



AGENDA
Preservation Commission
Tuesday, June 14, 2022
Lorraine H. Morton Civic Center, Room 2800 7:00 PM

Page

1. CALL TO ORDER/DECLARATION OF A QUORUM

2. OLD BUSINESS

A. 1018 Greenwood Street - Ridge Historic District - 22PRES-0032

David Salzman, owner, submits for a Certificate of Appropriateness to construct a second-story addition atop an existing single-story rear addition, construct a single-story attached garage addition with rooftop deck, and alter the structures front elevation portico.

This case has been withdrawn with the applicant planning to resubmit at a later time. No action is required by the Commission.

3. NEW BUSINESS

A. 713/715 Sheridan Road - Lakeshore Historic District - 22PRES-0084

5 - 18

Catherine Flanagan, owner, submits for advisory review of a proposed subdivision/land swap between the properties at 713 Sheridan Road and 715 Sheridan Road (Landmark). The Commission provides a recommendation to City Council, the determining body for this case.

Applicable Standards: Code Section 2-8-12 (B) 1. [a, c, d, and e]

[0. Project Description](#)

[1. 713-715 Sheridan Staff Report](#)

[2. 713-715 Sheridan Application](#)

[3. 713-715 Sheridan Proposed Plat of Subdivision](#)

[4. 713-715 Sheridan Standards Responses](#)

[5. 713 Sheridan Survey Sheet](#)

[6. 715 Sheridan Survey Sheet](#)

B. **1214 Maple Avenue - Ridge Historic District - 22PRES-0085** 19 - 50

Devon Herrick, owner, submits for advisory review for a proposed subdivision of 1214 Maple Avenue. The Commission provides a recommendation to City Council, the determining body for this case.

Applicable Standards: Code Section 2-8-12 (B) 1. [a-e] and 2.

Project Description

0. 1214 Maple Staff Report

1. 1214 Maple Application

1.1 1214 Maple Owner Letter

1.2 1214 Maple Standards Responses

2. 1214 Maple Lot Size Comparison

3. 1214 Maple Proposed Plat of Subdivision

4. 1214 Maple Existing Photos

5. 1214 Maple Zoning Summary

C. **1210 Maple Avenue - Ridge Historic District - 22PRES-0081** 51 - 78

Nathan Kipnis, architect, submits for a Certificate of Appropriateness to construct a new two-story single-family residence and detached single-story two-car garage on a proposed subdivision of the parcel commonly known as 1214 Maple Avenue.

Applicable Standards: Construction [1-11; 13, 14; and, 16]

Project Description

0. 1210 Maple Staff Report

1. 1210 Maple Application

2. 1210 Maple Drawings

3. 1210 Maple Boundary and Topographic Survey

4. 1210 Maple Plat of Survey

5. 1210 Maple - Zoning Analysis

D. **650 Forest Avenue - Lakeshore Historic District - 22PRES-0080** 79 - 109

Garry Shumaker, architect, submits for a Certificate of Appropriateness to demolish an existing two-story rear addition; construct a new two-story addition and open wood deck at the residences rear volume; and, replace the existing front porch windows.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

Project Description

0. 650 Forest Staff Report

1. 650 Forest Application+Documents

2. 650 Forest Plat of Survey

3. 650 Forest Zoning Summary

4. 650 Forest Survey Sheet

E. **701 Forest Avenue - LHD - Landmark - 22PRES-0066** 110 - 135

Garry Shumaker, architect, submits for a Certificate of Appropriateness to construct a second-story addition, and rear two-story addition, to an existing detached garage.

Applicable Standards: Alteration [1-10]; Construction [1-8; and, 10-15]

[Project Description](#)

[0. 701 Forest Staff Report](#)

[1. 701 Forest Application](#)

[2. 701 Forest Drawings](#)

[3. 701 Forest Zoning Summary](#)

[4. 701 Forest Statement of Significance](#)

[5. 701 Forest Survey Sheet](#)

F. **1223 Oak Avenue - Ridge Historic District - 22PRES-0082** 136 - 159

Diane Zabich, architect, submits for a Certificate of Appropriateness to construct a single-story entry addition at the north elevation of the residence; demolish the existing detached circa 1980s two-car frame garage; and, construct a new two-car frame garage with ground-floor workshop and storage area.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-8; and, 10-16]

[Project Description](#)

[0. 1223 Oak Staff Report](#)

[1. 1223 Oak Application](#)

[2. 1223 Oak Drawings](#)

[3. 1223 Oak Zoning Summary](#)

G. **2241 Sherman Avenue - Northeast Historic District - 22PRES-0079** 160 - 188

Jennifer Parker Holtz, architect, submits for a Certificate of Appropriateness to demolish an existing rear sunroom and wood deck; and construct a new two-story frame addition with screen porch and wood deck.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

[Project Description](#)

[0. 2241 Sherman Staff Report](#)

[1. 2241 Sherman Application + Drawings](#)

[2. 2241 Sherman Zoning Summary](#)

4. APPROVAL OF MEETING MINUTES

A. **Minutes of May 10, 2022** 189 - 195

[20220510 HPC Minutes DRAFT](#)

5. DISCUSSION (NO VOTE WILL BE TAKEN)

A. Downtown Heritage Resources

6. ADJOURNMENT

Order & Agenda Items are subject to change. Information about the Preservation Commission is available at: Preservation Commission Questions can be directed to Cade W. Sterling at 847-448-8231 or at csterling@cityofevanston.org The city is committed to ensuring accessibility for all citizens; if an accommodation is needed to participate in this meeting, please contact the Planning and Zoning Division at (847-448-8687) 48 hours in advance so that arrangements can be made for the accommodation if possible.

Español - La ciudad de Evanston tiene la obligación de hacer accesibles todas las reuniones públicas a las personas minusválidas o a quienes no hablan inglés. Si usted necesita ayuda, favor contacte a Carlos D. Ruiz de la Oficina de Planificación y Zonificación llamando al (847/448-8687) o cruiz@cityofevanston.org con 48 horas de anticipación para acomodar su pedido en lo posible

**713 Sheridan Road and 715 Sheridan Road
Lakeshore Historic District – 22PRES-0084**

Catherine Flanagan, owner, submits for advisory review of a proposed subdivision/land swap between the properties at 713 Sheridan Road and 715 Sheridan Road (Landmark). The Commission provides a recommendation to City Council, the determining body for this case.

Applicable Standards: Code Section 2-8-12 (B) 1. [a,c,d, and e].



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 713/715 Sheridan Road – 22PRES-0084
Date: June 6, 2022

Public Notice

713/715 Sheridan Road – Lakeshore Historic District – 22PRES-0084

Catherine Flanagan, owner, submits for advisory review of a proposed subdivision/land swap between the properties at 713 Sheridan Road and 715 Sheridan Road (Landmark). The Commission provides a recommendation to City Council, the determining body for this case.

Proposal:

The applicant proposes a minor subdivision which legally memorializes an agreed upon land swap between 713 and 715 Sheridan Road. Although the location in question is not visible from the public way, and does not impact either structure (715 Sheridan Road being a Landmark, and 713 Sheridan Road being a contemporary (2005) home), advisory review of a proposed subdivision is compulsory and not tied to visibility in the same way a Certificate of Appropriateness is. The proposal is not intended to accommodate any future construction, and simply swaps two small equal-sized parcels of land along the south lot line of 715 Sheridan Road and the north lot line of 713 Sheridan Road. The applicant describes the intent as clarifying and straightening the existing lot line to accommodate ease of use.



Gained by 715 Sheridan Road (left) and gained by 713 Sheridan Road (right).

The Commission shall discuss and have staff prepare written findings and, by majority vote, issue to the Council or its duly authorized committee a recommendation on the suitability of creating the proposed subdivision, resubdivision or consolidation.

The proposal is zoning compliant.

Public Comment

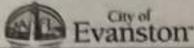
None.

