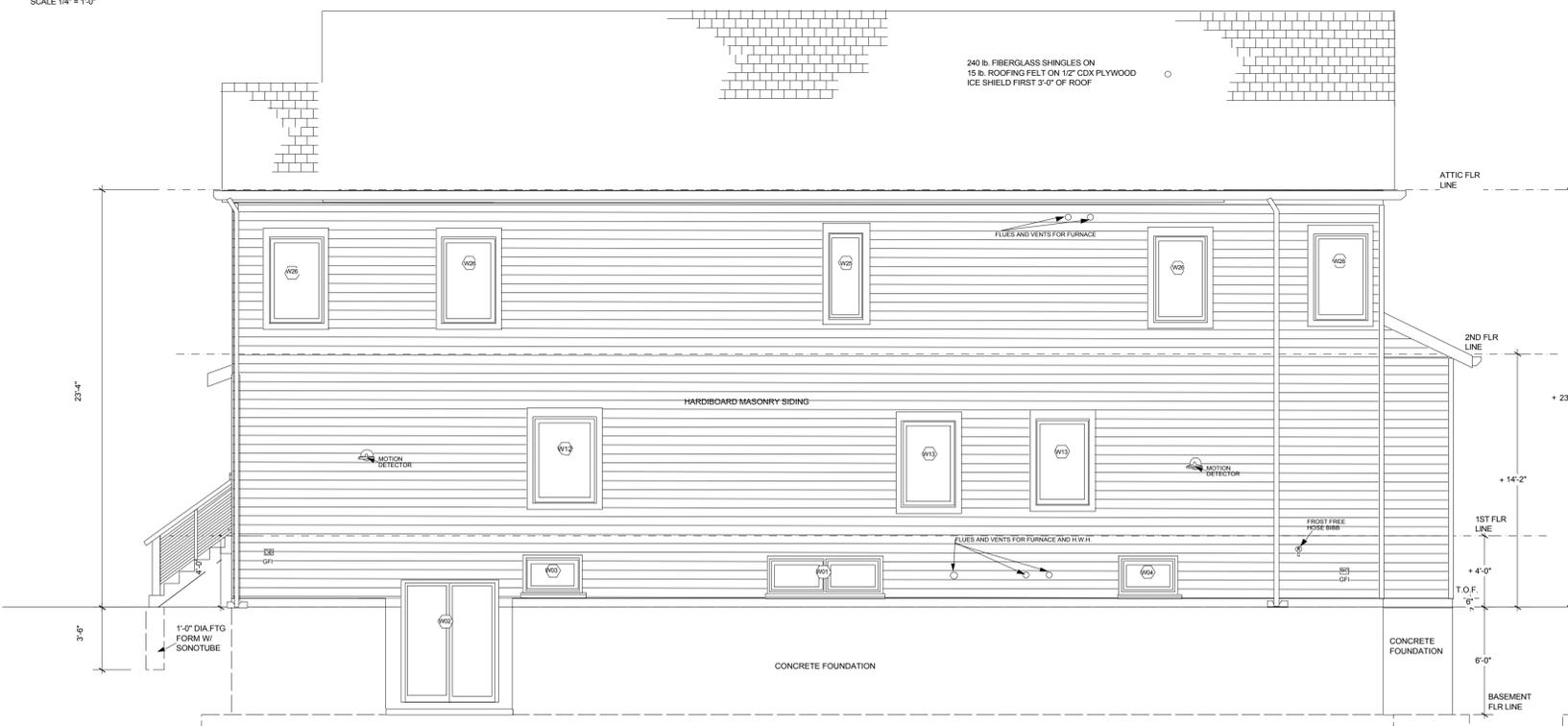
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SOUTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

KEY

- EXISTING WALLS
- NEW WALLS
- Z 2 TUBE FLOURESCENT
- 4 x 4 TUBE FLOURESCENT
- WALL MOUNTED BRACKET LIGHT FIXTURE
- INDIRECT LIGHTING FIXTURE
- RECESSED LIGHT FIXTURE
- LIGHT FIXTURE
- EMERGENCY EXIT FIXTURE
- VENT LIGHT
- EXHAUST FAN
- DUPLEX OUTLET
- 220 VOLT OUTLET
- GROUND FAULT INTERRUPT OUTLET
- ELECT. SWITCH
- 3 WAY
- ELECT. SWITCH
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- 120 V. BAT. BACKUP
- F.D. 4" FLOOR DRAIN
- DOOR AND DOOR SYMBOL
- WINDOW AND WINDOW SYMBOL
- HEAT REGISTER
- RETURN GRILL

NOTE:
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HOUSE ELEVATIONS	REVISIONS
	JOB #
	DATE

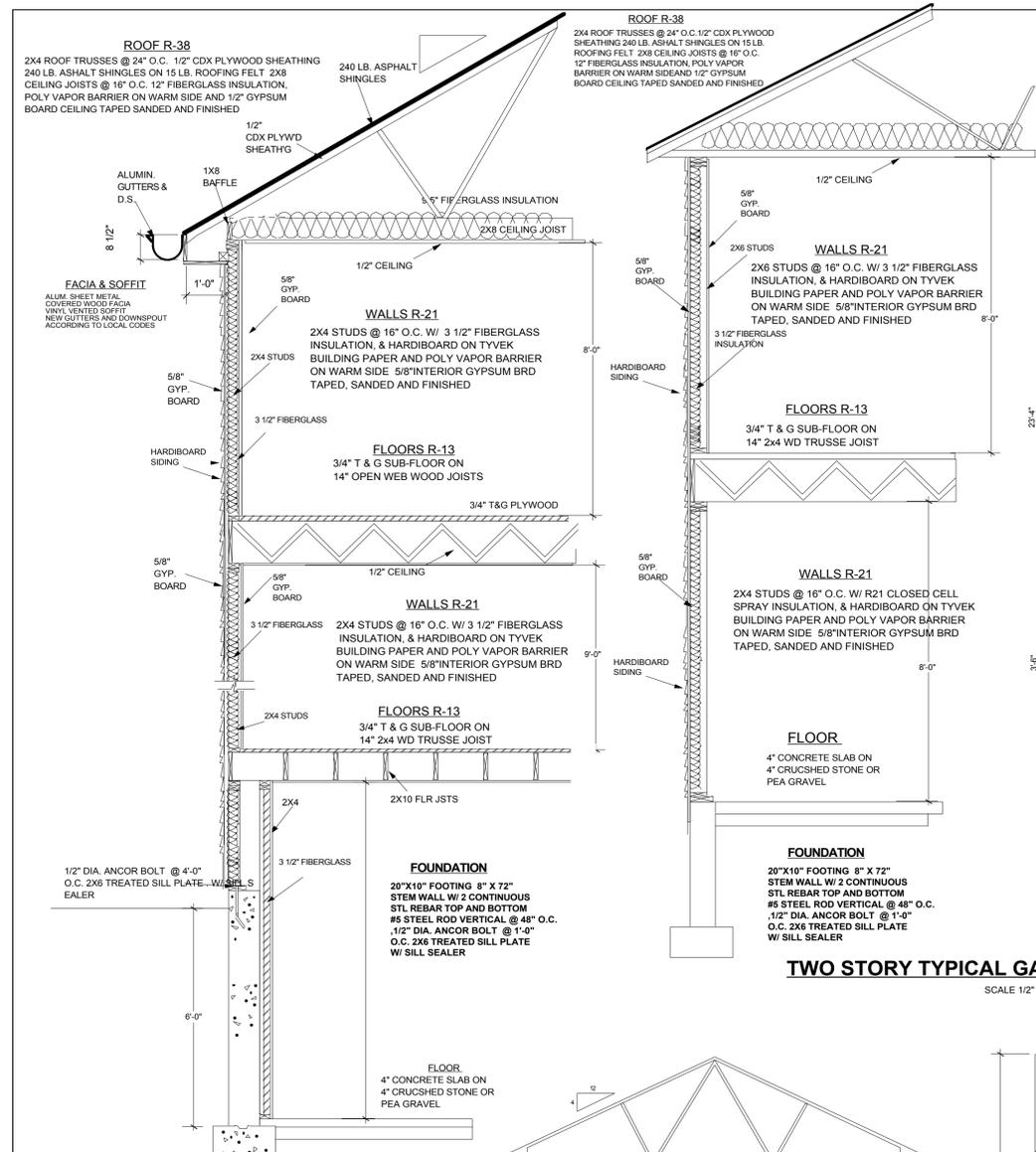
NANOS - BRISKIN RESIDENCE
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548 JUDSON STREET
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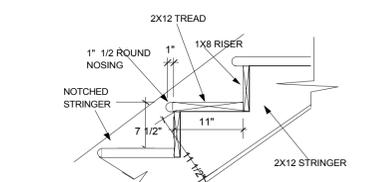


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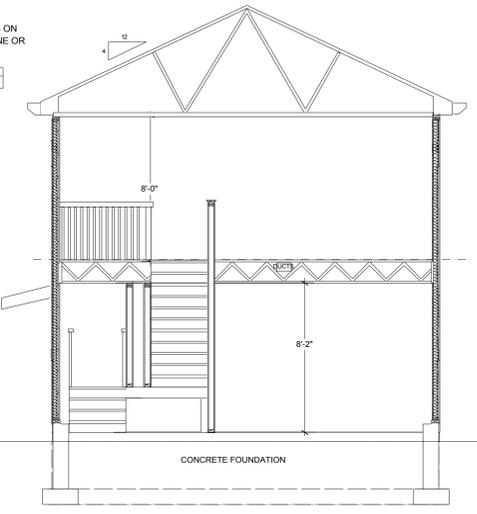
SHEET NUMBER
A-4
OF 10 SHEET



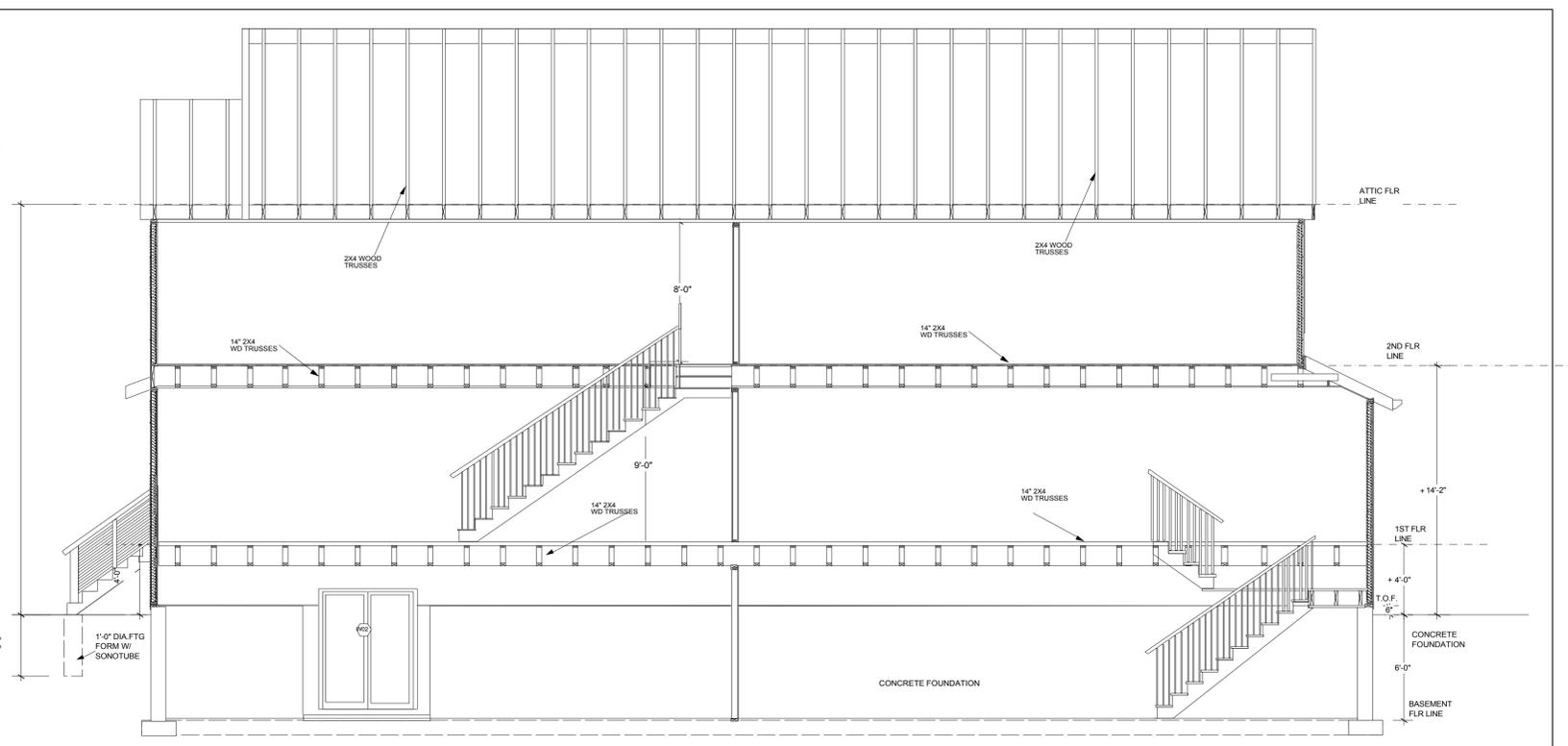
TYPICAL TWO STORY HOUSE SECTION
SCALE 1/2" = 1'-0"



INTERIOR STAIR DETAIL
NTS

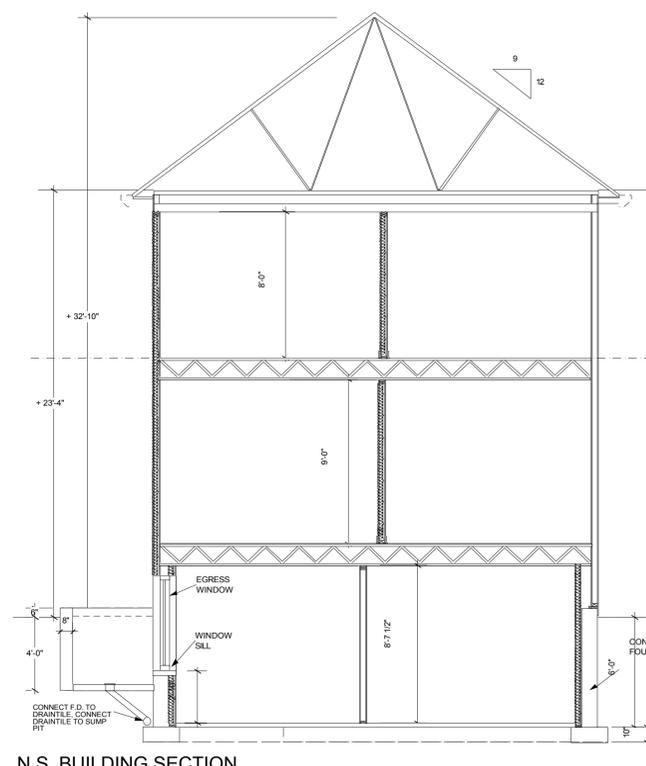
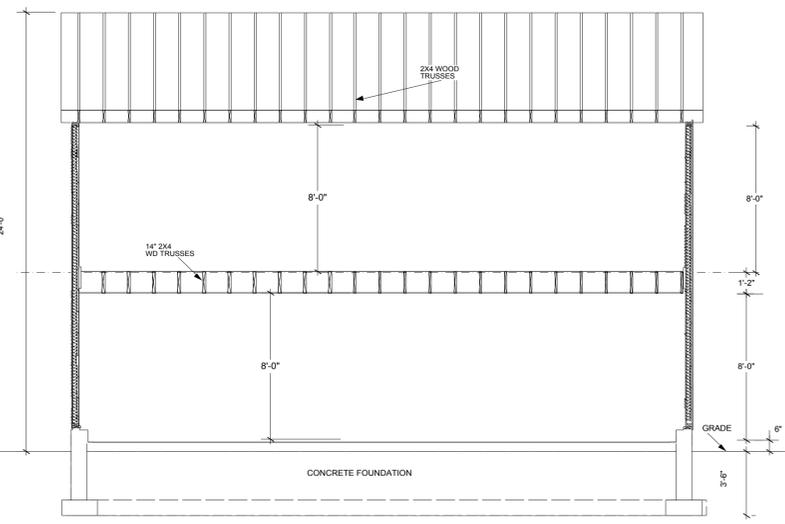