Applicable Standards

The following standards outlined in code section 2-8-12 (B) apply to advisory review of subdivisions. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

1. The design of the subdivision, resubdivision or consolidation shall:
 - (a) Preserve, adaptively use, or otherwise protect the landmark, or area, property, structure, site or object in the district; and
 - (c) Not result in blocking or otherwise obstructing, as viewed from a public street or public way, not to include Lake Michigan, the critical features of the landmark or area, property, structure, site or object in the district; and
 - (d) Preserve and protect the critical features of the streetscape associated with the landmark, or area, property, structure, site or object in the district; and
 - (e) Not adversely affect traffic patterns, municipal services, adjacent property values, or the general harmony of the District.



**Certificate of Appropriateness Application (COA)
Administrative Approval for MINOR WORK Only**

Application Number (staff only)

IMPORTANT NOTE: Minor work involves no or minimal alteration to the integrity of a structure in terms of design and/or materials (i.e. restoration, re-roofing in kind, fences, adding a new window to match existing, or replacement in kind of certain features when restoration is not feasible). Refer to the "matrix of major vs minor work" under Additional Resources on the Commission website.

1) ADDRESS: No. & Street Name of property: 713 and 715 Sheridan Road Zip: _____
 Seeking for zoning or fence variance or special use? Check Yes _____; No _____ If Yes, stop here and read IMPORTANT NOTE above!

2) Is the property an Evanston Landmark? Check Yes ⁽⁷¹⁵⁾ _____; No _____

3) Is the Property located within a historic district? Check Yes _____; No _____ If yes: Lakeshore H.D. _____; Ridge H.D. _____
 Northeast Evanston H.D. _____; Suburban Apartment Thematic Resources _____

4) Owner's name: Catherine + Larkin Flanagan No. & Street: 713 Sheridan Road City: Evanston
 State: IL Zip: 60002 Phone: 847-687-8693 Fax: _____ Email: LSFCST@aol.com

5) Applicant/business name: (as above) No. & Street: _____ City: _____
 (If different from owner) Maria Angela Qui
 State: _____ Zip: _____ Phone: _____ Fax: _____ Email: _____

6) Architect's name: _____ No. & Street: _____ City: _____
 (If different from applicant) N/A
 State: _____ Zip: _____ Phone: _____ Fax: _____ Email: _____

7) Contractor's name: _____ No. & Street: _____ City: _____
 (If different from applicant) N/A
 State: _____ Zip: _____ Phone: _____ Fax: _____ Email: _____

8) Activity (for minor work only): Check in the matrix below the proposed activity and write the requested information in box 9) below:

Activity (circle activity as needed)	Location			Proposed Work			Existing and Proposed		Dimensions		Visible from the public way	
	Front	Side	Rear	Restoration	Replacing in kind/ Restoration is not feasible	New installation	Material(s) Write in	Style/type Write in	Height Write in	Length Width Write in	Yes	No
Altering minimally main house or other structure												
Restoring main house or other structure												
Roof on house/garage/other												
Fence/gate/masonry wall												
Doors/storm doors												
Windows/storm windows												
Stairs/railing/landings/decks												
Land altering activity, i.e. walks, patios, berming, excavating												
Sign/Awning												
Air conditioning unit(s)												

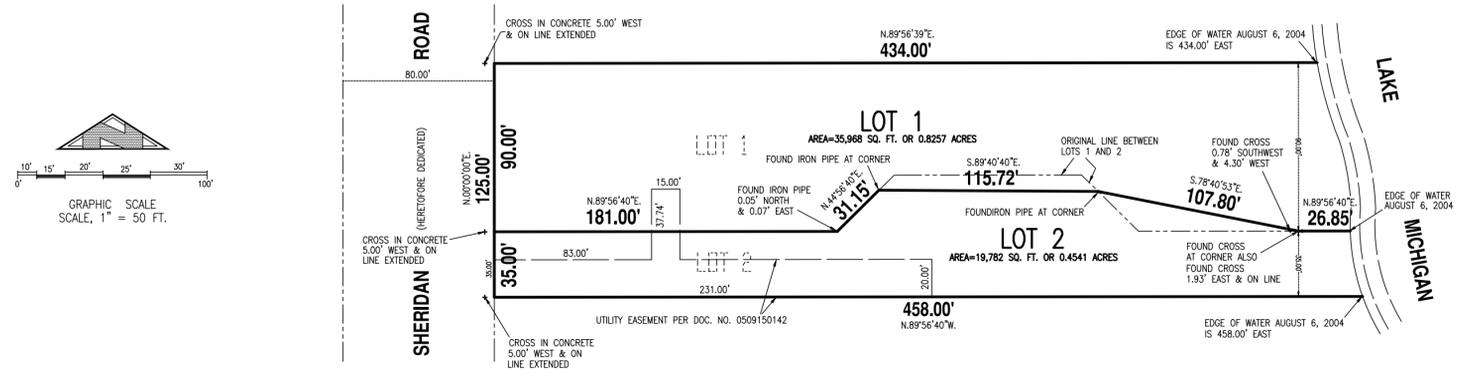
9) DESCRIBE briefly below the activity as checked in the matrix and submit as applicable: photos of existing conditions, site plan or plat of survey showing the location of the activity (i.e. stairs, fences/gates/masonry walls, signs, air conditioning units, land altering activity). Also, submit proposed plans, existing and proposed exterior elevations showing the design and materials of proposed fences/gates/masonry walls, windows or doors (when appropriate), all with dimensions and materials. Documentation should not exceed 11"x17" paper size.
We request a resubdivision of the properties at 713 and 715 Sheridan Road. The Susan Lloyd Subdivision. As indicated on the accompanying plat of survey, we would like the re-subdivision to memorialize an agreed upon land swap of equivalent sized square footage along the north property line of 713 + south property line of 715 to straighten the property line + allow for better usage of the area.

Applicant's name: (print) Catherine S. Flanagan Signature: [Signature] Date: 5/27/22

Submit application via email to preservation@cityofevanston.org.

SUSAN LLOYD'S SHERIDAN ROAD RESUBDIVISION OF

LOTS 1 AND 2 OF SUSAN LLOYD'S SHERIDAN ROAD SUBDIVISION IN THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 20, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



OWNER'S CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

We, Larkin Flanagan and Catherine Flanagan, do hereby certify that We are Title Owner of record of part of the property described hereon and that We have caused the same to be surveyed for the purpose of resubdividing it into two (2) lots as shown hereon.
Dated this ____ day of _____, A.D., 20__.

Doug Skits

Regina Sant'Anna

NOTARY PUBLIC'S CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

I, _____, a Notary Public, in and for said County, in the State aforesaid, do hereby certify that Larkin Flanagan and Catherine Flanagan personally known to me to be the same persons whose names are subscribed to the foregoing instrument as part owner of the property described hereon, appeared before me this day in person and acknowledged that They signed and delivered the said instrument as their own free and voluntary act, for the uses and purposes therein set forth.
Given under my hand and Notarial seal, this ____ day of _____, A.D., 20__.

NOTARY PUBLIC

MORTGAGE CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

Morgan Stanley private Bank, N. A. c/o PHH Mortgage as Mortgagee under the provisions of a certain mortgage recorded in the Recorder's Office of Cook County, Illinois, as Document No. _____, does hereby consent to the plat of resubdivision hereon drawn.
Dated this ____ day of _____, A.D., 20__.

MORGAN STANLEY PRIVATE BANK, N.A.
MORTGAGEE

Attest: _____
(ASST.) SECRETARY

By: _____
(VICE) PRESIDENT

NOTARY PUBLIC'S CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

I, _____, a Notary Public, in and for said County, in the State aforesaid, do hereby certify that _____ and _____, of said Bank personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such _____, respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said Bank, not individually, but solely as Mortgagee, as aforesaid, for the uses and purposes therein set forth, and the _____ did also then and there acknowledge that _____, as Custodian of the Corporate Seal of said Bank, did affix the Corporate Seal to the said instrument as he _____ own free and voluntary act, and as the free and voluntary act of said Bank, as Mortgagee, as aforesaid, for the uses and purposes therein set forth.
Given under my hand and Notarial seal, this ____ day of _____, A.D., 20__.