GARAGE BUILDING SECTION
SCALE 1/4" = 1'-0"



E.W. BUILDING SECTION
SCALE 1/4" = 1'-0"

TWO STORY TYPICAL GARAGE SECTION
SCALE 1/2" = 1'-0"



N.S. BUILDING SECTION
SCALE 1/4" = 1'-0"

KEY

- EXISTING WALLS
- NEW WALLS
- 2" 2 TUBE FLOURESCENT
- 4" 4 TUBE FLOURESCENT
- WALL MOUNTED BRACKET LIGHT FIXTURE
- INDIRECT LIGHTING FIXTURE
- RECESSED LIGHT FIXTURE
- LIGHT FIXTURE
- EMERGENCY EXIT FIXTURE
- VENT LIGHT
- EXHAUST FAN
- DUPLEX OUTLET
- 220 VOLT OUTLET
- GROUND FAULT INTERRUPT OUTLET
- ELECT. SWITCH
- 3 WAY ELECT. SWITCH
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- 120 V. BAT. BAKUP
- F.D. - 4" FLOOR DRAIN
- DOOR AND WINDOW SYMBOL
- WINDOW AND WINDOW SYMBOL
- HEAT REGISTER
- RETURN GRILL
- RVA

NOTE: ALL SPECIFICATIONS, DETAILS, SECTIONS AND NOTES AS PER APPROVED PERMIT PLANS #20BLDR-0005 EXCEPT THOSE MODIFICATIONS SHOWN IN THESE DOCUMENTS

EXISTING FIRST FLOOR PLAN	REVISIONS
EXISTING ATTIC FLOOR PLAN	JOB #
EXISTING FOUNDATION AND BASEMENT FLOOR PLAN	DATE

NANOS - BRISKIN RESIDENCE
FINAL CHANGES OF PERMIT PLANS FOR
NEW SINGLE FAMILY RESIDENCE
548 JUDSON STREET
EVANSTON ILLINOIS 60202

THOMAS W. BUCKLEY
ARCHITECT & ASSOCIATES
P.O. BOX 95624, HOFFMAN ESTATES, IL 60195
TEL: 847-310-9530 FAX: 847-310-9539



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GLENVIEW, IL 60025
(847)-361-9490

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OF 10 SHEET

GENERAL NOTES

1. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN CONSTRUCTION OF THE PROJECT INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
2. ALL CODES TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION.
3. DETAILS AND SECTION ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED SIMILARLY MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.
4. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REGRETS, BOLT SETTINGS, SLEEVES, ETC.
5. THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICES LINES AND EXISTING SITE AREA FROM DETERIORATION OR DAMAGE.
6. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR THE REQUIRED CODES.
7. CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENT TO THE ATTENTION OF THE ARCHITECT IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND OR FABRICATIONS OF THE WORK.
8. THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
9. CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT, OVERSUPPLY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
10. ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS "OR EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED, HOWEVER ALL SUBSTITUTIONS MUST BE APPROVED BY THE CONSTRUCTION MANAGER.
11. THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

SPECIFICATIONS:

DIVISION 1 - GENERAL REQUIREMENTS

THE GENERAL CONDITIONS GOVERNING THE WORK SET FORTH IN THE FOLLOWING SPECIFICATIONS AND ACCOMPANYING DRAWINGS SHALL BE THE STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" DOCUMENT A201, 1987 EDITION. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. ANY ITEMS REFERRED TO IN EITHER SHALL BE INCLUDED IN THE WORK. ANY ITEMS WHICH ARE NECESSARY FOR COMPLETION OF THE WORK AND ARE NOT SPECIFICALLY MENTIONED OR DRAWN BUT ARE IMPLIED IN ORDER TO COMPLETE THE WORK, SHALL BE FURNISHED AND INSTALLED AS PART OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICATION STATUTES, ORDINANCES, AND REGULATIONS OF CHICAGO IN THE STATE OF ILLINOIS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY OMISSION OR DISCREPANCY IN THE DRAWINGS OR ANY VARIATIONS IN DIMENSIONS OR CONDITIONS ON THE SITE FROM THOSE ON THE DRAWING BEFORE THE START OF THE WORK. CHANGES IN THE WORK REQUIRED BY FIELD CONDITIONS SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE ARCHITECT. CONTRACTOR SHALL OBTAIN BUILDING PERMIT AND ARRANGE AND SUPERVISE ALL INSPECTIONS. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, TOOLS, LABOR, AND ALL OTHER ITEMS NECESSARY TO COMPLETE THE WORK. MATERIALS SHALL BE NEW, UNLESS APPROVED BY THE ARCHITECT AND THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS. SELECTIVE DEMOLITION - ONLY THAT PORTION OF THE ROOF SHALL BE REMOVED THAT CAN BE ADEQUATELY PROTECTED DURING THE DEMOLITION PHASE.

CONTRACTOR SHALL GUARANTEE THE WORK AND MATERIALS FOR ONE (1) YEAR.

DIVISION 3 - CONCRETE

CONCRETE WORK SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318-83, EXCEPT WHERE LOCAL BUILDING CODES ARE MORE STRINGENT, IN WHICH CASE THE LOCAL LAWS SHALL GOVERN. CONCRETE SHALL BE COMPOSED OF PORTLAND CEMENT, FINE AGGREGATE, COARSE AGGREGATE, AND WATER MIXED IN PROPORTIONS TO PRODUCE A PLASTIC WORKABLE MIXTURE. CONTRACTOR SHALL NOTIFY THE VARIOUS TRADES PRIOR TO EACH POUR TO INSTALL ALL INSERTS, SLEEVES, ANCHORS, TEMPLATES OR SIMILAR ITEMS TO BE BUILT INTO THE CONCRETE. FOOTINGS AND PIERS SHALL REST ON UNDISTURBED SOIL AT A DEPTH AS SPECIFIED ON THE DRAWINGS. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND A SLUMP NOT TO EXCEED 4". ANCHOR BOLTS CAST IN CONCRETE SHALL CONFORM TO ASTM A307. REINFORCING BARS TO BE ASTM A515, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, SHALL BE LAPPED ONE GRID WIDTH PLUS 2" AND INSTALLED 2" FROM TOP SURFACE.

DIVISION 4 - MASONRY

MASONRY WORK CONSISTS OF WHAT IS SHOWN IN THE DRAWINGS AND MUST CONFORM TO ALL CODES AND REGULATIONS APPLICABLE.

DIVISION 6 - CARPENTRY

CONTRACTOR SHALL BE RESPONSIBLE FOR A COMPLETE PRELIMINARY LAYOUT OF THE PROJECT SHOWN ON THE ATTACHED DRAWINGS USING CHALK, STRING, ETC. BEFORE INSTALLING ANY WALLS, PARTITIONS, CEILING, BLOCKING, OPENINGS, ETC. AND ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. STRESS GRADE OF LUMBER SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENERS NCM-A LATEST EDITION WITH A FIBER STRESS IN BENDING OF NOT LESS THAN 1,000 PSI. ITEMS IN THE PROJECT INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: INSTALL BLOCKING FOR OTHER TRADES SUCH AS ELECTRICAL FIXTURES, DRYWALL, PLUMBING, ETC. BEAMS AND JOISTS SUPPORTING BEARING WALLS OR OTHER CONCENTRATED LOADS SHALL NOT BE NOTCHED. JOISTS AS ABOVE MAY BE NOTCHED NO DEEPER THAN 1/4 THE DEPTH AT THE TOP EDGE ONLY. PROVIDED SUCH NOTCH IS LOCATED WITHIN 1/8 TO 1/4 OF SPAN FROM FACE OF SUPPORT. SAWCUTS FOR NOTCHES SHALL NOT EXCEED THE DEPTH OF THE NOTCH. HOLES IN JOISTS AND BEAMS SHALL NOT BE LARGER IN DIAMETER THAN 1/10 THE DEPTH OF MEMBER SHALL BE LOCATED WITHIN THE CENTER THIRD OF THE SPAN. ALL HOLES SHALL BE CENTERED WITHIN DEPTH OF MEMBER. HOLES AND NOTCHES IN STUDS SHALL BE LOCATED WITHIN 1/3 OF HEIGHT FROM EITHER TOP OR BOTTOM BUT NO CLOSER THAN 8" FROM PLATES. HOLES AND NOTCHES IN STUDS SHALL NOT EXCEED 1" IN DIAMETER OR DEPTH. STUDS IN EXTERIOR WALL SHALL NOT BE NOTCHED. INSTALL ALL BEAMS AND JOISTS WITH CROWN UP. INSTALL BRIDGING BETWEEN ALL FLOOR JOISTS THAT EXCEED 8'-0" IN LENGTH. ALL BRIDGING THAT IS REMOVED DURING CONSTRUCTION SHALL BE REINSTALLED. INSTALL SOLID BLOCKING BETWEEN JOISTS AND STUDS WHERE SHEATHING OR DECKING IS NOT CONTINUOUS. ALL FRAMING MEMBERS SHALL ALIGN WITH ADJACENT MEMBERS AND FORM ACCURATE ANGLES AS NOTED ON THE PLANS AND SHALL NOT VARY MORE THAN 1/8" IN 12'-0" IN LENGTH FROM POINT TO POINT. ALL PLYWOOD SHALL BE PLACED WITH GRAIN RUNNING PERPENDICULAR TO SUPPORTS AND CONTINUOUS OVER A MINIMUM OF TWO (2) SUPPORTS WITH ALL JOISTS FALLING OVER CENTER OF SUPPORT. ALL HORIZONTAL SHEATHING SHALL BE STAGGERED. PROTECT ALL PLYWOOD FROM MOISTURE DURING THE FRAMING PERIOD AND COMPLETELY PROTECT FROM THE ELEMENTS. ALL SHEATHING THAT BECOMES EXCESSIVELY WET OR SHOWS ANY TRACE OF LAYER SEPARATION SHALL BE REPLACED. USE ONLY NAILS OR SPIKES. NO STAPLES WILL BE APPROVED. NO SPLITS IN FRAMING LUMBER WILL BE ALLOWED AND MUST BE REPLACED. BEFORE INSTALLING FLOOR DECKING, A CONTINUOUS BEAD OF SUBFLOOR ADHESIVE SHALL BE INSTALLED OVER EACH JOIST. FIT ALL TONGUES AND GROOVES FIRMLY TOGETHER BEFORE NAILING TO JOISTS. CONTRACTOR SHALL INSTALL SOFFIT AND ROOF VENTS AT THE RATIOS OF 1 S.F. PER 300 S.F. OF ATTIC FLOOR AREA. ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH UNLESS NOTED OTHERWISE ON THE DRAWINGS AND GRADED IN ACCORDANCE WITH THE STANDARDS GRADING RULES OF WPA OR RULE NO. 16 OF WCLB AS FOLLOWS: EIGHT FRAMING - NO. 2 AND BETTER. STUDS - NO. 2 AND BETTER. JOISTS AND PLANKS - NO. 1 AND BETTER. BEAMS AND STRINGERS - DENSE NO. 1 AND BETTER. ALL 2" LUMBER SHALL BE SEASONED TO 19% MAXIMUM MOISTURE CONTENT. ALL WOOD THAT CONTACTS CONCRETE OR MASONRY OR IS EXPOSED TO THE EXTERIOR SHALL BE PRESSURE TREATED IN ACCORDANCE WITH UBC STANDARDS 25-12 OR NATURALLY DURABLE SUCH AS CEDAR AND BLACK WALNUT. ALL INTERIOR SUBFLOORING SHALL BE 3/4" TONGUE AND GROOVE PLYWOOD, NAILED AND GLUED TO JOISTS. ALL STUD WALL SHALL HAVE 2" X 4" STUDS SPACED AT 16" O.C. UNLESS NOTED OTHERWISE. TOP PLATES SHALL BE DOUBLED ON ALL WALLS.

DIVISION 7 - MOISTURE PROTECTION, INSULATION AND ROOFING

FURNISH AND INSTALL R-21 BATT INSULATION WITH VAPOR BARRIER AT EXTERIOR WALLS. FURNISH AND INSTALL R-30 INSULATION WITH VAPOR BARRIER AT CEILING. MAINTAIN A 1" MINIMUM AIR SPACE BETWEEN SUBROOF AND INSULATION. PROVIDE CAULKING AT ALL PENNING THROUGH EXTERIOR WALLS INCLUDING BACK-UP FILLER WHERE REQUIRED. CAULK SHALL BE SILICONE BASE NON-STAINING TYPE. ALL SLOPED ROOF SURFACES TO BE FINISHED WITH 30 YEAR WARRANTY ASPHALT OR FIBERGLASS SHINGLES (COLOR TO BE DETERMINED BY OWNER). FURNISH AND INSTALL BAKED ENAMEL ALUMINUM GUTTERS AND DOWNSPOUTS (COLOR TO BE DETERMINED BY OWNER).

DIVISION 8 - DOORS, WINDOWS AND HARDWARE

ALL NEW WINDOWS ARE TO BE _____ NUMBER ON DRAWING INDICATES SIZE. SCREENS ARE TO BE PROVIDED FOR ALL OPERABLE SASH WINDOWS. NEW INTERIOR DOORS ARE TO MATCH EXISTING STYLE AND FINISH TO BE APPROVED BY OWNER. SIZES ARE NOTED ON PLAN.

DIVISION 9 - FINISHES

ALL INTERIOR FINISHES SHALL BE CLASS 1: SMOKE PRODUCED = 0.25, FLAME SPREAD = 200. PROVIDE 5/8" THICK GYPSUM WALL BOARD ON INTERIOR FACE OF EXTERIOR WALLS AND ON BOTH SIDES OF INTERIOR PARTITIONS. PROVIDE 5/8" THICK GYPSUM WALL BOARD ON CEILINGS. PROVIDE 5/8" THICK TYPE WIR U.S. GYPSUM SHEETROCK OR APPROVED EQUAL FOR ALL BATHROOM WALLS AND CEILINGS. PROVIDE "DURROCK" CEMENT BOARD AT TUB AND SHOWER SURROUNDS. GYPSUM BOARD WORK AND MATERIALS SHALL MEET ALL REQUIREMENTS OF ANSI NO. A97-1 FOR THE "APPLICATION AND FINISHING OF WALL BOARD" JOINT COMPOUND SYSTEM SHALL BE MIXED, APPLIED AND FINISHED IN COMPLIANCE WITH MANUFACTURER'S PRINTED DIRECTIONS, TO BE INVISIBLE AFTER FINISHED, INCLUDING ALL METAL CORNER BEAD AND TRIM. ALL MATERIALS, INSTALLATION AND WORKMANSHIP FOR CERAMIC TILE SHALL COMPLY WITH ANSI SPECIFICATIONS: A108.4 AND A108.5 AND "HANDBOOK FOR CEILING TILE INSTALLATION" PUBLISHED BY THE COUNCIL OF AMERICA AND ARE HEREBY MADE PART OF THIS SPECIFICATION. ALL TILE SHALL COMPLY WITH ANSI SPECIFICATION 5 FOR CERAMIC TILE A137.1 JUNCTION BETWEEN DISSIMILAR SURFACES TO BE GROUTED WITH A SILICONE RUBBER SEALANT OR APPROVED EQUAL.

DIVISION 15 - PLUMBING

ALL COPPER VENT/WASTE PIPE TO BE "M" TYPE. ALL COPPER ABOVE GROUND TO BE "L" TYPE. ALL COPPER BELOW GROUND TO BE "K" TYPE. ALL COPPER FITTINGS TO BE FORGED WITH NO LEAD/SOLDER/FLUX. ALL PVC TO BE SCHEDULE 40. ALL PVC FITTINGS TO BE DWV WITH PURPLE PRIMER AND CLEAR PVC CEMENT. PROVIDE 24" AIR CHAMBERS ON ALL MAIN WATER RISERS. PROVIDE 12" AIR CHAMBERS ON ALL FIXTURES. PROVIDE SHUT-OFF STOPS ON ALL FIXTURES.

DIVISION 16 - MECHANICAL HEATING, VENTILATION AND AIR CONDITIONING

THE MECHANICAL WORK IS TO INSTALL (3) FURNACES. (F)1 IN THE HOUSE BASEMENT UTILITY RM, HOUSE 2ND FLR UTILITY RM GARAGE UTILITY RM AND (2) CONDENSORS IN SIDEYARD(1) A.C. CONDENSER AT BACK YARD.

DIVISION 17 - ELECTRICAL

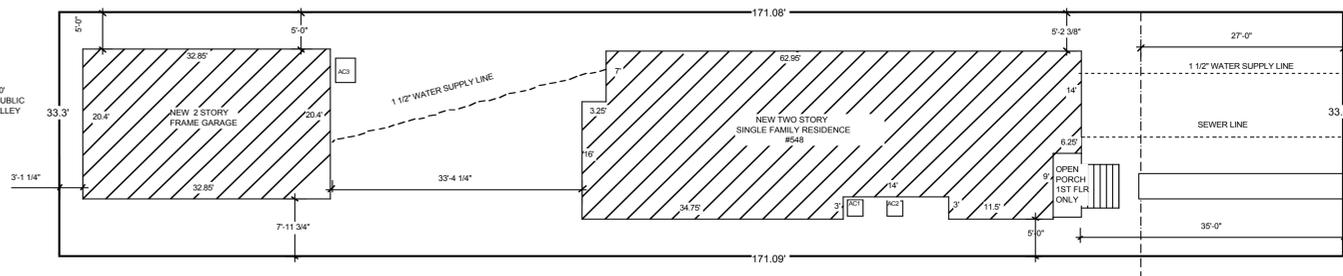
ALL ELECTRICAL AS SHOWN ON E-1 THE EXTENT OF THE WORK INCLUDES ALL NEW DUCTWORK AND THE DEVICES SHOWN ON THE DRAWINGS. ALL BEDROOM OUTLETS ARE TO BE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED.

NANOS - BRISKIN RESIDENCE

FINAL CHANGES OF PERMIT PLANS #20BLDR-0005

FOR NEW SINGLE FAMILY RESIDENCE

548 JUDSON STREET, EVANSTON ILLINOIS 60202



NOTE:

ALL SPECIFICATIONS, DETAILS, SECTIONS AND NOTES AS PER APPROVED PERMIT PLANS #20BLDR-0005 EXCEPT THOSE MODIFICATIONS SHOWN IN THESE DOCUMENTS

ZONING ANALYSIS

	EXIST'G	NEW	R1
MINIMUM LOT SIZE	7,200 SF	5,716 SF	5,716 SF
MAXIMUM LOT COVERAGE	30%	1,953 SF	2,170 SF (37.9%)
IMPERVIOUS SURFACES	45%	2,572 SF	3,044 SF (53.25%)

PRIMARY BUILDING

MINIMUM LOT WIDTH	35 FT	33.31	33.31
FRONT YARD SETBACK	27'	29.23	29' PORCH, 35' HOUSE
SIDE YARD SETBACK	5'	N. SIDE 4.55'	5'
		S. SIDE 4.12'	5'
REAR YARD SETBACK	30'	69.1 FT	64.5 FT
MAXIMUM HEIGHT	35' (2 1/2 STORIES)	LESS THAN 35'	33'

GARAGE

FRONT YARD SETBACK	27'	146.1 FT	135.5'
SIDE YARD SETBACK	5'	N. SIDE 9.2'	5'
		S. SIDE 3.79'	8'
REAR YARD SETBACK	3'	2.9'	3'

PARKING SPACES

	2	2	2
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STRUCTURAL DESIGN CRITERIA

1. ROOF - LIVE LOAD 30 PSF DEAD LOAD 12 PSF SNOW LOAD 80 PSF WIND UPLIFT 20 PSF
 2. ATTIC FLOOR -(INTERIOR) LIVE LOAD 10 PSF 40 PSF DEAD LOAD
 3. FLOOR -(EXTERIOR) LIVE LOAD 100 PSF 10 PSF DEAD LOAD (INTERIOR) LIVE LOAD 10 PSF 40 PSF DEAD LOAD
 4. STAIRS LIVE LOAD 10 PSF 40 PSF DEAD LOAD STAIRWAYS & BALCONY RAILINGS DESIGNED TO RESIST A SIMULTANEOUS HORIZONTAL THRUST OF 50 PLF OR AN APPLIED POINT LOAD OF 200 LBS. AT ANY LOCATION ALONG THE TOP RAIL
- LUMBER- SOUTHERN PINE #1 OR BETTER (EXCEPT COLUMNS USE HEM FIR #2)
- INSULATION VALUES
- ALL ROOFS TO BE NO LESS THAN R-38
 - ALL WALLS TO BE NO LESS THAN R-15
 - ALL FLOORS TO BE NO LESS THAN R-13
 - ALL GLAZED AREAS TO BE NO LESS THAN R-3.5

GENERAL NOTES

1. INSTALL SMOKE DETECTORS AS REQUIRED
2. PROVIDE CARBON MONOXIDE DETECTOR
3. DOUBLE ALL HEADERS AND RAFTERS AROUND SKYLIGHT OPENINGS IF ANY
4. ALL DOORS TO BE OPERABLE WITHOUT THE USE OF KEY IN DIRECT OF EXIT

INTERIOR FINISH NOTES

1. ALL INTERIOR WALL AND CEILING FINISHES AND INTERIOR TRIM TO BE CLASS 1 F.S.R. 0 TO 25 AND 200 SMOKE DEVELOPED
2. ALL FLOOR COVERINGS TO BE CLASS A INTERIOR FLOOR FINISH CRITICAL RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER.

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PAGE E-1 FIRST FLOOR PLAN - ELECTRIC, SECOND FLOOR PLAN ELECTRIC, BASEMENT ELECTRIC ELECTRICAL NOTES

SCOPE OF WORK

FINAL CHANGES OF PERMIT PLANS FOR NEW SINGLE FAMILY RESIDENCE 548 JUDSON STREET EVANSTON ILLINOIS 60202

All work must conform to the Following:
 CITY OF EVANSTON Housing and Building Codes and Zoning Ordinance
 International Residential Code for One and Two Family Dwellings
 2012 w/ village amendments:
 International Mechanical Code, 2012 edition with village amendments
 International Fuel Gas Code, 2012 edition w/ village amendments
 International Energy Conservation Code 2018 edition
 International Fire Code, 2006 Edition w/ village amendments
 Life Safety Code 2012 w/ village amendments
 National Electrical Code, 2011 edition w/ village amendments
 Illinois Plumbing Code current edition w/ village amendments
 Illinois Accessibility Code.

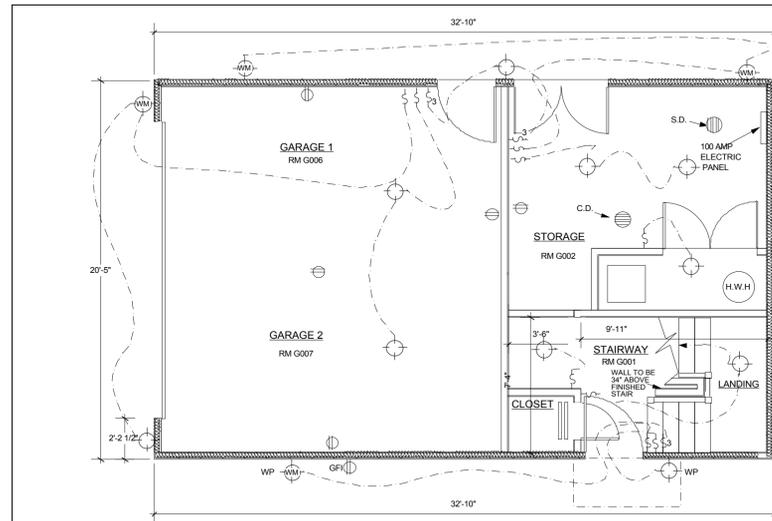
REVISIONS	NANOS - BRISKIN RESIDENCE FINAL CHANGES OF PERMIT PLANS FOR NEW SINGLE FAMILY RESIDENCE 548 JUDSON STREET EVANSTON ILLINOIS 60202	THOMAS W. BUCKLEY ARCHITECT & ASSOCIATES P.O. BOX 95624, HOFFMAN ESTATES, IL 60195 TEL: 847-310-9530 FAX: 847-310-9539	STATE OF ILLINOIS THOMAS W. BUCKLEY 1-8721 CHICAGO LICENSED ARCHITECT EXP. 11/30/22	3 CC CHICAGO 2516 WAUKEGAN ROAD, GLENVIEW, IL 60025 (847)-361-9490	SHEET NUMBER C-1 OF 10 SHEET
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ARCHITECTS CERTIFICATION
 I hereby certify that these documents were prepared by me or under my direction and that to the best of my knowledge comply with all applicable codes and ordinances of Evanston, IL

Thomas Buckley

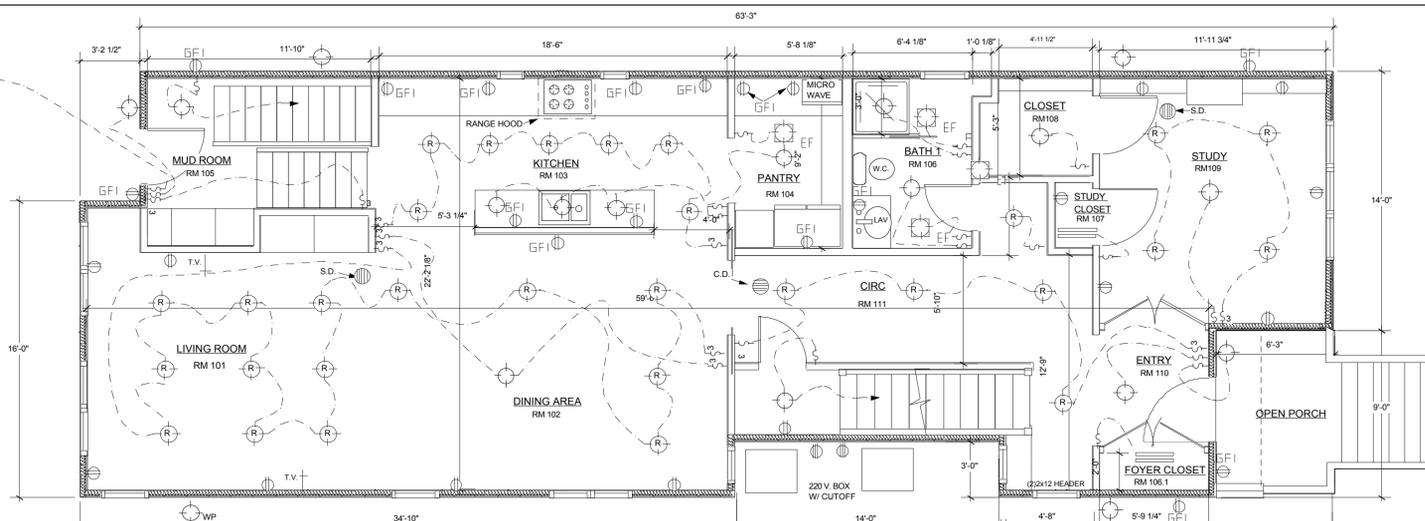
1-8721 3-20-2022

Cert. No. 088



GARAGE FLOOR PLAN AT GRADE

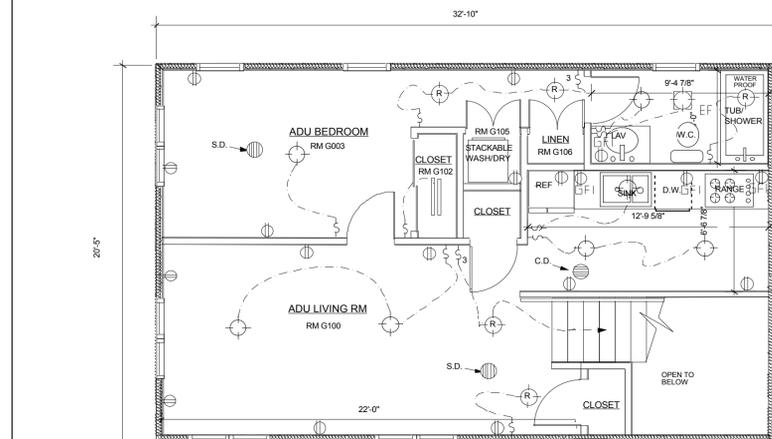
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FIRST FLOOR PLAN

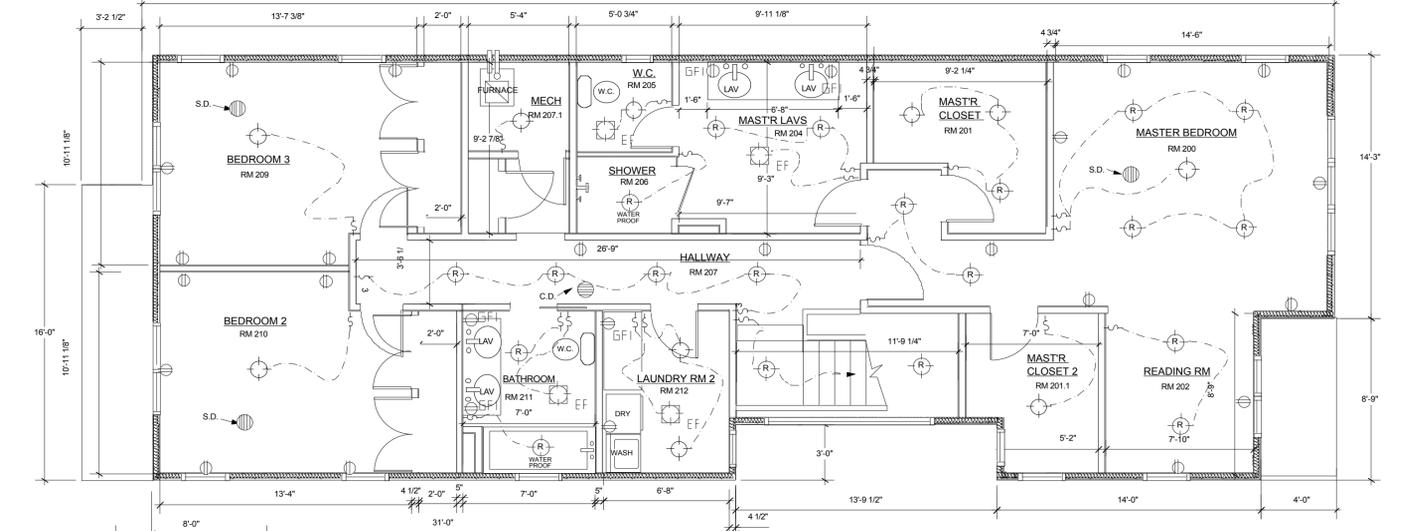
1,443 S.F. SCALE 1/4" = 1'-0"