NOTARY PUBLIC

OWNER'S CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

We, Michael Quattrocki and Angela Quattrocki, do hereby certify that We are Title Owner of record of part of the property described hereon and that We have caused the same to be surveyed for the purpose of resubdividing it into two (2) lots as shown hereon.
Dated this ____ day of _____, A.D., 20__.

Michael Quattrocki

Angela Quattrocki

NOTARY PUBLIC'S CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

I, _____, a Notary Public, in and for said County, in the State aforesaid, do hereby certify that Michael Quattrocki and Angela Quattrocki, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as part owner of the property described hereon, appeared before me this day in person and acknowledged that They signed and delivered the said instrument as their own free and voluntary act, for the uses and purposes therein set forth.
Given under my hand and Notarial seal, this ____ day of _____, A.D., 20__.

NOTARY PUBLIC

MORTGAGE CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

JPMorgan Chase Bank, N.A as Mortgagee under the provisions of a certain mortgage recorded in the Recorder's Office of Cook County, Illinois, as Document No. _____, does hereby consent to the plat of resubdivision hereon drawn.
Dated this ____ day of _____, A.D., 20__.

JPMORGAN CHASE BANK, N.A.
MORTGAGEE

Attest: _____
(ASST.) SECRETARY

By: _____
(VICE) PRESIDENT

NOTARY PUBLIC'S CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

I, _____, a Notary Public, in and for said County, in the State aforesaid, do hereby certify that _____ and _____, of said Bank personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such _____, respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said Bank, not individually, but solely as Mortgagee, as aforesaid, for the uses and purposes therein set forth, and the _____ did also then and there acknowledge that _____, as Custodian of the Corporate Seal of said Bank, did affix the Corporate Seal to the said instrument as he _____ own free and voluntary act, and as the free and voluntary act of said Bank, as Mortgagee, as aforesaid, for the uses and purposes therein set forth.
Given under my hand and Notarial seal, this ____ day of _____, A.D., 20__.

NOTARY PUBLIC

B.H. SUHR & COMPANY, INC.

SURVEYORS ESTABLISHED 1911
450 SKOKIE BLVD, SUITE 105, NORTHBROOK, ILLINOIS, 60062
TEL: (847) 864-6315 / FAX: (847) 864-9341
E-MAIL: SURVEYOR@BHSUHR.COM

Professional Design Firm
License No. 184.008027-0008

LOCATION 715 SHERIDAN ROAD SURVEY DATE, APRIL 20 22

ORDER No. 15-208-RS ORDERED BY: MICHAEL QUATTROCKI

FIRST PRELIMINARY ISSUED 10/26/2016

FC/RR © 2022 B. H. Suhr & Company, Inc. All rights reserved.

SUBMITTED BY AND RETURN PLAT TO: CITY OF EVANSTON DEPARTMENT OF PUBLIC WORKS 2100 RIDGE AVENUE EVANSTON, ILLINOIS 60204	EXISTING P.I.N. _____ MAILING INFORMATION: _____
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PRELIMINARY 4-6-2022

COUNTY CLERK CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

Approved this ____ day of _____, A.D., 20__.

County Clerk

CITY COLLECTOR CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

I, _____, City Collector of the City of Evanston, Illinois, do hereby certify that there are no delinquent or unpaid current or forfeited special assessments, or any deferred installments thereon that have been apportioned against the tract of land included in this plat of Consolidation.
Dated this ____ day of _____, A.D., 20__.

City Collector, Evanston, Illinois

DIRECTOR OF COMUNITY DEVELOPMENT CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

Approved this ____ day of _____, A.D., 20__.

Director of Community Development

DIRECTOR OF PUBLIC WORKS CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

Approved this ____ day of _____, A.D., 20__.

Director of Public Works

CHIEF FINANCIAL OFFICER CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

Approved this ____ day of _____, A.D., 20__.

Chief Financial Officer

CORPORATION COUNSEL CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

Approved this ____ day of _____, A.D., 20__.

Corporation Council

CITY CLERK CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

Approved by the Council of the City of Evanston, Illinois, at a meeting held on this ____ day of _____, A.D., 20__, in witness whereof, I set my hand and affix the Corporate Seal of Evanston, this ____ day of _____, A.D., 20__.

City Clerk

SURVEYOR'S CERTIFICATE
STATE OF ILLINOIS }
COUNTY OF COOK }

B. H. SUHR & COMPANY, INC., does hereby certify that it has surveyed the following described property for the purpose of resubdividing it into Two (2) Lots as shown hereon:
Lots 1 and 2 of Susan Lloyd's Sheridan Road subdivision in the Southwest fractional quarter of Section 20, Township 41 North, Range 14, East of the Third Principal Meridian, in Cook County, Illinois.
Dimensions are shown in feet and decimal parts thereof and are correct at 62 degrees Fahrenheit. It, further certifies that this property is situated in Zone "X", (areas determined to be outside the 0.2% annual chance floodplain.) Insurance Rate Map, No. 17031C0270 J, effective date: August 19, 2008. It, further certifies that the property shown on the plat hereon drawn is within the City of Evanston, Illinois, which has adopted a City Plan and is exercising the Special Powers authorized by division 12 of article 11 of the municipal code, as heretofore and hereafter amended.
Dated at Northbrook, Illinois, this ____ day of _____, A.D., 20__.

B. H. SUHR & COMPANY, INC.
SURVEYORS
PRELIMINARY 4-6-2022
By: _____
Raymond R. Hansen
Illinois Professional Land Surveyor No. 035-002542
License Expiration Date 11/30/22

**2-8-12. - REVIEW OF APPLICATIONS FOR SUBDIVISION,
RESUBDIVISION OR CONSOLIDATION.**

Answers in italics

(B)

1. The design of the subdivision, resubdivision or consolidation shall:

(a). Preserve, adaptively use, or otherwise protect the landmark, or area, property, structure, site or object in the district; and

The design of the resubdivision preserves and protects the area by not altering any existing features. It consists of swapping two small equal-sized parcels of land along the property line of adjacent properties. The area in question is behind 715 Sheridan Road and not visible from a public street or public way.

(b). Provide the location and design of new structures and objects that are visually compatible with the landmark or sites, buildings, structures, and objects in the district; and

There are no new structures or objects pertinent to the design of the resubdivision. The only object within the area is a previously constructed soil retention wall, shown on the plat, which is visually compatible with the landmark district.

(c) Not result in blocking or otherwise obstructing, as viewed from a public street or public way, not to include Lake Michigan, the critical features of the landmark or area, property, structure, site or object in the district; and

The area in question is not visible from the street or public way. Further, it does not block or otherwise obstruct any critical features of the landmark area.

(d) Preserve and protect the critical features of the streetscape associated with the landmark, or area, property, structure, site or object in the district; and

The area in question is not visible from the street or public way. Further, it preserves and protects any critical features of the landmark area.

(e) Not adversely affect traffic patterns, municipal services, adjacent property values, or the general harmony of the District.2.

The design does not affect traffic patterns, municipal services, adjacent property values or the general harmony of District 2. The straightening of the property line is more harmonious with the features of District 2, than the previous design..

2. Alteration, construction, demolition and relocation shall be consistent with Section 2-8-9.

The alteration is consistent with Section 2-8-9. There is no construction, demolition or relocation requested.

BEGINNING STREET #
 END STREET #
 STREET # SUFFIX
 STREET NAME
 SUFFIX
 PIN



LOCAL

WITHIN LOCAL DISTRICT?
 LOCAL DISTRICT CONTRIB/NON-CONTRIB?
 LOCAL LANDMARK? YEAR
 LOCAL LANDMARK ELIGIBLE?
 CRITERIA:

NATIONAL REGISTER

WITHIN NR DISTRICT?
 NR DISTRICT CONTRIB/NON-CONTRIB?
 NR LANDMARK? YEAR
 NR ELIGIBLE? CRITERIA

PHOTO ID

PREVIOUSLY SURVEYED?