LOAD SCHEDULE									
PANEL TAG	1	LOCATION	BASEMENT	MOUNTING SURFACE	3				
MAN.	125 AMPS	BUS	300	VOLTAGE	240	PHASE	1	WIRE	3
125 AMP 120/240 V 3 PHASE 4 WIRE									
NO.	CIRCUIT USE	TRIP	NO.	CIRCUIT USE	TRIP				
1	BASEMENT & 1ST FLR GENERAL LIGHTING	20 AMPS	2	BASEMENT & 1ST FLR GENERAL LIGHTING	20 AMPS				
3	BASEMENT AND 1ST FLR RECEPTACLE	20 AMPS	4	BASEMENT AND 1ST FLR RECEPTACLE	20 AMPS				
5	1ST FLOOR BATH	20 AMPS	6	KITCHEN	20 AMPS				
7	2ND FLR GENERAL LIG	20 AMPS	8	KITCHEN	20 AMPS				
9	AIR CONDITION	20 AMPS	10	KITCHEN	20 AMPS				
11	OUTDOOR LIGHTING	15 AMPS	12	2ND FLR BATH	20 AMPS				
13	OUTDOOR LIGHTING	20 AMPS	14	2ND FLR POWDER RM	20 AMPS				
15	AIR CONDITION	20 AMPS	16	AIR CONDITION	20 AMPS				
17			18						
19			20						



SECOND FLOOR GARAGE PLAN

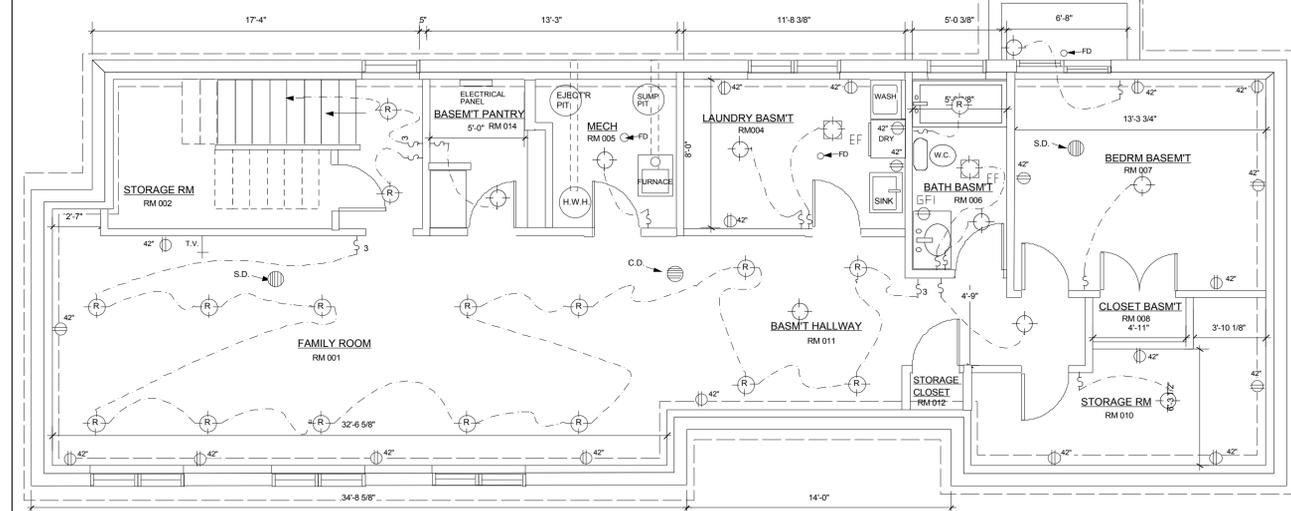
SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

LOAD SCHEDULE									
PANEL TAG	1	LOCATION	BASEMENT	MOUNTING SURFACE	3				
MAN.	125 AMPS	BUS	300	VOLTAGE	240	PHASE	1	WIRE	3
125 AMP 120/240 V 3 PHASE 4 WIRE									
NO.	CIRCUIT USE	TRIP	NO.	CIRCUIT USE	TRIP				
1	GENERAL LIGHTING	20 AMPS	2	GENERAL LIGHTING	20 AMPS				
3	RECEPTACLE	20 AMPS	4	RECEPTACLE	20 AMPS				
5	2ND FLR GENERAL LIG	20 AMPS	6	KITCHEN	20 AMPS				
7	AIR CONDITION	20 AMPS	8	KITCHEN	20 AMPS				
9	OUTDOOR LIGHTING	20 AMPS	10	2ND FLR BATH	20 AMPS				
11	OUTDOOR LIGHTING	15 AMPS	12	AIR CONDITION	20 AMPS				
13	AIR CONDITION	20 AMPS	14						
15			16						
17			18						
19			20						



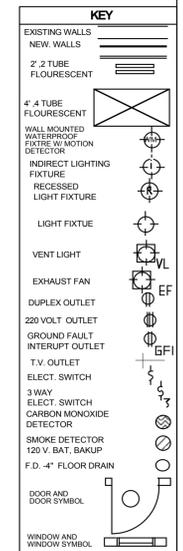
BASEMENT HOUSE FLOOR PLAN

SCALE 1/4" = 1'-0"

ELECTRICAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY FOR A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM.
2. MATERIALS AND INSTALLATION SHALL COMPLY WITH CODES LAWS AND ORDINANCES OF FEDERAL, STATE AND LOCAL GOVERNING BODIES.
3. THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNMENTAL AGENCIES AND UTILITY COMPANIES SHOP DRAWINGS WHICH ARE REQUIRED BY THAT AGENCY FOR THEIR APPROVAL.
4. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE ELECTRICAL WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER AND WIRING FOR THE PERFORMANCE OF ALL TRADES, FOR THE ENTIRE PERIOD OF CONSTRUCTION AND SHALL REMOVE ALL TEMPORARY WIRING AFTER COMPLETION.
6. ALL MATERIALS AND EQUIPMENT SHALL BE LISTED OR LABELED ONE OF THE FOLLOWING AGENCIES: A.G.A. C.S.A. E.T.I. F.M.C.R. I.I.T.R.I. U.L.
7. ALL MATERIALS EQUIPMENT WIRING DEVICES ETC. SHALL BE NEW EXCEPT OTHERWISE NOTED.
8. ALL CONDUCTORS CARRYING 100V OR GREATER CURRENT SHALL BE INSTALLED IN RIGID HEAVY WALL GALVANIZED STEEL CONDUIT, INTERMEDIATE METALLIC TUBING OR ELECTRICAL METALLIC TUBING.
9. LOW VOLTAGE WIRING SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING OR RIGID HEAVY WALL GALVANIZED STEEL CONDUIT IN ALL AREAS THAT ARE NOT ACCESSIBLE.
10. ALL NEW ELECTRICAL SERVICES SHALL BE ACCORDING TO LOCAL CODES AND REGULATIONS.
11. THE MAIN SERVICE DISCONNECTION MEANS SHALL BE LOCATED WITHIN 5 FEET OF THE POINT WHERE THE SERVICE CONDUCTORS ENTER THE BUILDING OR WITHIN 5 FEET FROM METERING DEVICE.
12. ALL CONDUCTORS AND WIRING SYSTEM THAT ARE INSTALLED SHALL BE ACCORDING TO LOCAL CODES AND REGULATIONS.
13. THE MINIMUM SIZE OF BRANCH CIRCUIT WIRING SHALL BE DWG#14 GAUGE COPPER WIRE FOR GENERAL LIGHTING LOADS AND MAXIMUM RATE OF THE BRANCH CIRCUIT FUSE DEVICE SHALL NOT EXCEED 15 AMPS.
14. A SEPARATE DEDICATED CIRCUIT SHALL BE INSTALLED TO EACH CENTRAL AIR CONDITION UNIT, FURNACE, HEAT PUMP, ELECTRIC PUMP, ETC. TWO OR MORE FURNACES, HOT WATER HEATERS ETC. SHALL NOT BE CONNECTED TO THE SAME BRANCH CIRCUIT.
15. AN APPROVED SWITCH OR DISCONNECTING MEANS SHALL BE INSTALLED AT EACH FURNACE HEAT PUMP HOT WATER HEATER ETC. MANUFACTURED INTERNAL DISCONNECTING MEANS SHALL NOT BE APPROVED AS DISCONNECTING MEANS OF SAID EQUIPMENT. BRANCH CIRCUIT BREAKERS IN PANEL BOARDS SHALL NOT BE APPROVED AS DISCONNECTING MEANS OF SAID EQUIPMENT.
16. THERE SHALL BE MINIMUM 2 DEDICATED 20 AMPERE CIRCUITS INSTALLED IN THE KITCHEN.
17. EACH MICROWAVE OVEN LAUNDRY EQUIPMENT AND DISHWASHER SHALL BE CONNECTED TO DEDICATED CIRCUIT WITH 20 AMP BREAKER AND MIN. 12 GAUGE COPPER WIRE.
18. FLOOR JOIST AND CEILING JOISTS MAY BE DRILLED FOR THE PURPOSE OF INSERTING A CONDUIT SYSTEM HOWEVER IT SHALL BE NOTED THAT A MINIMUM OF ONE AND ONE HALF INCH OF WOOD SHALL BE REMAINING ON THE BOTTOM OF SAID FLOOR JOIST OR CEILING JOIST.
19. WHEN THE CONDUIT SYSTEM INSTALLATION IS COMPLETE IT SHALL BE ELECTRICAL CONTRACTOR RESPONSIBILITY TO REPLACE ANY FLOOR JOIST OR CEILING JOIST TO THE ORIGINAL CONSTRUCTION STANDARDS.
20. FLOOR JOISTS CEILING JOISTS ROOF TRUSSES ETC. MAY NOT BE NOTCHED FOR ANY ELECTRICAL INSTALLATION.
21. PROVIDE MINIMUM 30 INCH OF CLEARANCE IN FRONT OF ALL ELECTRICAL SERVICES PANELS.
22. PROVIDE RECEPTACLE OUTLETS AT 12 FEET ON CENTER INCLUDING ANY WALL SPACE TWO OR MORE FEET IN WIDTH AND ALL SPACES OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS.
23. PROVIDE FLUSH RECESSED FIXTURE WITH SOLID LENS OR CEILING MOUNTED FLOURESCENT FIXTURE WITH LENS COVER IN ALL CLOSED AREAS UNLESS THERE IS 18 INCHES HORIZONTAL CLEARANCE FROM COMBUSTIBLE MATERIALS THAT MAY BE STORED IN THE CLOSET.
24. ALL LUMINAIRES LOCATED ABOVE A TUB OR SHOWER SHALL BE MARKED AS BE IN DAMP AREAS AS PER NEC 410.10(D).
25. ALL SERVICES TO BE GROUNDED OUTSIDE WITH 3/4" BY 6" GROUND ROD BONDED BOTH ELECTRICALLY AND MECHANICALLY TO THE METER FITTING. INSIDE GROUNDING IS TO BE PIPED TO STREET SIDE OF WATER METER AND A SIZE #4 JUMPER IS TO BE INSTALLED AROUND THE WATER METER.
26. ALL GROUNDING ELECTRODES SHALL BE A MINIMUM 3/4" DIAMETER (NEC 250.52(5)).
27. ALL SUPPLEMENTAL GROUNDING ELECTRODES SHALL BE AS PER NEC 250.56.
28. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLTS SINGLE PHASE 15 & 20 AMPERE ELECTRICAL OUTLETS IN ALL AREAS HAVE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION.
29. ALL NEW OR MODIFIED BRANCH CIRCUIT BATHROOM SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROTECT THE BRANCH CIRCUIT AS PER NEC 250.104.
30. ALL CEILING ELECTRICAL BOXES ARE TO BE FAN RATED AS PER NEC 410.3(A).
31. ALL ELECTRICAL WORK IS TO BE INSTALLED AS PER ALL CURRENT AND APPLICABLE CODES AND REGULATIONS OF N.E.C.
32. PROVIDE (3) THREE NEW CIRCUITS IN EXISTING 200 AMP SERVICE PANEL IN BASEMENT FOR MASTER BEDROOM, LAUNDRY DEN AND BATHROOM.
33. PROVIDE A TYPE S7 DISCONNECT READY AVAILABLE UNDER THE KITCHEN SINK FOR DISHWASHER. A DISPOSAL WITHOUT A UNIT SWITCH SHALL HAVE A SWITCH INSTALLED IN THE WALL OR UNDER THE SINK.
34. PROVIDE (200 AMP) DEDICATED CIRCUITS FOR SMALL APPLIANCES.

NOTE:
ALL SPECIFICATIONS, DETAILS, SECTIONS AND NOTES AS PER APPROVED PERMIT PLANS #20BLDR-0005
EXCEPT THOSE MODIFICATIONS SHOWN IN THESE DOCUMENTS



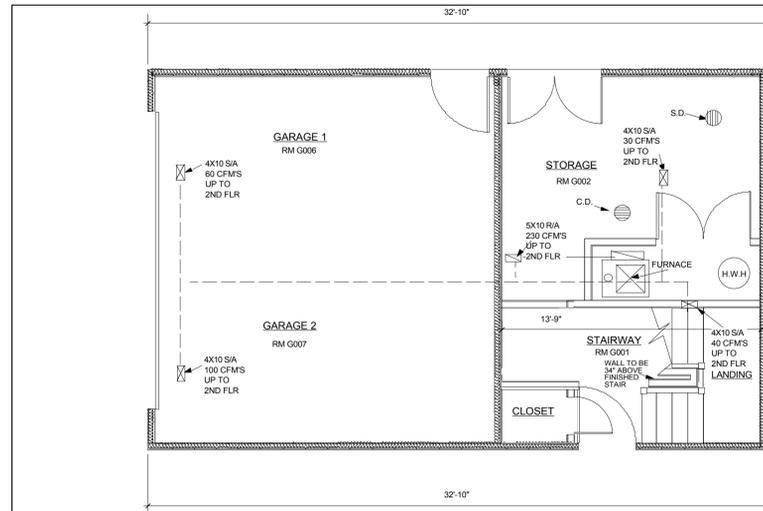
REVISIONS	NANOS - BRISKIN RESIDENCE
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	EVANSTON ILLINOIS 60202

THOMAS W. BUCKLEY
ARCHITECT & ASSOCIATES
P.O. BOX 95624, HOFFMAN ESTATES, IL 60195
TEL: 847-310-9530 FAX: 847-310-9539



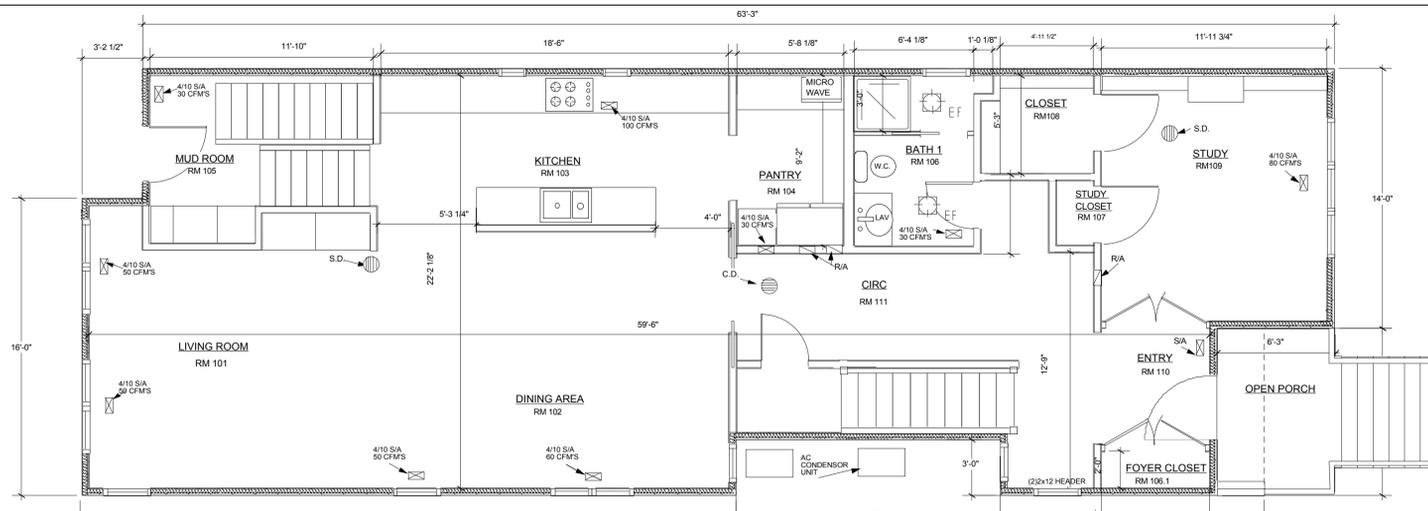
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2516 WAUKEGAN ROAD,
GLENVIEW, IL 60025
(847)-361-9490

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OF 10 SHEET



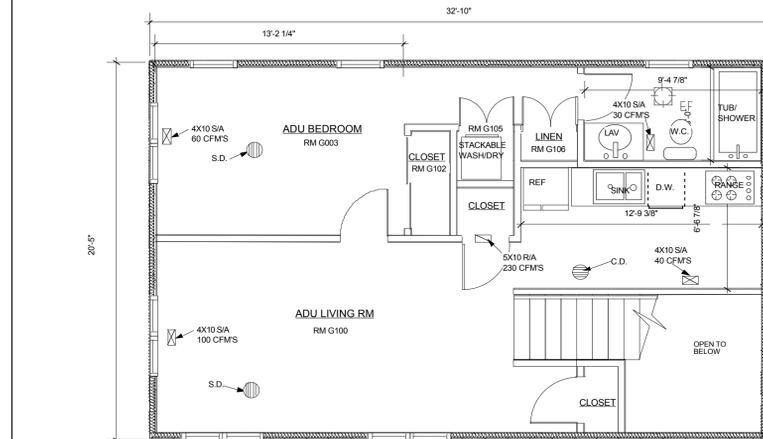
GARAGE FLOOR PLAN AT GRADE

SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN

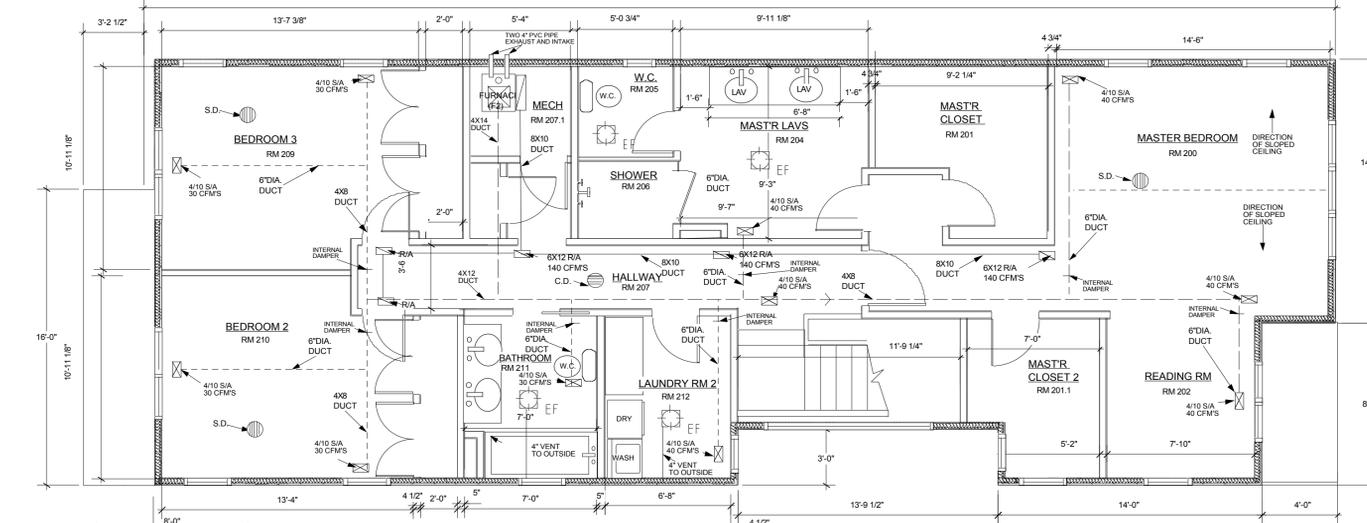
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SECOND FLOOR GARAGE PLAN

SCALE 1/4" = 1'-0"

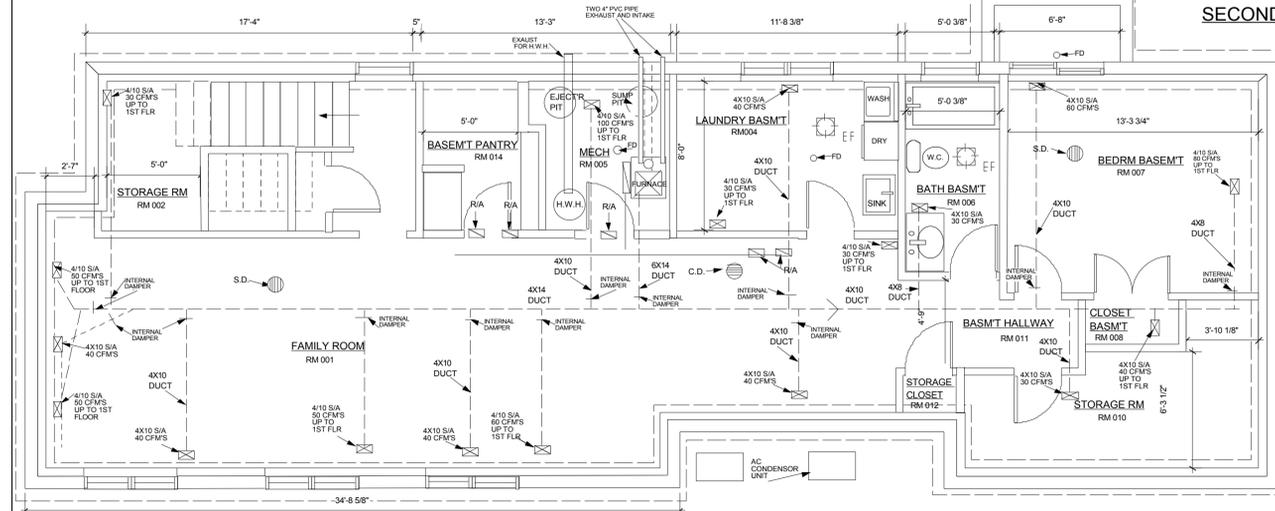
NOTE: ALL DUCTS ARE TO BE INSULATED AND IN THE FLOOR. ALL REGISTERS AND GRILLS ARE TO BE IN THE FLOOR. THIS LAYOUT IS SUGGESTED. THE CONTRACTOR CAN MODIFY IT TO FIT CONDITIONS.



SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

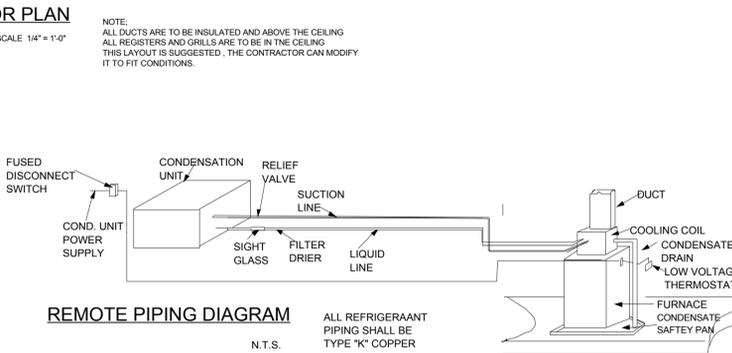
NOTE: ALL DUCTS ARE TO BE INSULATED AND ABOVE THE CEILING. ALL REGISTERS AND GRILLS ARE TO BE IN THE CEILING. THIS LAYOUT IS SUGGESTED. THE CONTRACTOR CAN MODIFY IT TO FIT CONDITIONS.



BASEMENT HOUSE FLOOR PLAN

SCALE 1/4" = 1'-0"

NOTE: ALL DUCTS ARE TO BE INSULATED AND ABOVE THE CEILING. ALL REGISTERS AND GRILLS ARE TO BE IN THE CEILING. THIS LAYOUT IS SUGGESTED. THE CONTRACTOR CAN MODIFY IT TO FIT CONDITIONS.



REMOTE PIPING DIAGRAM

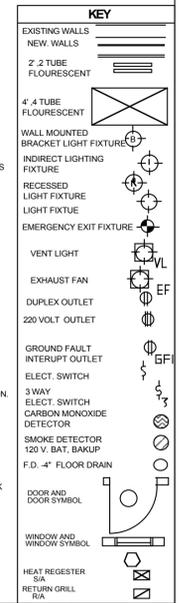
N.T.S.

NOTE: ALL SPECIFICATIONS, DETAILS, SECTIONS AND NOTES AS PER APPROVED PERMIT PLANS #20BLDR-0005 EXCEPT THOSE MODIFICATIONS SHOWN IN THESE DOCUMENTS

MECHANICAL NOTES

- CONTRACTOR TO VISIT JOB SITE OR PREMISES AND BE FAMILIAR WITH JOB CONDITIONS PRIOR TO SUBMITTING BID.
- CONTRACTOR TO PAY FOR ALL TAXES AND FEES AND GIVE LOCAL AUTHORITIES ALL NOTICES RELATING TO HIS WORK.
- ALL WORK SHALL BE DONE IN FIRST CLASS MANNER.
- ALL MATERIALS USED FOR JOB SHALL BE NEW AND THE BEST OF THEIR KIND.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.
- CONTRACTOR TO TEST SYSTEM PRIOR TO OPERATION.
- ALL CUTTING AND PATCHING CAUSED BY THIS WORK SHALL BE DONE BY THIS CONTRACTOR.
- SUPPLY DUCTWORK SHALL BE LINED WITH 1/2" FIBERGLASS DUCT LINER.
- ALL NEW EQUIPMENT SHALL WEAR U.L. LABEL.
- MECHANICAL CONTRACTOR TO INSTALL SPLITTER OR COLLAR DAMPERS AT EACH SUPPLY DUCT TAKE-OFF TO PROVIDE THE MEANS FOR PROPER SYSTEM AIR BALANCING.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION AND THE INSTALLATION OF THE TEMPERATURE CONTROL SYSTEM.
- MECHANICAL CONTRACTOR SHALL PROVIDE SUPPORTING STEEL AND HANGERS FOR ALL MECHANICAL AND PIPING AS REQUIRED.
- THE LOCATION OF DEFFUSERS, REGISTERS, AND GRILLS SHALL BE COORDINATED WITH THE LIGHTING LAYOUT.
- ALL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL AND EACH PIECE OF GAS FIRED EQUIPMENT SHALL BE PROVIDED WITH A GAS SHUT-OFF COCK AND AGA CERTIFICATION.
- THERE SHALL BE NO REFRIGERATION VALVES, DEVICES OR FITTINGS IN THE AIR STREAM OF UNIT G.F.
- MECHANICAL CONTRACTOR TO VERIFY VOLTAGE FOR HVAC EQUIPMENT.
- DUCTWORK SHALL BE FABRICATED FROM PRIME QUALITY GALVANIZED STEEL SHEETS AND BE OF LOW PRESSURE SYSTEM CONSTRUCTION AS PER S.M.A.C.M.A. RECOMMENDATIONS.
- ALL REGISTERS TO BE MAXIMUM 8" FROM WALL.
- PROVIDE A MANUAL DAMPER AT EACH REGISTER.
- PROVIDE LOCK TYPE DAMPERS AT EACH BRANCH TAKE-OFF AT LEAST TWICE AS THICK AS THE GAUGE OF THE DUCTWORK.
- PROVIDE CBC APPROVED HUMIDIFIER.
- INSTALL CBC APPROVED CARBON MONOXIDE DETECTOR AS PER LOCAL CODE.

MECHANICAL FLOOR PLANS



REVISIONS	
JOB #	
DATE	

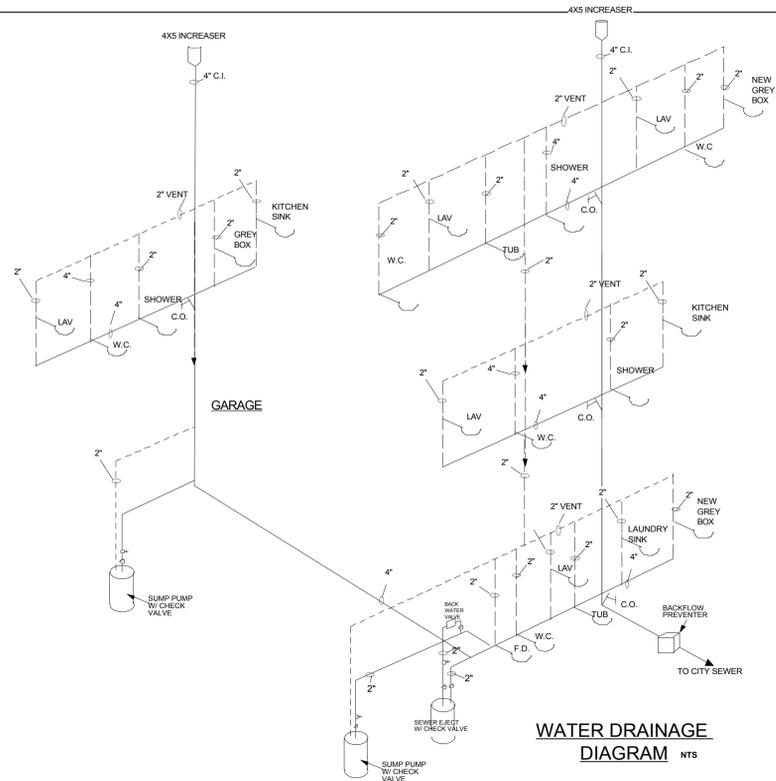
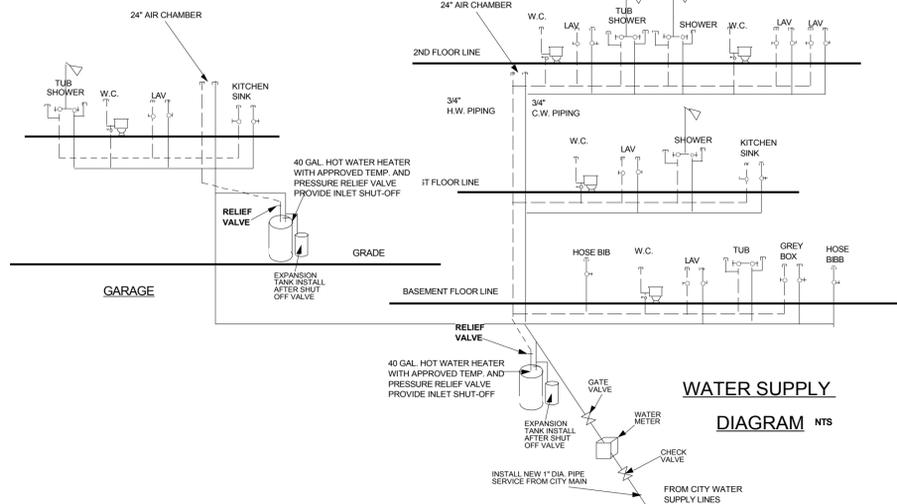
NANOS - BRISKIN RESIDENCE
 FINAL CHANGES OF PERMIT PLANS FOR
 NEW SINGLE FAMILY RESIDENCE
 548 JUDSON STREET
 EVANSTON ILLINOIS 60202