GENERAL INFORMATION

CATEGORY CURRENT USE
 CONDITION HISTORIC USE
 INTEGRITY SECONDARY STRUCTURE
 NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Neo-Traditional"/>	ROOF TYPE	<input type="text" value="Side gable"/>
DETAILS	<input type="text" value="-"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="2005 (circa)"/>	FOUNDATION	<input type="text" value="Concrete"/>
OTHER YEAR	<input type="text" value="-"/>	PORCH	<input type="text" value="Front entry"/>
DATESOURCE	<input type="text" value="Surveyor"/>	WINDOW MATERIAL	<input type="text" value="Aluminum"/>
WALL MATERIAL (current)	<input type="text" value="Brick"/>	WINDOW MATERIAL 2	<input type="text" value="-"/>
WALL MATERIAL 2 (current)	<input type="text" value="-"/>	WINDOW TYPE	<input type="text" value="Casement"/>
PLAN	<input type="text" value="Irregular"/>	WINDOW CONFIGURATION	<input type="text" value="1-light"/>
NO OF STORIES	<input type="text" value="2"/>		
SIGNIFICANCE	<input type="text" value="-"/>		
HISTORIC FEATURES	<input type="text" value="-"/>		

ADDRESS

713 - SHERIDAN ROAD

ALTERATIONS

-

HISTORIC INFORMATION

OLD ADDRESS
(city dir.year)

-

ORIGINAL
OWNER

-

ORIGINAL
ARCHITECT

-

BUILDING MOVED?

ARCHITECT
SOURCE

-

MOVED FROM

-

BUILDER

-

ADDITIONAL PHOTOGRAPHS



PHOTO ID2



PHOTO ID3

SURVEYOR

SURVEYOR
ORGANIZATION

SURVEY DATE

Historic Info
Compiler

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

713 — - SHERIDAN ROAD

OLD ADDRESS
(city dir.year)

-

DATE OF CONSTRUCTION 2005 (circa)

MOVING INFORMATION

BUILDING MOVED?

MOVING PERMIT # DATE

MOVED FROM

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # DATE

BUILDING PERMIT DESCRIPTION

COST

ORIGINAL OWNER

ORIGINAL OWNER OCCUPIED?

ORIGINAL ARCHITECT

ARCHITECT SOURC

BUILDER

EXTERIOR ALTERATION PERMITS

-

OTHER PERMIT INFO

-

COA INFO

-

HISTORIC INFO

-

OTHER SOURCES

ELHD # n/a

HISTORIC INFO COMPILER

PRIMARY KEY 11-20-102-043-0000

BEGINNING STREET #
 END STREET #
 STREET # SUFFIX
 STREET NAME
 SUFFIX
 PIN

LOCAL

WITHIN LOCAL DISTRICT?
 LOCAL DISTRICT CONTRIB/NON-CONTRIB?
 LOCAL LANDMARK? YEAR
 LOCAL LANDMARK ELIGIBLE?
 CRITERIA:



PHOTO ID

NATIONAL REGISTER

WITHIN NR DISTRICT?
 NR DISTRICT CONTRIB/NON-CONTRIB?
 NR LANDMARK? YEAR
 NR ELIGIBLE? CRITERIA

PREVIOUSLY SURVEYED?

GENERAL INFORMATION

CATEGORY CURRENT USE
 CONDITION HISTORIC USE
 INTEGRITY SECONDARY STRUCTURE
 NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Tudor Revival"/>	ROOF TYPE	<input type="text" value="Side gable"/>
DETAILS	<input type="text" value="-"/>	ROOF MATERIAL	<input type="text" value="Ceramic tile"/>
CONSTRUCTION YEAR	<input type="text" value="1910"/>	FOUNDATION	<input type="text" value="Concrete"/>
OTHER YEAR	<input type="text" value="-"/>	PORCH	<input type="text" value="-"/>
DATESOURCE	<input type="text" value="Building permit"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Brick"/>	WINDOW MATERIAL 2	<input type="text" value="Leaded glass"/>
WALL MATERIAL 2 (current)	<input type="text" value="-"/>	WINDOW TYPE	<input type="text" value="Double hung/casement"/>
PLAN	<input type="text" value="Rectangular"/>	WINDOW CONFIGURATION	<input type="text" value="1/1; 1-light; multi-light"/>
NO OF STORIES	<input type="text" value="2.5"/>		

SIGNIFICANCE

HISTORIC FEATURES

ADDRESS

715 - SHERIDAN ROAD

ALTERATIONS

Rear mud room addition (2010); replacement windows on rear elevation (2010--See continuation sheet for COA information)

HISTORIC INFORMATION

OLD ADDRESS
(city dir.year)

-

ORIGINAL
OWNER

Raymond, Mrs. L.E.

ORIGINAL
ARCHITECT

Lowe, Elmo C.

BUILDING MOVED? *No*

ARCHITECT
SOURCE

BP4049

MOVED FROM

-

BUILDER

Hill, F.A. & Co.

ADDITIONAL PHOTOGRAPHS

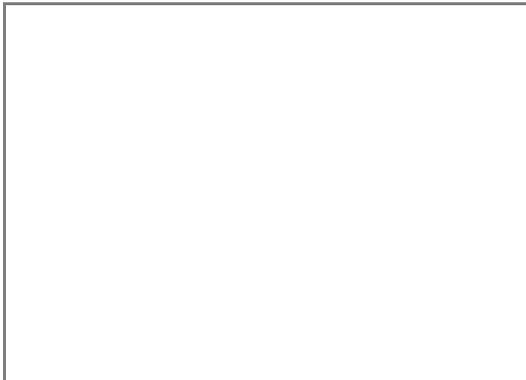


PHOTO ID2 -



PHOTO ID3 -

SURVEYOR

Lara Ramsey

SURVEYOR
ORGANIZATION

GRANACKI HISTORIC CONSULTANTS

SURVEY DATE

3/30/2011

Historic Info
Compiler

MBM

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

715 — - SHERIDAN ROAD

OLD ADDRESS
(city dir.year)

-

DATE OF CONSTRUCTION 1910

MOVING INFORMATION

BUILDING MOVED? No

MOVING PERMIT # - **DATE** -

MOVED FROM -

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # 4049 **DATE** 1910.06.28

BUILDING PERMIT DESCRIPTION Erect 2-story brick house, 52' wide, 31' deep, 38' high; 12 rooms

COST \$17,500

ORIGINAL OWNER Raymond, Mrs. L.E.

ORIGINAL OWNER OCCUPIED? -

ORIGINAL ARCHITECT Lowe, Elmo C.

ARCHITECT SOURC BP4049

BUILDER Hill, F.A. & Co.

EXTERIOR ALTERATION PERMITS

BP 24658. 1945.11.20. Rear porch & dog kennel. (O) Victor Kendall

OTHER PERMIT INFO

BP 4312. 1911.03.21. 1-story frame garage \$600. (O) Mrs. L. Raymond (A) E.C. Lowe

COA INFO

Subdivision of property and construction of new 2.5 story single family masonry home. On 7/27/04 the Preservation Commission did not recommend the subdivision due to a split vote. SEE CONTINUATION SHEET

HISTORIC INFO

-

OTHER SOURCES

IHSS #225. Evanston Landmark (1978). ELHD #228. PHOTO: Real Estate post card, Smart & Golee

HISTORIC INFO COMPILER MBM

PRIMARY KEY 11-20-102-042-0000

City of EVANSTON
LAKESHORE HISTORIC DISTRICT RE-SURVEY
CONTINUATION SHEET

STREET # 715

STREET SHERIDAN ROAD

ADDITIONAL PHOTOS OR INFORMATION

Historic Features

Side gable roof with stone capped parapet wall, exposed rafter tails, and ceramic tile; two gabled front dormers with exposed rafter tails and leaded glass casement windows; 2.5-story projecting front bay with leaded glass casement windows (with ivy pattern) and triangular parapet; recessed glazed/paneled entry door with stone quoin surround topped by segmental arch lintel within a slightly projecting square entry bay; 2-story north and south side sun porches; 2nd story oriel window bay with hipped roof and paneled trim; soldier stringcourse at 2nd story lintel level

Alterations

Front knee walls around terrace look rebuilt; some 1/1 and 1-light casement replacement windows in original openings on front and side elevations(not leaded glass) in original openings; 1.5-story rear addition to south sun porch currently under construction; stained glass transom windows with house number

COA Information

- Subdivision of property and construction of new 2.5 story single family masonry home. On 7/27/04 the Preservation Commission did not recommend the subdivision due to a split vote. On 10/11/04 City Council approved the subdivision. On 10/19/04 the Commission approved the construction with a vote of 5 ayes, 2 nays.
- Install new curb cut on the north side of lot, construct new driveway 11" to 12" wide with brick pavers on the front yard for circulation, not parking (07)
- Grind, wash, tuckpoint and replace deteriorated windows lintels as needed (7 west, 5 north, 2 south and 3 east elevations). Rebuild chimney on east elevation in kind. Use type "O" mortar or type "N" mortar to be determined on site visual inspection to match composition of original mortar as close as possible (10)
- Rear east elevation: demolition of stairs and enclosed frame porch. Construction of enclosed brick mudroom with double hung windows, new door facing south and terrace above with railing to match existing raised patio railing. Replacing three middle windows with French doors and side lights on the first floor. Remove two second floor windows in master bedroom and replace with French doors to new terrace. Remove one double hung window in

bathroom, enlarge window opening and install two double hung windows (10)

1214 Maple Avenue – Ridge Historic District – 22PRES-0085

Devon Herrick, owner, submits for advisory review for a proposed subdivision of 1214 Maple Avenue. The Commission provides a recommendation to City Council, the determining body for this case.

Applicable Standards: Code Section 2-8-12 (B) 1. [a-e]



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 1214 Maple Avenue – 22PRES-0085
Date: June 6, 2022

Public Notice

1214 Maple Avenue – Ridge Historic District – 22PRES-0085

Devon Herrick, owner, submits for advisory review for a proposed subdivision of 1214 Maple Avenue. The Commission provides a recommendation to City Council, the determining body for this case.

Construction Period:

1884

Style:

Queen Anne

Architect of Record:

Edbrooke and Burnham

Condition:

Good

Integrity:

Excellent

Status:

Contributing

Setting:

Located in the east central portion of the Ridge Historic District on the west side of Maple Avenue between Dempster Street to the north and Crain Street to the south, 1214 Maple Avenue is a two-and-one-half story Queen Anne styled home constructed in 1884. The home is immediately east of Larimer Park, the former site of the Larimer School designed by Daniel Burnham and named for the original owner of 1214 Maple Avenue, school-board president Joseph M. Larimer Senior, a prominent steel and iron ore executive for Jones and Laughlin. Surrounding homes are an eclectic mix of high-style structures of various residential typologies and densities. The block was predominately constructed between the late 1800s and early 1900s. The home immediately south, 1208 Maple, was designed by

Childs and Smith in 1891, the home to the north, 1220 Maple, was designed and constructed by James C. Conner, one of Evanston's earliest residents (1840s) in 1892, and the row homes immediately to the east were designed by Holabird and Roche in 1892. The block in whole has excellent integrity and a significant number of individually registered Landmarks.

Significance:

The home was designed by architects Franklin Pierce Burnham and Willoughby J. Edbrooke (Edbrooke and Burnham).

Franklin Pierce Burnham was one of the most influential architects on the North Shore and an important national figure in the late 19th century. Burnham started his career in 1867 at age fourteen, working as a draftsman at the Chicago architectural offices of J.H. Barrows. In 1877 Burnham would depart for San Francisco, starting his own practice designing primarily residential homes in the burgeoning City following the mid 19th Century Gold Rush. Returning to Chicago in the late 1880s, Burnham founded a firm in partnership with notable national architect Willoughby J. Edbrooke (native son of Evanston, supervising architect for the U.S. Treasury Department, and designer of many significant national works including the Old Post Office in Washington D.C. the Milwaukee Federal Building, University of Notre Dame Administration Building, and the Federal Courthouse in St. Paul, Minnesota, among others). The two were masters of Classicism, particularly the Richardsonian Romanesque style which flourished as an institutional aesthetic during the late 19th Century.

Burnham and Edbrooke designed many institutional buildings but also residential homes primarily in Evanston and Chicago. Notable projects the firm completed include the Georgia State Capitol, Kane County Courthouse in Geneva, and Mecca Flats and the Cold Storage Warehouse (one of the largest buildings at the fair, and the site of a tragic fire) -- both designed for the Worlds Columbian Exposition. Locally, Burnham is best known for his impact on the North Shore as the architect for the planned community of Kenilworth, where he designed many individual homes, the communities train station, and many planned institutional and commercial buildings still standing today. Edbrooke would pass in 1896 and Burnham would return to California where his practice continued to flourish, designing mostly institutional buildings including twelve Carnegie Libraries, of which only two remain.

Proposal:

The applicant proposes to subdivide the southern half of the existing double-lot. Records indicate the lot has been vacant in perpetuity and has been associated with the home at 1214 Maple since its construction in the mid-1890s. The proposed area of subdivision has not been improved and contains no structures nor significant landscape features. One additional double-lot exists at the far north portion of the block. The remaining lots on the block have similar rhythms of their lot widths/frontages and similar area to the proposed new lot.

Although the current owner of 1214 Maple, the applicant, has no plans to improve the lot, they do propose to sell the lot to a contract purchaser for development as a single-family home. Plans for the new construction will be reviewed concurrently to the advisory review of the proposed subdivision in order to satisfy standards #1(b) and #2. The applicant has provided additional documentation showing how the proposed lot compares to those it

would be visually related to as well as photo documentation of the block as seen from the public way.

The Commission shall discuss and have staff prepare written findings and, by majority vote, issue to the Council or its duly authorized committee a recommendation on the suitability of creating the proposed subdivision, resubdivision or consolidation.

The proposal is zoning compliant.

Public Comment

None.

Applicable Standards

The following standards outlined in code section 2-8-12 (B) apply to advisory review of subdivisions. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

1. The design of the subdivision, resubdivision or consolidation shall:
 - (a) Preserve, adaptively use, or otherwise protect the landmark, or area, property, structure, site or object in the district; and
 - (b) Provide the location and design of new structures and objects that are visually compatible with the landmark or sites, buildings, structures, and objects in the district; and
 - (c) Not result in blocking or otherwise obstructing, as viewed from a public street or public way, not to include Lake Michigan, the critical features of the landmark or area, property, structure, site or object in the district; and
 - (d) Preserve and protect the critical features of the streetscape associated with the landmark, or area, property, structure, site or object in the district; and
 - (e) Not adversely affect traffic patterns, municipal services, adjacent property values, or the general harmony of the District.
2. Alteration, construction, demolition and relocation shall be consistent with Section 2-8-9.

Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 1214 Maple Avenue	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Devon Herrick	Address:
City: 1214 Maple Ave State: Evanston Zip: 60202	Phone: 847.924.6104 Email/Fax: dherrick1@gmail.com
3) Architect's Name: n/a - no building approval is being sought at this time	Address:
City: State: Zip:	Phone: Email/Fax:
4) Contractor's Name: n/a - no building approval is being sought at this time	Address:
City: State: Zip:	Phone: Email/Fax:
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;	
If yes, <input type="checkbox"/> Lakeshore <input checked="" type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires:	
<input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.	
Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

The current owners, Devon and Hana Herrick, are applying to subdivide the current single lot and PIN at 1214 Maple with approximate dimensions of 108.06' x 170.60' x 107.94' x 173.08' into two newly formed lots. The existing house at 1214 Maple and coach house would sit on a newly formed lot with proposed dimensions of approximately 58.03' x 171.75' x 57.97' x 173.08' per the included proposed surveys. The newly formed buildable vacant parcel to the south would have proposed dimensions of 50.03' x 170.60' x 49.97' x 171.75' per the included proposed surveys.