THOMAS W. BUCKLEY
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 2516 WAUKEGAN ROAD,
 GLENVIEW, IL 60025
 (847)-361-9490

SHEET NUMBER
M-1
 OF 10 SHEET



ROOM	SINK	FAUCET	W.C.	TUB	FAUCET	SHOWER BASE	VALVES & SPOUT	WASHING MACHINE
BASEMENT BATHROOM	VENTFORD PARTY W/ INTEGRAL SINK WOOD	KOHLER PUEBLO W/SHOWERHEAD FAUCET #14604L	KOHLER CAMARON REVOLUTION 360 FLOOR TO TOILET W/ SHOWERHEAD W/ 1/2\"/>					

TAG#	EQUIP	SIZE	LOCATION
1	RHEEM	75 GAL QUICK RECOVERY	IN BASEMENT UTILITY RM
2	RHEEM	40 GAL QUICK RECOVERY	IN GARAGE UTILITY RM

HOUSE	
HEAT /LOSS CALCULATIONS BY CONVECTION	
FLOOR	1,416 S.F. X .30 X 80 = 33,984 BTU'S
WALLS	2,618.4 X .26 X 80 = 54,462.7 BTU'S
ROOF	1016 S.F. X .30 X 80 = 33,984 BTU'S
GLASS	516.4 S.F. X .65 X 80 = 26,852.8 BTU'S
NET HEAT LOSS	149,283.5 BTU'S + 15% TOTAL 171,676 BTU'S

GARAGE	
HEAT /LOSS CALCULATIONS BY CONVECTION	
FLOOR	675 S.F. X .30 X 80 = 16,200 BTU'S
WALLS	795.3.6 S.F. X .26 X 80 = 16,542.2 BTU'S
ROOF	1016 S.F. X .30 X 80 = 16,200 BTU'S
GLASS	52.7 S.F. X .65 X 80 = 2,740.4 BTU'S
NET HEAT LOSS	51,682.6 BTU'S + 15% TOTAL 59,434.9 BTU'S

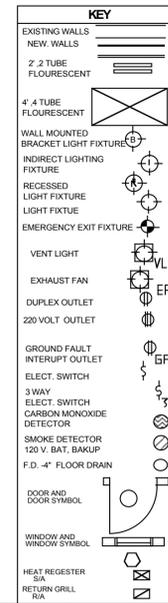
MARK	MANUF	MODEL#	TYPE/BTU'S	LOCATION	CFM/ FAN TYPE	COMMENT
(F1)	AMERICAN STANDARD	SNV2 90% AFUE OR EQUAL	GAS-FIRED 100,000 BTU INTAKE 92,000 BTU OUTPUT	UTILITY RM IN BASEMENT	900 CFM FAN MECH	EXHAUST THRU EXTERIOR SIDEWALL AS PER CODES
(F2)	AMERICAN STANDARD	SNV2 90% AFUE OR EQUAL	GAS-FIRED 100,000 BTU INTAKE 92,000 BTU OUTPUT	UTILITY RM 2ND FLOOR	900 CFM FAN MECH	EXHAUST THRU EXTERIOR SIDEWALL AS PER CODES
(F3)	AMERICAN STANDARD	SNV2 90% AFUE OR EQUAL	GAS-FIRED 80,000 BTU INTAKE 73,600 BTU OUTPUT	UTILITY RM 1ST FLOOR GARAGE	700 CFM FAN MECH	EXHAUST THRU EXTERIOR SIDEWALL AS PER CODES

LOCATION	MANUF	MODEL	CFM	DUCT	COMMENT
(EF-1) 1ST FLOOR BATHROOM EXHAUST FAN	PANASONIC	FV 0511VQL1	110 CFMS	4\"/>	

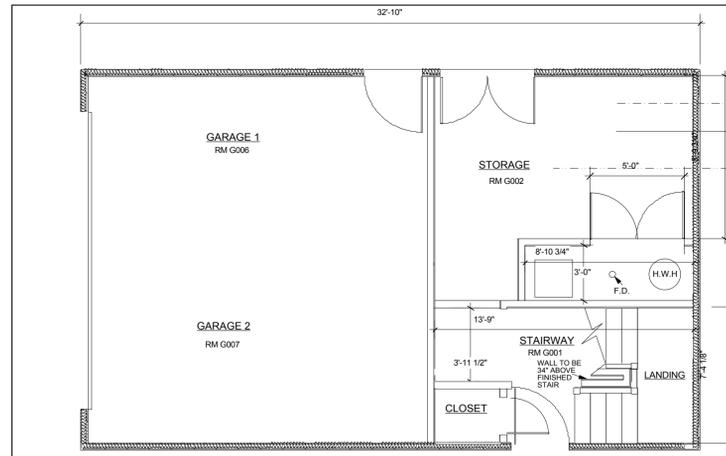
MARK	MANUF	MODEL	NO. OF COMPRESSORS	TON	H.P.	REFRIGERANT	WT. OF REFRIGERANT	LOCATION	REMARKS
AC1	AM. STANDARD	#A47L6036A1000A	1	3	1 1/2	R-22	24 OZ.	SIDE YARD	REMOTE AIR COOLED 16 SEER OR EQUAL
AC2	AM. STANDARD	#A47L6036A1000A	1					SIDE YARD	REMOTE AIR COOLED 16 SEER OR EQUAL
AC3	AM. STANDARD	#A47L6036A1000A	1					REAR YARD	REMOTE AIR COOLED 16 SEER OR EQUAL

ROOM PURPOSE	CODE NAME	FLOOR AREA SQ. FT.	ORDINANCE REQUIREMENTS				PLAN REQUIREMENTS				SUPPLY UNITS	EXHAUST UNITS
			NATURAL LIGHT AND VENTILATION		MECHANICAL VENTILATION		ACTUAL AND VENTILATION		MECHANICAL VENTILATION			
			SQ. FT. GLASS AREA	SQ. FT. VENT AREA	CFM AIR SUPPLY	CFM AIR EXHAUST	SQ. FT. GLASS AREA	SQ. FT. VENT AREA	CFM AIR SUPPLY	CFM AIR EXHAUST		
FAMILY ROOM	RM 001	378	30.24	15.12	148.9		39	39	160			(F1)
BASEMT STAIRS	RM 003	71.1	2.8	1.4	26		4.6	4.6	30			
LAUNDRY BASMT	RM004	91.3	3.6	1.8	35.9		7.8	7.8	40			EF4 EXHAUST TO OUTSIDE VIA 4\"/>

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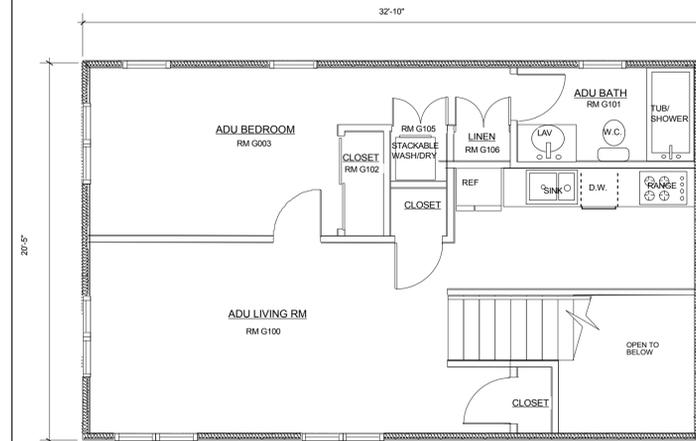


REVISIONS	NANOS - BRISKIN RESIDENCE FINAL CHANGES OF PERMIT PLANS FOR NEW SINGLE FAMILY RESIDENCE 548 JUDSON STREET EVANSTON ILLINOIS 60202	THOMAS W. BUCKLEY ARCHITECT & ASSOCIATES P.O. BOX 95624, HOFFMAN ESTATES, IL 60195 TEL: 847-310-9530 FAX: 847-310-9539		3 CC CHICAGO 2516 WAUKEGAN ROAD, GLENVIEW, IL 60025 (847)-361-9490	SHEET NUMBER M-2 OF 10 SHEET
JOB #					
DATE					



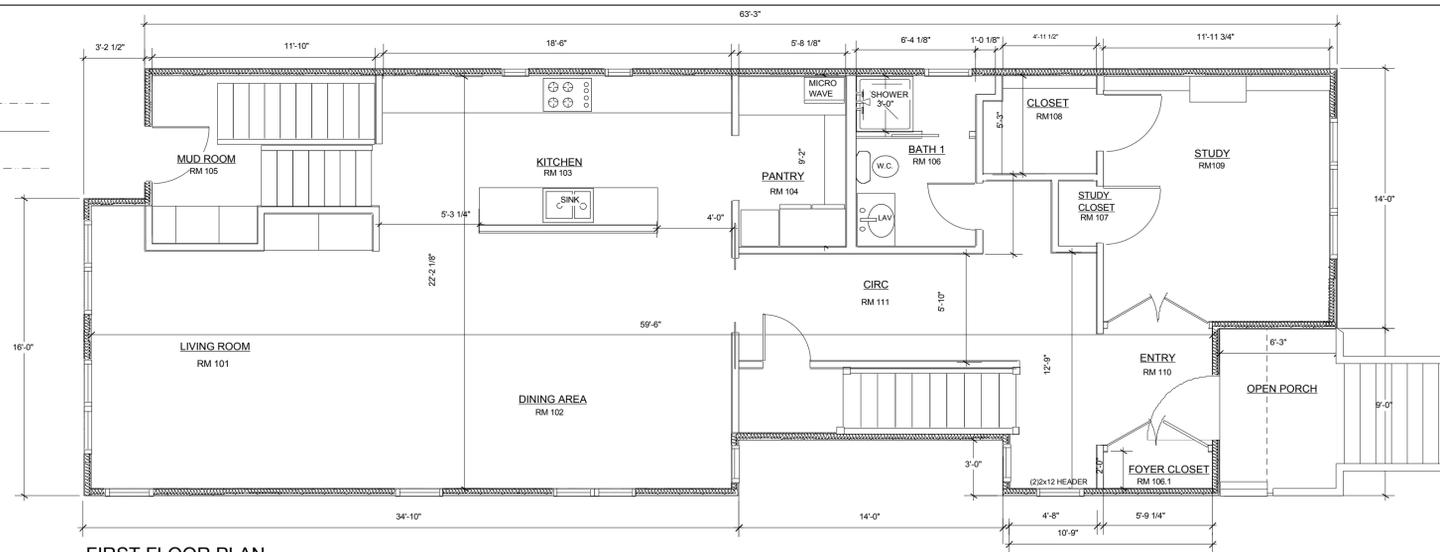
GARAGE FLOOR PLAN AT GRADE

SCALE 1/4" = 1'-0"



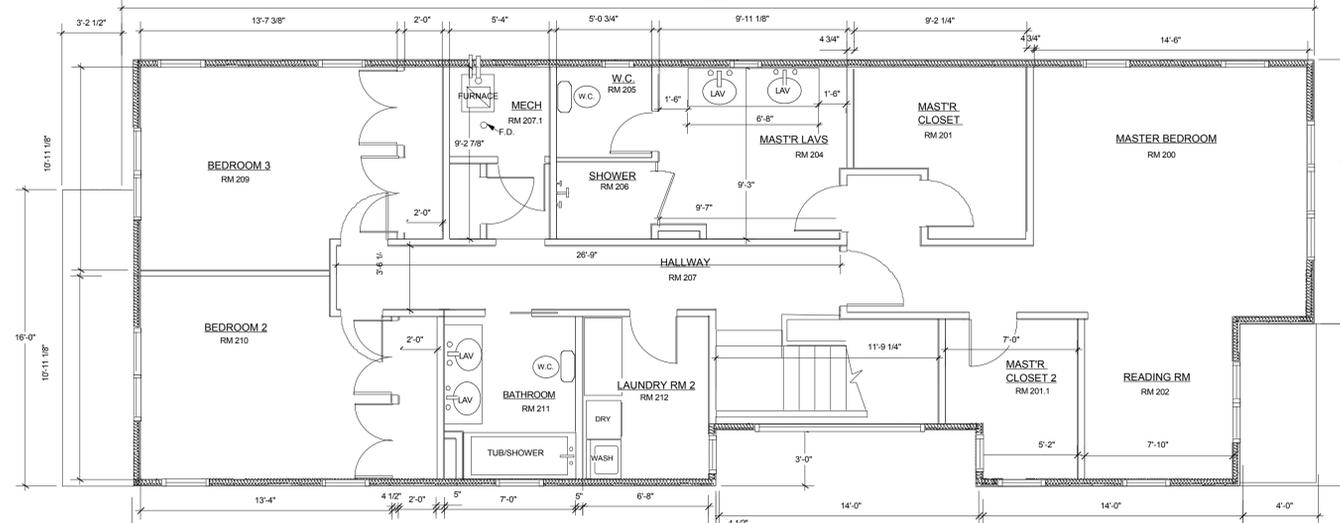
SECOND FLOOR GARAGE PLAN

SCALE 1/4" = 1'-0"



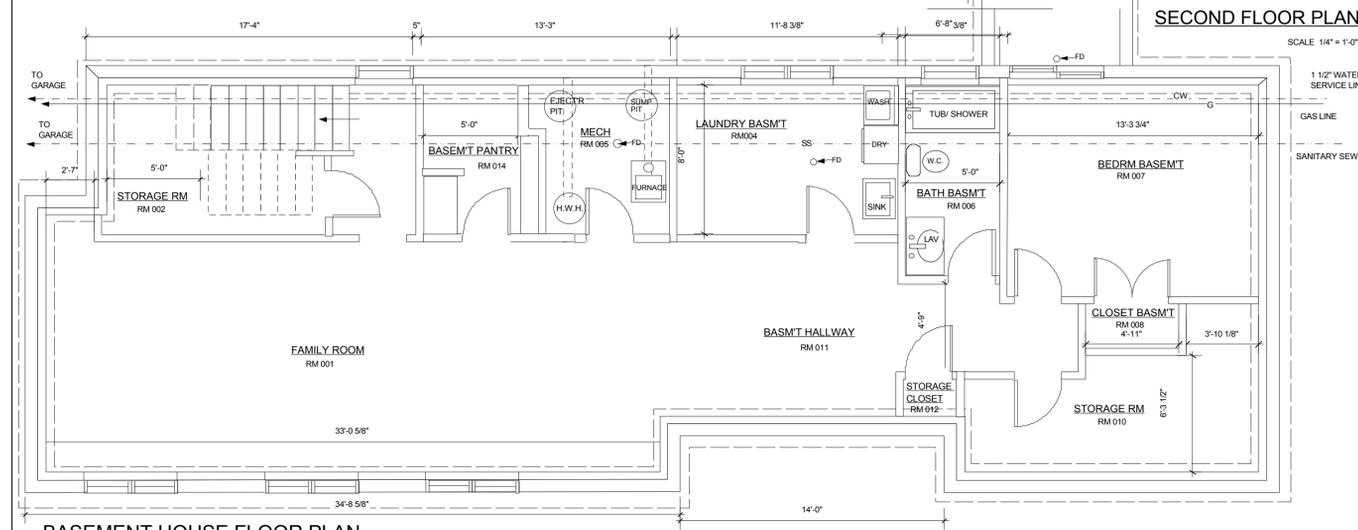
FIRST FLOOR PLAN

1,443 S.F. SCALE 1/4" = 1'-0"