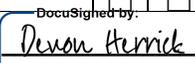
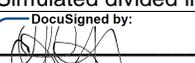
The owners inherited the property from their deceased father who passed away 3 years ago. They do not have the means nor desire to keep the home for themselves so have been attempting to sell the combined property since April 2021. No viable buyers came forward in that time, however, the owners had interest from parties who are willing to buy the vacant parcel to the south and, separately, buyers who are willing to buy the existing house on a newly formed lot. The contracted buyers have the means to care for and preserve the home at 1214 Maple to keep its character and beauty in tact and allowing for the subdivision will create the opportunity to keep the historic nature of the home.

2) Checklist (Check all that apply and attach any additional information)

No proposed construction is being sought with this application.
This is merely an application for subdivision of the lot.

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input type="checkbox"/> Construction	<input type="checkbox"/> Residential <input type="checkbox"/> Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Demolition	<input type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply. No proposed construction is being sought at this time. This is merely an application for subdivision of the lot.

Existing	Proposed		Existing	Proposed		Existing	Proposed			
<input type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Fences Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		Fascias, Soffits, Rakeboards, Trim Wood Metal Synthetic Material, Type: _____ Other: _____	<input type="checkbox"/>		<input type="checkbox"/>	Terraces, Patios, Decks Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: _____
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>		<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		Roofing Material Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Door Material Wood Metal Clad Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): <input type="checkbox"/> <input type="checkbox"/> Air Conditioning Unit	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		Window Type Double Hung Casement Other: _____	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>		Chimney Material Brick Stone Stucco Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Window Material Wood Aluminum Steel Other: _____		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		Gutters/Downspouts Copper Aluminum Galvanized Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Muntins Not existing True divided lights Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
4) Applicant's Signature:						Date: 5/9/2022				
Print Name:		539A3B8F08B44D7... Devon Herrick and Hana Herrick		532271FDCC4B42C... Devon Herrick and Hana Herrick						
Proceed to Section C if you are requesting a zoning or fence variation and/or s special use . Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].										

Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS: Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts (Briefly explain below/attach a separate sheet if necessary).

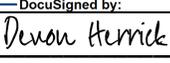
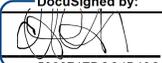
1214 Maple is not a landmark property. The attached application is only for the subdivision of the current lot as there is a vacant, buildable lot to annex off of 1214 Maple. The requester is not making any substantial changes to the property so there is nothing to adversely affect the historical architecture nor aesthetic integrity of the local historic district. In fact, dividing the lot will allow the owners to sell the newly created lot and existing home at 1214 Maple to a family that would like to preserve the character of the home.

B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation (Briefly explain below/attach a separate sheet if necessary).

The owners inherited the property from their deceased father who passed away 3 years ago. They do not have the means nor desire to keep the home for themselves so have been attempting to sell the combined property since April 2021. No viable buyers came forward in that time. Dividing the property allows for the owners to sell at a fair market value, whereas requiring the lot to remain combined limited the buyer pool too much and impacted their ability to sell.

C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98). (Briefly explain below/attach a separate sheet if necessary).

Dividing the lot will actually reduce the chance for any of the above issues as the division will allow for a sale of the home and for new owners to care for the property. Currently the home is vacant as the owners have been unable to procure a sale in its current form. A vacant home has a greater chance of being materially detrimental to the public health, safety and welfare to the property and others in the vicinity.

	DocuSigned by: 	DocuSigned by: 	
4) Applicant's Signature:	Devon Herrick	Hana Marie Herrick	Date: 5/9/2022
Print Name:	Devon HERRICK	Hana Marie Herrick	

NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

SUPPLEMENTAL INFORMATION
COA Application Checklist

Submit one (1) digital copy in PDF format of the same as follows:

APPLICATION FOR PRESERVATION REVIEW - To process your application,

n/a **ELEVATIONS/SITE PLANS/DRAWINGS** to scale including dimensions (not to exceed 11" x 17" paper size).

n/a **CHANGES TO THE EXTERIOR INCLUDING CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS - SEE ADDITIONAL INFORMATION REQUIRED FOR WINDOW CHANGES (BELOW)**

Provide an **exterior elevation** of each façade involved, showing the existing and proposed appearance (preferably on the same sheet for each facade) with the new items/areas clearly identified.

Site plan with the existing footprint of the primary structure(s) clearly showing the side(s) being altered.

If the changes also include a **change in the footprint**, provide a **site plan** clearly showing the location of proposed change, setback dimensions, existing and proposed lot coverage, existing and proposed setbacks, location and height of existing and proposed fences, parking, and landscape design (if any).

n/a **ADDITIONS, NEW CONSTRUCTION/DEMOLITION**

- If a major alteration, construction or demolition is planned, City staff will notify neighbors within 250 feet of the subject property at least five (5) business days prior to the Preservation Commission hearing to allow neighbors to comment on the proposal at the meeting. The applicant is responsible for providing to City staff the filled out Certification and Notice along with the updated list of names and addresses of current owners/taxpayers in Excel format. City staff will provide the initial list (Excel file) of names and addresses to the applicant with the instructions.
- **Exterior elevations**, showing building materials, height and width of proposed structure in the context of existing primary structure and/or the immediate surroundings.
- **Site Plan** clearly showing the location of proposed structure, existing and proposed lot coverage, proposed setbacks and their dimensions, location and height of proposed fences, parking, and landscape design (if any).
- **Roof Plans** - Provide roof plans to scale including dimensions.
- **3D drawings, models** (for new construction and substantial additions)
- **Photos of existing building, structure, site, fence or object in context with the immediate structures on the block.**

n/a **LAND-ALTERING ACTIVITY** - Full **description and illustrations** including berming, re-grading, excavation, walkways, patios, and alteration of seawalls, etc.

n/a **FENCES** - **Site plan** with fence location(s) clearly identified. Also, **illustration(s)** of existing and or proposed fence indicating the material, the height, and length (to scale). If zoning variance or fence variance is required, see section immediately below.

n/a **ZONING VARIANCE FOR ADDITIONS, NEW CONSTRUCTIONS, FENCE VARIANCE**

- Fully completed Part C of the COA application
- Zoning Analysis Summary as prepared by the Zoning Division
- Fully completed Zoning or Fence Variation Application as submitted to the Zoning Division

n/a **SPECIAL USE** - Special Use Application as submitted to the Zoning Division

n/a **PLANNED DEVELOPMENT** - Planned Development Application as submitted to the Zoning Division, including: Zoning Analysis, General Information Form, Special Use Application, Executive Summary and Aerial Photograph, Zoning Comparison, Number of Units, Unit Mix and Description, Statement in Support of Proposal Survey, Development Plan, Preliminary Civil Engineering Plan and Preliminary Landscape Plan

n/a **SUPPORTING INFORMATION** - Any information you feel would enhance your application (e.g., photos, letters of support from neighbors, scale models, material samples, etc.). Photos of elevations, proximity to neighbors and any other information must show significant detail and/or context to be replicated. Details must be visible on printouts of digital photos and black and white copies of photos.

n/a **ADDITIONAL INFORMATION REQUIRED FOR CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS (Use same example for windows found in the “sample of supplemental window drawings” document under additional resources on the Commission website.)**

- Clear photographs of existing windows. When windows are boarded over, remove boards from typical windows in order to take photographs.
- Drawings showing the elevation and horizontal and vertical sections of existing historic windows. Include muntins, mullions, transoms, and other window components (see examples below). For historic steel industrial windows that contain operable units, drawings must include this feature.
- Drawings showing the elevation and horizontal and vertical sections of proposed replacement windows. In the case of a hung window, provide section drawings of both the upper and lower sash, including meeting rail. For replacement steel windows, include sections of both operable and fixed units. See note below regarding manufacturers’ standard cut sheets.
- Drawings should be at the same scale and large enough to clearly show construction details. Scale should be provided, measurements noted, and materials indicated for the main components of the window.
- Drawings of the existing historic window should be accurate, based on field measurements. Examples of window drawings are shown below. Add the dimensions of existing windows and proposed windows.
- Replacement windows must accurately replicate the appearance of existing historic windows. Manufacturers’ standard cut sheets usually are not an adequate substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project. In small projects where windows are being replaced and the historic or existing window is simple in design, manufacturers’ standard cut sheets may be substituted for actual section drawings of the proposed window provided there is sufficient detail for review.
- Window sections must show the profiles of muntins, meeting rails, sash, frames, moldings, and other features. Construction details must be apparent, including joinery. For all projects, the window’s relationship to the existing wall plane must also be provided for both the existing historic windows, when present, and the proposed replacement window

NOTE: The deadline for submission of Certificate of Appropriateness applications is the **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of the month (except when marked with * on Page v below). However, dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

May 9, 2022

Cade,

Thank you for your time and consideration of the proposed subdivision.