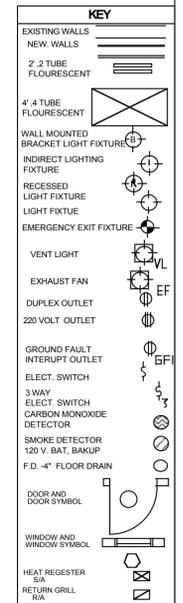
SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"



BASEMENT HOUSE FLOOR PLAN

SCALE 1/4" = 1'-0"



PLUMBING NOTES

1. CONTRACTOR TO VISIT JOB SITE OR PREMISES AND BE FAMILIAR WITH JOB CONDITIONS PRIOR TO SUBMITTING BID
2. CONTRACTOR TO PAY FOR ALL TAXES AND FEES AND GIVE LOCAL AUTHORITIES ALL NOTICES RELATING TO HIS WORK.
3. ALL WORK SHALL BE DONE IN FIRST CLASS MANNER.
4. ALL MATERIALS USED FOR JOB SHALL BE NEW AND THE BEST OF THEIR KIND.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.
6. CONTRACTOR IS TO GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR AFTER COMPLETION AGAINST ALL DEFECTS OF MATERIALS, EQUIPMENT AND WORKMANSHIP.
7. CONTRACTOR TO TEST SYSTEM PRIOR TO OPERATION
8. ALL CUTTING AND PATCHING CAUSED BY THIS WORK SHALL BE DONE BY THIS CONTRACTOR
9. SEWER PIPING ABOVE GRADE SHALL BE SCHEDULE 40 PVC PLASTIC PIPE AND FITTINGS, ALL VENT PIPING SHALL BE SCHEDULE 40 PVC PLASTIC PIPE. ALL SEWER PIPING BELOW GRADE SHALL BE STANDARD WEIGHT CAST IRON PIPING AND FITTINGS.
10. ALL NEW AND DOMESTIC HOT AND COLD WATER LINES SHALL BE COPPER PIPING, TYPE "L" PROVIDE DIELECTRIC FITTINGS WHERE NECESSARY.
11. INSULATE COLD AND HOT WATER LINES WITH 1/2" THICK FACTORY REMOLDED FIBERGLASS PIPE INSULATION WITH VAPOR BARRIER
12. ALL VALVES SHALL BE SIMILAR TO CRANE OR AMERICA
13. CLEANOUTS SHALL BE INSTALLED AT EACH CHANGE IN DIRECTION OF SEWER LINES.
14. PROVIDE 24" AIR CHAMBER AT ALL PLUMBING FIXTURES AND AT 24" AIR CHAMBER AT ALL RISER MAINS.
15. ROOF VENTS SHALL EXTEND A MINIMUM OF 12" ABOVE ROOF.
16. PROVIDE A 2" DRAIN LINE WITH A 2" CLEAN-OUT FROM RHE KITCHEN SINK INTO THE CABINET PER ISPC 890.1340d AND 890.420
17. DISHWASHERS SHALL NOT DISCHARGE INTO FOOD WASTE DISPOSAL UNITS
18. PROVIDE A SEPERATE WATER SHUT-OFF VALVE FOR EACH FIXTURE
19. A WATER TEST OF THE WASTE AND VENT SYSTEM SHALL BE REQUIRED.
20. ALL UNUSED PIPES MUST BE REMOVED
21. INSTALL DRAINAGE PIPING FOR CHANGES IN DIRECTION AND BACK TO BACK FIXTURES. DO NOT INSTALL CROSSES ON THE DRAIN LINE.
22. PLUMBING FIXTURE CLEARANCES MUST MEET MINIMUM REQUIREMENTS OF FIGURE R307.2
23. PROVIDE TEMPERATURE CONTROLLED SHOWER AND OR TUB VALVES WITH A LIMIT STIP PER IPC 890.690(b).
24. PROVIDE 2" TRAP ON THE SHOWER DRAIN AS PER IPC 890.110.

NOTE:

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NANOS - BRISKIN RESIDENCE
 FINAL CHANGES OF PERMIT PLANS FOR
 NEW SINGLE FAMILY RESIDENCE
 548 JUDSON STREET
 EVANSTON ILLINOIS 60202

THOMAS W. BUCKLEY
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3 CC CHICAGO
 2516 WAUKEGAN ROAD,
 GLENVIEW, IL 60025
 (847)-361-9490

SHEET NUMBER
P-1
 OF 8 SHEET

PLUMBING FLOOR PLAN

APPROVED



EVANSTON PRESERVATION COMMISSION
Tuesday, **February 11, 2020, 7:00 P.M.**
Morton Civic Center, 2100 Ridge Avenue
Room 2800 James C. Lytle Council Chambers

MINUTES

Members Present: Beth Bodan, Elliott Dudnik, Julie Hacker, Ken Itle, Suzi Reinhold,
Mark Simon, Tim Schmitt, and Aleca Sullivan

Members Absent: Robert Bady, and Jamie Morris

Staff Present: Scott Mangum, Planning & Zoning Manager
Carlos Ruiz, Preservation Coordinator
Bryan George, Assistant City Attorney

Presiding Member: Mark Simon, Chair

1. CALL TO ORDER / DECLARATION OF QUORUM

Meeting called to order at 7:05 with a quorum present

2. OLD BUSINESS

- A. 1204 Sherman Avenue (L) —Case # 19PRES-245 –** Judy and Achim Ashworth apply for a Certificate of Appropriateness to replace the existing double-hung wood windows (other window types include picture, awning and glass block windows) with double-hung PVC clad wood windows. The windows are visible from Sherman Avenue, and the alley at the rear, both public ways. Applicable standards: [Alteration 1-6 and 9] **[Continued from 11/12/2019, 12/10/2019 and 1/14/2020 without discussion] Applicant has requested to continue the case to March 10, 2020.**

Without discussion, Commissioner Dudnik made a motion to continue 1204 Sherman Ave. to March 10, 2020, seconded by Commissioner Sullivan. The motion passed. Vote: 8 ayes, 0 nays.

- B. 548 JUDSON AVE. (LSHD) Case # 19PRES-0262 -** Chris Turley, architect, submits an application for a Certificate of Appropriateness for the demolition of an existing house located within the R1 Single-Family Residential District and Lakeshore historic district. The applicant proposes construction of a new 2-story wood frame single family residence with a 2-car detached garage and coach

APPROVED

house. Additionally, the applicant requests zoning relief for proposed building lot coverage of 38% where a maximum of 30% is permitted (Zoning Code Section 6- 8-2-7); proposed impervious surface ratio of 58% where 45% is permitted (Zoning Code Section 6-8-2-10); and, two off-street parking spaces where three are required (Zoning Code Section 6-16 Table 16-B). Applicable standards: [Construction 1-11, 13, 14, and 16; and Demolition 1-6; Zoning Variations A and C] **[Continued from 12/10/2019]**

Chris Turley presented the application as follows:

- The 2011 survey of the Lakeshore Historic District lists the house as non-contributing
- The house foundation needs replacement, there is no access to the basement, the exterior walls are rotting. The roof, the hardscape, the garage, and all mechanical need replacement
- The cost of replacing and repairing for a 2 bedroom, 2 bath building is estimated to be 900K, twice the market value of 400K. Plus an addition is estimated at 150K

Chris Turley addressed the standards for demolition as follows:

1. The building is not of historic or architectural significance, there are no rare elements, windows don't indicate a specific style, nor are they rare.
2. There is not a cohesive singular building style in the Lakeshore historic district, the architectural style of the block is eclectic
3. Demolition of the building is not contrary to the purpose and intent of historic preservation
4. This property was originally two lots, then split into three lots (33-foot wide lots, where 50 feet is the standard). Then three low-cost cottages were built
5. The building is out of date; it does not meet any of the code provisions for structural, plumbing or life safety. And it encroaches into the side yards. The wide soffits represent a fire hazard
6. The intent is to build immediately and occupy the new building

Chris Turley said that at the last meeting there were concerns about the height and massing of the building and whether there were strong enough horizontal elements to fit into the context of the neighborhood, and because of the small size of the lot, they are seeking zoning variations (lot coverage and impervious surface.)

Chris Turley described the floor plans from the basement to the second floor, stating that they are not excessive. The house is a modern farmhouse, with horizontal siding. It has a broad plinth base with an 8" horizontal band, 6" siding going up with periodic horizontal bands and gable roofs that step back.

Changes from the first presentation: The building was moved back 8-feet, the first floor was lowered by 6", and the ceiling heights on the second floor have been reduced.

APPROVED

Originally, the front bay had one facade, now there is a front bay and an indented front door. South side: indent on the south side of the building, the neighbors will have more space near their front door, and roofs are stepped back. The front porch lines up with adjoining properties. The front bay was lowered from 34.10-feet to 27.9-feet. The second roof was lowered from 34.1-feet to 31.7-feet. The third roof was lowered from 31.1-feet to 30.8-feet. Originally the front façade had four windows, now there are three smaller windows in a band. Some siding was increased to match that of the neighbors. Also, the trim removed from the corners. The porch has a dark trim on the horizontals of the porch.

Chris Turley addressed the standards for construction as follows:

1. Regarding height: By reducing the total height of the building and pushing it back the building works in context with the properties on either side and within the neighborhood.
2. The height of the building is not maxed out and is not as tall as most of the buildings on the block.
3. 20 out of 23 properties on the block have double-hung windows, 14 out of 23 have all kind of windows. 35% do not have divide lights. 48% have large amounts of glass
4. They are increasing the space between buildings on the side yards (5-feet).
5. They held the façade of the building from the street; the front porch aligns with bays on the adjoining buildings.
6. Only 30% of the properties on the block have front porches as the proposed house.
7. 57% of the properties on the street have horizontal siding as the proposed house.
8. 12 out of 23 properties have one or more gable roofs as the proposed house.
9. The have fencing on either side of the building set back from the façade. The real wall of continuity is the lineup of all the facades.
10. Scale of the structure has been addressed in standards 1 and 2.
11. The building has horizontal emphasis with the horizontal siding.
12. The existing gable roof return, the front bay, and the windows are not reparable, and they do not apply to the proposed design
13. Not applicable
14. The block is eclectic. This design fits into the neighborhood, which is a collection of a variety of architectural styles. The building design is very sympathetic to that, it is elegant and simple.
15. Not applicable.
16. The architectural style is very eclectic.
17. Does not apply.

Chris Turley said they reduced the building's footprint and lowered its height, set it back from the street even further. The footprint of the building is similar to the footprint of the building to the south. They will help to relocate the neighbor's garden that encroaches onto the lot. The style is appropriate for the neighborhood.

APPROVED

The accessory dwelling unit will provide affordable housing in this area. Because there is a train station nearby, they are minimizing parking issues in the neighborhood. One family member is considering moving there.

Commission's Comments/Questions

Commissioner Bodan: asked about the steel stair with open treads and horizontal railing. C. Turley said that it is a modern take on a farmhouse.

Commissioner Iltle: asked about the roofline and the different gables. C. Turley described the front bay and gable roof, the indented front door and porch behind, the 2nd bay above it, and the back roof as it rises.

Public Comment

Ken Marthaler of 530 Judson Ave. expressed concern about boarders and renters that are non-family members, and about the requested zoning variations for the required additional parking space for the coach house, the lot coverage (maximum 30%; requested is 38% and maximum allowed impervious surface is 45%; requested is 58%).

Scott Mangum clarified that off the street parking is no longer applicable to this project. The City has approved a text amendment waiving parking for coach houses when within 1,500-feet of a transit stop. That applies to 548 Judson Ave.

Carlos Ruiz clarified that the zoning variation for the lot coverage and impervious surface are minor variations, not major variations. He also mentioned an email from Geraldine Shapiro of 546 Judson Ave. in opposition to the demolition of the existing house, and that the proposed house is out of context with the two adjacent houses.

Commission's Findings

Without further discussion Commissioner Dudnik made a motion to issue a COA for 548 Judson Ave. for the demolition of the existing house, located in the Lakeshore historic district, and the proposed construction of the new 2-story frame single-family residence with a two-car detached garage and coach house. Applicable standards: demolition 1-6, and construction 1-11, 14 and 16. Commissioner Sullivan seconded the motion. The motion passed. Vote: 8 ayes, 0 nays.

Commissioner Dudnik made a motion for a positive recommendation to the Zoning Administrator for minor variations regarding lot coverage and the impervious surface ratio. Commissioner Sullivan seconded the motion. The motion passed. Vote 8 ayes, 0 nays.

- C. PUBLIC HEARING - 2404 RIDGE AVE. (L) Case # 19PRES-0266** - Chris Sweitzer, applicant, submits for a Certificate of Economic Hardship, following the Preservation Commission's denial on August 6, 2019, of a Certificate of Appropriateness for post-approval alterations to the barn at 2404 Ridge Av, that

Approval of Meeting Minutes



DRAFT

MEETING MINUTES

PRESERVATION COMMISSION

Tuesday April 12, 2022

7:00 P.M.

Via Virtual Meeting

Members Present: Simon, John Jacobs, Stuart Cohen, Jamie Morris,
Suzi Reinhold, Carl Klein, Beth Bodan, Aleca Sullivan

Members Absent: Sarah M. Dreller Stuart Cohen

Staff Present: Cade W. Sterling; Carlos D. Ruiz

Presiding Member: Suzi Reinhold, Chair

Notes Taken by: Cade W. Sterling

Agenda

New Business:

A. **1322 Lake Street – Ridge Hist. Dist. - Landmark - 22PRES-0033**

David Roberts, architect, submits for a Certificate of Appropriateness to construct a front-porch addition at the front elevation of the residence.

Applicable Standards: Construction [1-2; 4-8; and, 10-15]

- David Roberts (the applicant) provided a detailed presentation on the proposed project including the history of the home and its former front-porch, as well as design queues on the existing structure and for the Italianate style more broadly that influenced the proposed design.
- The applicant noted that the rear and side porch additions are more vernacular than the proposed front-porch which would have been more ornate. No historic images could be located for an accurate reproduction, but the proposed design closely follows examples in associated pattern books for the style.
- The homeowners, Kitty and John Culbert, provided an overview of the work they've done to the home since they've inhabited it, including reconstruction and repair of the homes side and rear porches, a new detached garage, and now the proposed front-porch.
- The homeowners described the proposed project as a capstone, returning the home to its former state.

- Commissioners asked the applicant for more information on the proposed porch columns and height of the proposed roof. Specifically if the underside of the porch roof would obstruct the front door transom.
- The applicant explained that although subtle in the provided plans, the roof slopes in order to not obstruct the transom or any mouldings that are extant. As seen from the sidewalk, you would see the front door and transom unobstructed. The placement of the columns allows for a full column rather than a half column or pilaster.
- A motion to approve the project as presented passed unanimously.

B. **1211 Hinman Avenue - Lakeshore Historic District - 22PRES-0034**

Paul Janicki, architect, submits for a Certificate of Appropriateness to enclose an existing roofed side-entry porch for habitable space, alter the principle structures fenestration with new window locations, and install solar panels at the south roof face behind the south gable.