For some background, we are a brother and sister who grew up in this house at 1214 Maple from the early 1980's when we were little kids and always loved and cherished the home. We inherited the house from our father, P. Scott Herrick, who passed away in December 2019. The home has incredible sentimental value to us as we spent decades enjoying the house, its beauty and its history.

We would have loved to have kept the home but we do not have the means as we are both in the field of education. Additionally, as Devon works for CPS, he is required by Chicago statute to live in the city of Chicago. So, we put the house on the market in the spring of 2021. At that time, we were informed by the City of Evanston that the house was on a buildable and dividable lot since it was a double lot and ½ the lot was unimproved.

Even though we were told we had the ability to subdivide by right, we realized there was a long and arduous process to seek approval so we first tried to sell the property as one total parcel. After several months of being on the market, with no viable offer coming forward, we were approached by a woman who wanted to build her dream home, a very green, environmentally friendly house, which will fit into the character of the neighborhood.

We understand that the Preservation Committee will later review her proposal in full. To clarify, this part of the process does not include the approval of any construction whatsoever, we are merely coming before this committee to seek approval for the subdivision itself.

We began this process in the fall of 2021 to seek subdivision approval. It took us several months to work with the zoning department to get guidance on acceptable lot boundaries, meet all zoning requirements, secure newly proposed surveys and to work with the city to ensure we had full zoning approval and compliance with the newly formed lot and the subdivided parcel at 1214 Maple.

We now have two separate buyers who are owner occupants under contract, one for the land piece and one for our father's home at 1214 Maple. Both buyers are very excited for the prospects of moving to Evanston and are anxious to get started to carry on their part of preserving the history of the home and block.

The buyers of the house are anxiously waiting the approval of the subdivision as they have been patiently waiting to get through the city's process while first engaging us in January of 2022. They are moving to the area from out of state and have a high school aged daughter so are very

hopeful that we can get formal approval soon, in order to move in by early July to get acclimated to both a new home and new area, and to start the orientation process for her to be at ETHS in plenty of time for the beginning of the school year.

We're thankful to have two such wonderful buyers to carry on the strong tradition of the house and the block.

Attached you should find all information that you've requested. As no construction or building permits are being sought at this time, most of what has been asked of us won't apply. We are merely seeking approval of the subdivision of the lot, which Evanston had informed us over one year ago that we would qualify for.

Please don't hesitate to let us know if you need anything else prior to the June meeting. We look forward to working with the committee to receive their approval.

Best,

Devon and Hana Herrick

2-8-12. - REVIEW OF APPLICATIONS FOR SUBDIVISION, RESUBDIVISION OR CONSOLIDATION.

(A) Prior to review of any subdivision, resubdivision or consolidation pursuant to Title 4, Chapter 13 "Subdivisions," Sections 1 through 3, of any landmark, area, property, structure or site in a district, Council or its duly authorized committee shall request a report by the Commission regarding the effect of the proposed subdivision, resubdivision or consolidation on the landmark or district. Review by the Commission shall be advisory.

(B) The Commission shall review the application for subdivision, resubdivision or consolidation based on the following standards:

1. The design of the subdivision, resubdivision or consolidation shall
 - a. Preserve, adaptively use, or otherwise protect the landmark, or area, property, structure, site or object in the district; and
There are no landmark properties impacted by the subdivision as neither neighbor to the north or south is a landmarked property. The subdivision helps preserve the district by allowing for a newly created parcel to be syphoned off from the main house which was having trouble finding a buyer. With the proposed subdivision, a contracted buyer for the house has come forward who will protect the history and character of the home and the district. The contracted buyer of the land will separately be presenting at a later date their plans to build a house that keeps with the character of the district.
 - b. Provide the location and design of new structures and objects that are visually compatible with the landmark or sites, buildings, structures, and object in the district; and
This does not apply as no new structures are being proposed at this time by the owner and applicant for the subdivision. The application is only for the subdivision itself and the contracted buyer, an owner occupant, will concurrently present her plans for a house to be approved by the committee.
 - c. Not result in blocking or otherwise obstructing, as viewed from a public street or publicway, not to include Lake Michigan, the critical features of the landmark or area, property, structure, site or object in the district; and
There are no landmark properties, structures or sites that will be obstructed or impacted by the subdivision. When new construction does ultimately take place, neither the property to the north at 1208 Maple nor the property to the south at 1214 Maple will be impacted as it would not block or impede either elevation. 1208 Maple is rather spare and vernacular. 1214 Maple offers larger setbacks from the buildable lot at 1210 Maple and so would still allow for adequate light and ventilation. Further, the newly contracted buyers at 1214 Maple are a part of this process and are aware that there is a house being built next door. Those future owners are very excited to move forward with the process of gaining approval of the subdivision so they can move in to the house and preserve the historic character of the house, making the subdivision an essential part of preserving 1214 Maple.

- d. Preserve and protect the critical features of the streetscape associated with the landmark, or area, property, structure, site or object in the district; and
As no building is being sought at this time, only a subdivision, nothing will be affected. However, even with the subdivision, the new home that is being built will only enhance the neighborhood and provide another house that fits into the neighborhood instead of a vacant lot. And, as noted above, the subdivision allows for a new owner to care for 1214 Maple.
- e. Not adversely affect traffic patterns, municipal services, adjacent property values, or the general harmony of the District
As no building is being sought at this time, only a subdivision, nothing will be affected. However, even with the subdivision, the new home that is being built will only enhance the neighborhood and provide another house that fits into the neighborhood instead of a vacant lot.

- 2. Alteration, construction, demolition and relocation shall be consistent with Section 2-8-9.
This does not apply as no alteration, construction, demolition or relocation is being sought at this time.

(C) Within thirty five (days of the Commission's review, the Commission shall prepare written finding and, by majority vote, issue to the Council or its duty authorized committee a recommendation on the suitability of creating the proposed subdivision, resubdivision or consolidation.