Applicable Standards: Alteration [1-10]; Construction [3-4; 7-8; 10; 12; and, 13-14]; Solar Design Guidelines

- Paul Janicki (applicant), provided a brief overview of the proposed project including its limited scope (enclosure of small side-porch for use as a mudroom, and new window locations in non-existing openings).
- The applicant provided information on the proposed mudroom addition including the use of cedar clapboard siding of the same exposure as existing, retention of the existing exposed rafter tails, and complimentary fenestration.
- The applicant reviewed the proposed elevations and new window locations.
- Commissioners asked about the new front elevation first floor window and if a transom was being proposed to match the existing first floor fixed window.
- The applicant explained that the transom is not being proposed due to the height limitations under the porch roof. The trim and mouldings would match existing dimensions, and the head and sill heights (excluding the transom) would align.
- The applicant noted that the side elevation proposed art glass window would match its existing counterpart. The applicant further explained how the art glass window would be fabricated.
- The applicant reviewed the proposed solar array noting it was early in the process, but he wanted to propose a simple array on a secondary roof face that is not easily visible from the public way.
- Commissioners asked about the solar component and if the conduit would be visible, as well as how high the panels would

- project.
- The applicant explained they were flush mounted with a minimal projection above the roof face, and that not mechanicals or conduit would be visible.
 - Commissioners noted that typically more information would be provided to review the proposed windows as well as the solar array. Including proposed section drawings.
 - The applicant explained that the window manufacturer had not been selected yet due to variability in lead time and product availability. Although they would be similar from manufacturer to manufacturer, they did not want to show a section that would not be accurate when they came in for permit.
 - The staff liaison noted that the majority of the homes window program was replaced in 2005 and suggested that detailed drawings could be provided for administrative review once the permit was applied for.
 - A motion to approve the project with the condition that the applicant provide detailed section drawings for the proposed solar array as well as the windows for administrative review, passed unanimously.

C. **1018 Greenwood Street - Ridge Historic District - 22PRES-0032**

David Salzman, owner, submits for a Certificate of Appropriateness to construct a second-story addition atop an existing single-story rear addition, construct a single-story attached garage addition with rooftop deck, and alter the structures front elevation portico.

Applicable Standards: Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

- David Salzman, owner and applicant, (the applicant) provided a brief overview of the project and his intent to receive feedback from the Commission so he could begin preparing more detailed drawings with his architect.
- The applicant provided information on the proposed rear addition including its materiality which was primarily hardieboard clapboard siding and salvaged brick. The addition would be a simple cross gable at the rear of the existing home. The front elevation would not be altered.
- The applicant provided information on the proposed windows, which he noted are not accurately represented in the 3D drawing provided. The intent would be to match the existing six-over-six windows with an aluminum clad wood window with SDL.
- The staff liaison provided input on the structures classification as non-contributing noting that this was likely due to its age at the time the National Register District was formed (1980s), and the property being less than 50 years old at the time. Staff encouraged the Commission to review the proposed project as if it were a contributing structure and gave a professional opinion that it would be reclassified under a re-survey.
- The applicant asked for clarification on what it meant to be listed as contributing vs non-contributing. The staff liaison provided a description, but also noted that the code itself does not draw a distinction between these classifications, and the same

standards apply for all proposals.

- Commissioners asked the applicant whether the rear garage was original to the structure and how/if it will be altered.
- The staff liaison interjected saying that all the documentation the City has on file indicates the rear single-story garage and breezeway were original to the home, and they would be a common/evolutionary feature for a late 1950s Colonial Revival
- The applicant stated he was not certain but agreed it was likely original. The intent would be to retain the existing garage and breezeway, but build atop it. The recessed entryway would be modified both in its location and its materiality.
- Commissioners discussed the existing addition and asked the applicant to retain its original qualities to the extent possible, including the recessed entryway and to also explore retention of the metal paneling as these are features that may have gained historic significance over time.
- Commissioners indicated that the level of detail on the drawings provided were not adequate to provide a thorough review. The drawings should be more developed, and provide detailed information on the transition area between the home and the addition, how the brick and clapboard siding will meet, detailed drawings of the proposed windows in comparison to the existing windows, and detailed information on the proposed railing system.
- The applicant stated he could produce these items
- The Chair asked members of the Commission to provide information on the proposal that could guide the applicant and his architect to not only produce more detailed drawings, but address any concerns with the proposal.
- Commissioners provided input on the proposal, particularly concern with the proposed pattern of fenestration, rhythm of solids vs voids, (Standards for Construction 3 and 4), Commissioners also had concerns with the mass of the structure (Standard for Construction 10), retention of the original qualities of the rear addition that may have gained significance over time (Standard for Construction 12).
- Commissioners provided some broad suggestions, such as retaining the existing recessed entryway, pushing the east side elevation façade to the west and potentially wrapping the second-story porch around that elevation, or reversing the location of the porch/deck, and better mimicking the existing homes pattern and rhythm of fenestration in order to also provide a more appropriate relationship of solids vs voids on the façade.
- The staff liaison agreed with the above suggestions and noted that an important feature of the Colonial revival style is symmetry, something lacking in the proposed addition.
- Commissioner Jacobs indicated a willingness to work with the applicant to review proposed changes.
- Members of the Commission asked if there was a way to facilitate an administrative review or review by a subset of Commissioners, or if a continuance was warranted.
- The staff liaison stated that in this instance a continuance seemed more appropriate.
- Members of the Commission asked if a month was long enough to accommodate the revisions.

- The applicant stated it was although the staff liaison noted if more time is needed, it just means it would need to be re-noticed.
- A motion to continue the case to the May 10 meeting was carried unanimously.

Staff Reports:

A. **Long-Range Work Plan Subcommittee**

- Staff provided an update on the long-range plan and has sent subcommittee members a draft document with goal and policy statements as well as a draft list of initiatives for consideration and critique. A meeting with the subcommittee to finalize the draft is being scheduled with an intention to bring a draft to the full Commission for review in May.

B. **Preservation Month Events**

- Staff provided information on events planned in Evanston during the month of May to promote historic preservation.
- Commissioners asked that staff keep them informed of specific dates for events, particularly the installation of heritage markers in the fifth ward – an initiative the Commission worked closely on.

Adjournment:

The meeting was adjourned at 8:40pm

Discussion



MEMORANDUM

To: Members of the Preservation Commission
From: Cade W. Sterling, Planner
Subject: For Discussion: Downtown Resources
Date: April 1, 2022

Background:

The downtown area has been historically defined by Emerson Street to the north, Hinman Avenue to the east, Lake Street to the south, and Asbury Avenue to the west.

The history of the downtown is representative of a similar story told in both small and large cities across the Country as built environments changed drastically during the post-World-War Two Period. Despite significant change, the downtown has largely endured as a cultural and economic center for the North Shore and is an area deeply rooted in Evanston's identity for all its residents.

The height of downtowns architectural significance largely peaked between the 1930s and the 1950s as a prominent center of retail and fine shopping. During the late 1950s through the 1970s, due in part to the proliferation of the automobile, removal of the City's street car system (late 1930s), a shift from large retailers locating in traditional downtowns toward relocation to suburban shopping centers (such as Old Orchard), and the creation of suburban office parks along I-94 -- the downtowns market viability was greatly diminished. Resulting interventions attempted to reverse these trends, and the City created large-scale redevelopment plans in an attempt to transform the downtown. Fortunately many of these interventions did not move forward, although those that did would alter the downtowns built fabric forever. These commonly included demolition of buildings for surface parking or redevelopment with larger buildings, as well as alterations to storefront facades and changes to streetscape and amenity zones to accommodate efficient conveyance and storage of vehicles. A concurrent effort by the newly created Evanston Preservation Commission in the mid-1970s, looked to survey the downtown area and create a potential conservation district. The Commission identified 15 buildings of high significance, but noted that their dispersed location, as well as the loss of other significant built fabric, and new surface parking areas created in the previous decade, made a cohesive conservation district unfeasible. Of the 15 original buildings identified by the early Preservation Commission, only ten remain today. Despite these efforts, by the 1980s the downtown continued to decline with the loss of nearly all its major retailers, theaters, and office headquarters.

Although the history of the downtowns decline is not unique, its long-term revitalization efforts are -- particularly the City's willingness to acquire surface parking areas for future redevelopment, strategic partnerships made with Northwestern University, and eliminating the local prohibition of alcohol sales. In an effort to more strategically reverse the downtowns decline, the City also adopted its first Plan for Downtown in 1989 and related changes to its Zoning Ordinance in 1993 to spur development activity. The results of these efforts provided a dramatic increase in residential development, new retail and entertainment uses, a restaurant boom, and new parking garages and streetscapes -- significantly aiding in the downtowns vibrancy and ability to compete with surrounding retail and office centers.

In 2009, the City adopted an update to its Downtown Plan. Of particular note, this document identified three "Traditional Character Zones" -- locations first identified in much earlier redevelopment planning for the downtown, and areas thus largely spared from redevelopment. These areas constitute a traditional, pedestrian oriented, human-scaled environment representative of the downtowns remaining historic character and built fabric. Understanding the architectural significance of many of these structures, a concurrent effort was made by the Preservation Commission in 2007 to survey the downtown boundaries for architecturally significant structures not previously registered as Landmarks. In addition to the 28 Landmarks currently within the downtown, the Preservation Commission identified an additional 20 that were eligible for designation. Finally in 2019, the list of downtown structures was supplemented with an additional 24 properties which merited further survey and documentation. Unsurprisingly, the majority of the resources surveyed or identified for further investigation are located within the Traditional Character Zones identified in the 2009 Downtown Plan (map attached).

Even throughout the pandemic, despite a significant burden on retailers and business owners, downtown Evanston has seen continued development and construction. Due to its built-out character, existing long-time businesses, and significant development potential, a sensitive approach for future development in the downtown which prioritizes business and character retention is necessary. This is particularly true within the Traditional Character Zones which contain resources with a combination of significant architectural, cultural, and historical significance, or more broadly, resources representative of irreplaceable built fabric which provide the desired physical context, rent structure, and traditional human scaled character as well as curiosity in material compositions and forms not commonly found in new construction today. Acknowledging the character defining aspects of these resources, the 2009 Downtown Plan recommended incentivizing adaptive use, and façade rehabilitation for these areas as well as changes to the zoning code to provide for more contextual development. Additionally, the plan recommended creation of a fund in which Planned Developments would pay to help facilitate preservation based economic development activities in the downtown. However, the plans implementation related initiatives were largely not adopted, in part due to the 2008 recession and changes in market conditions that have never recovered. Thus, decisions regarding the downtown in the last decade have been largely reactive rather than proactive.

Some areas, particularly on the east and west portions of Davis Street have seen significant investment, adaptive use, and appropriate façade improvements since the plans adoption. However, some properties in these areas have seen inappropriate façade interventions, and others have been demolished outright. Many more properties in the

Traditional Character Areas remain threatened due to the underlying zoning and associated development potential.

The downtown in many ways has had three lives and is likely transitioning into a fourth:

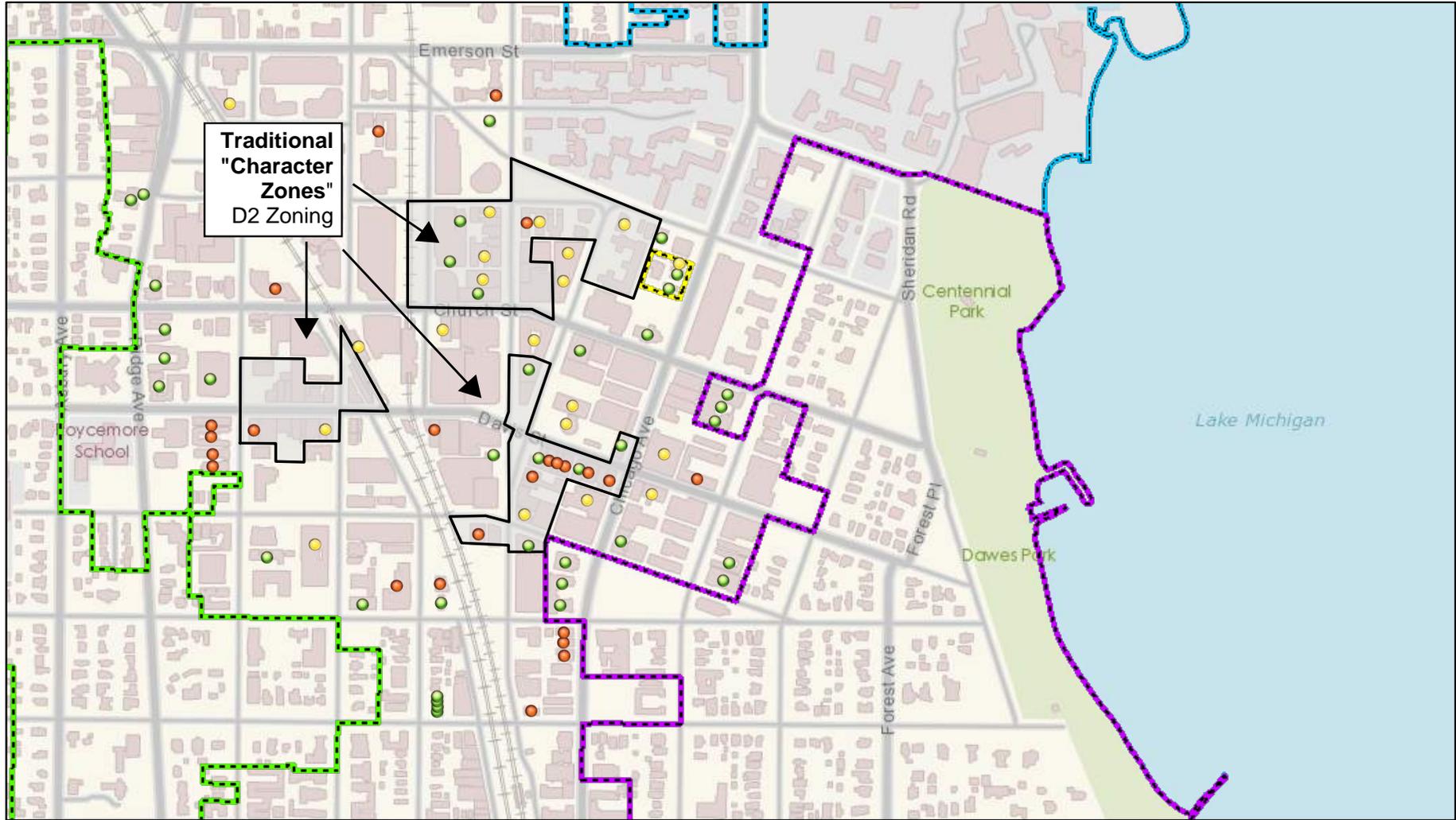
1. 1850s-1950s (University, Commerce, and Retail Center)
2. 1950s-1980s (Headquarters City)
3. 1980s-2020 (Entertainment, Residential, and Restaurant Revival)
4. 2020-present (Post-Pandemic Response and Revitalization)

Topic for Discussion

To better understand not only which resources in the downtown are eligible for designation but which resources more broadly contribute to the downtowns remaining character in whole, an intensive survey of the downtown should be explored and discussed. One approach could be to create character profiles and associated recommendations for areas within the downtown boundaries which explore identifying, supporting, celebrating, retaining and enhancing the character defining aspects of the downtown as well as telling the stories of significant events and individuals associated with the downtown and its development. Additional recommendations could be explored which are proactive rather than reactive, and supplement traditional preservation-based approaches to retain existing business and built fabric during a time of unknown changes in retail and office demand as a response to the pandemic. Examples include but are not limited to:

1. survey efforts which build awareness of the downtowns architectural and cultural significance and which identify character defining features to retain and restore when adaptive use or rehabilitations are proposed;
2. documenting stories and events associated with the downtowns pattern and history of development
3. exploring barriers that exist for appropriate investment or adaptive use;
4. exploring incentives that may help facilitate and increase the likelihood of future adaptive use and appropriate façade improvements;
5. urban design recommendations;
6. potential education, outreach, and heritage tourism activities or publications;
7. identification and celebration of downtown “legacy businesses”;
8. offering guidelines and advisory technical assistance for property owners and developers to facilitate more sensitive and appropriate interventions for resources identified as contributing; and,
9. additional preservation-based economic development tools and programs.

ArcGIS Web Map



3/30/2022, 12:03:51 PM

Local Historic Districts

- Northeast

- Woman's Christian Temperance Union

- Ridge

- Lakeshore

- City Boundary

- Existing Landmark

- Eligible/Significant (2007 Downtown Survey)

- Contributing/Requires Further Consideration

1:8,000