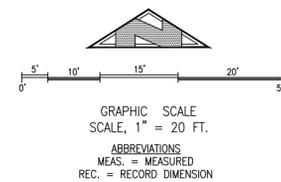
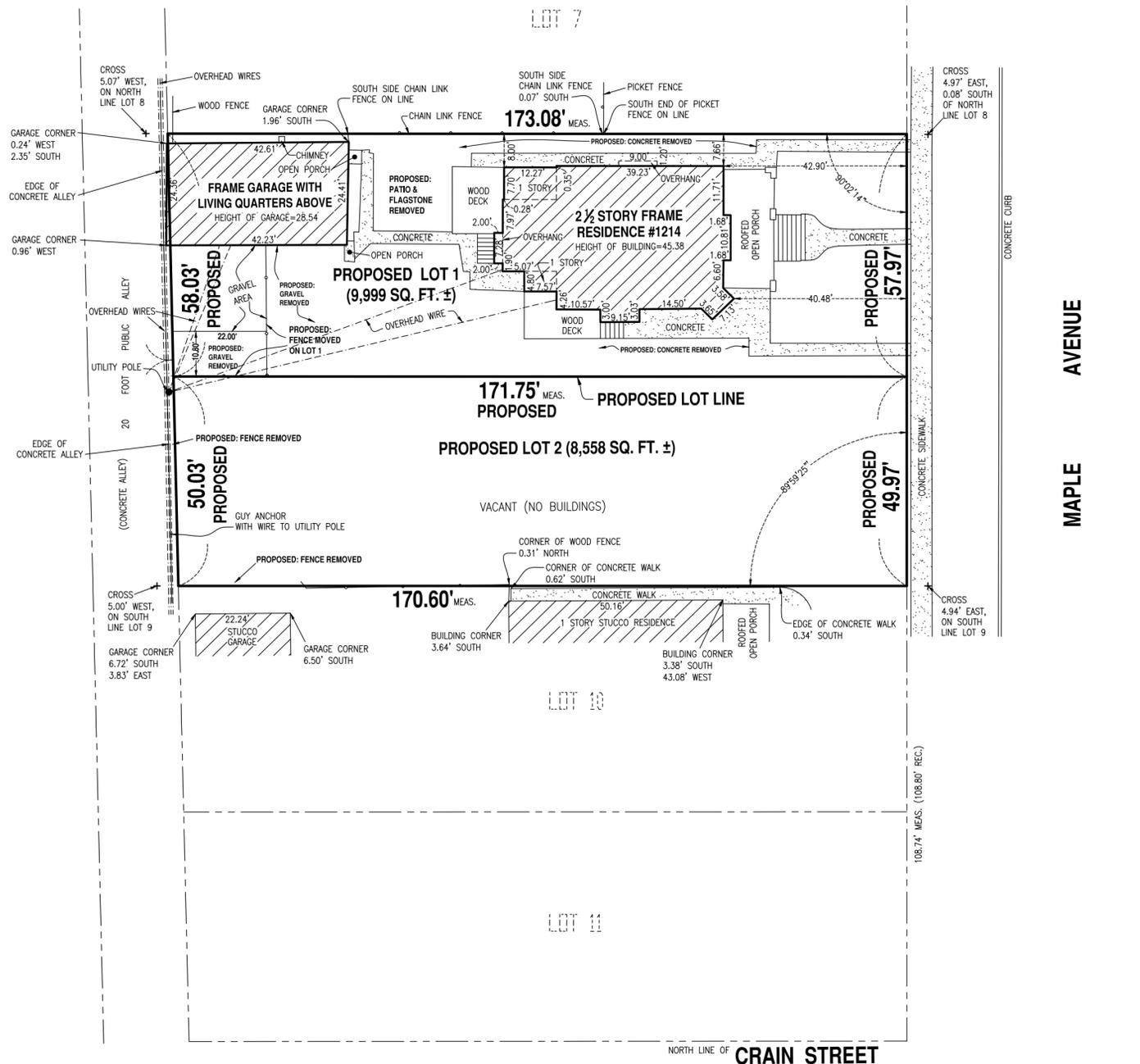
(D) Based on the recommendations received by Council or its duly authorized committee, Council shall consider whether the proposed subdivision, resubdivision, or consolidation is consistent with the standards provided in Subsection 2-8-12(B).

(E) If Council finds that the proposed subdivision, resubdivision or consolidation is not consistent with the standards provided in Subsection 2-8-12(B), the Council may deny the application for subdivision, resubdivision or consolidation.

EXHIBIT OF PROPOSED

LEGAL DESCRIPTION OF PROPOSED:
 LOTS 1 AND 2 IN HERRICK RESUBDIVISION OF LOTS 8 AND 9 IN BLOCK 1 IN CRAIN'S SUBDIVISION OF THE NORTH
 HALF OF THE NORTH WEST QUARTER OF THE NORTH WEST QUARTER OF SECTION 19, TOWNSHIP 41 NORTH, RANGE
 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

(SAID RESUBDIVISION HAS NOT BEEN APPROVED OR RECORDED)



GENERAL NOTES:

All information provided to the surveyor is shown or noted hereon.

Prior to excavation call J.U.L.I.E. at 811 or 800-892-0123

Compare all points before building by same and report any discrepancy at once.

Dimensions are shown in feet and decimal parts thereof. No dimension is to be assumed by scaling.

EXHIBIT DATE: APRIL 29, 2022 (REVISES PREVIOUS VERSION DATED 4/25/22)

NOTES:

THIS EXHIBIT IS BASED ON PREVIOUS PLAT OF SURVEY #21-251 BY B. H. SUHR & COMPANY, INC. DATED JANUARY 7, 2022. STRUCTURES AND IMPROVEMENTS SHOWN HEREON HAVE NOT BEEN RE-VERIFIED. THIS EXHIBIT IS INTENDED FOR THE PURPOSE OF SHOWING PROPOSED NEW LOT BOUNDARIES AND PROPOSED CHANGES TO FENCES, PATIO AND CONCRETE. IT DOES NOT FULFILL THE ILLINOIS MINIMUM REQUIREMENTS FOR A BOUNDARY SURVEY. NO PLAT OF RESUBDIVISION HAS BEEN APPROVED OR RECORDED.

B.H. SUHR & COMPANY, INC.	
SURVEYORS ESTABLISHED 1911 450 SKOKIE BLVD. SUITE 105, NORTHBROOK, ILLINOIS, 60062 TEL. (847) 864-6315 / FAX (847) 864-9341 E-MAIL: SURVEYOR@BHSUHR.COM	Professional Design Firm License No. 184.008027-0008
LOCATION <u>1214 MAPLE AVENUE</u>	SURVEY DATE, <u>APRIL 29</u> 20 <u>22</u>
ORDER No. <u>21-251-EXHIBIT</u>	ORDERED BY: <u>DEVON AND HANA HERRICK</u>
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B.



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B.

City of Evanston ZONING ANALYSIS REVIEW SHEET

APPLICATION STATUS: Review Complete May 04, 2022

RESULTS OF ANALYSIS: Compliant

Z.A. Number: 22ZONA-0030

Purpose: Plat of Subdivision, Consolidation, etc.

Address: 1214 MAPLE AVE

District: R1

Overlay:

Preservation Ridge

Applicant: Scott Stavish

Reviewer: Meagan Jones

District:

Phone:

THIS APPLICATION PROPOSES (select all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> New Principal Structure | <input type="checkbox"/> Change of Use | <input type="checkbox"/> Sidewalk Cafe |
| <input type="checkbox"/> New Accessory Structure | <input type="checkbox"/> Retention of Use | <input type="checkbox"/> Other |
| <input type="checkbox"/> Addition to Structure | <input checked="" type="checkbox"/> Plat of Resubdiv./Consol. | |
| <input type="checkbox"/> Alteration to Structure | <input type="checkbox"/> Business License | |
| <input type="checkbox"/> Retention of Structure | <input type="checkbox"/> Home Occupation | |

ANALYSIS BASED ON:

Plans Dated: 4.6.22 (Revised)
Prepared By: B.H. Suhr
Survey Dated: 4.6.22
Existing Improvements: Single-fam. home and coach house

Proposal Description:

ZONING ANALYSIS

RESIDENTIAL DISTRICT CALCULATIONS

The following three sections apply to building lot coverage and impervious surface calculations in Residential Districts.

<u>Front Porch Exception (Subtract 50%)</u>	<u>Pavers/Pervious Paver Exception (Subtract</u>	<u>Open Parking Debit (Add 200sqft/open space</u>
Total Eligible Front Porch Regulatory Area	Total Paver Area Paver Regulatory Area	# Open Required Spaces Addtn. to Bldg Lot Cov.

PRINCIPAL USE AND STRUCTURE

	Standard	Existing	Proposed	Determination
USE:		Dwelling - SF Detached	Dwelling - SF Detached	No Change
Comments:				
Minimum Lot Width (LF)	35	108	57.97	Compliant
USE: Single Family Detached				
Comments:				
Minimum Lot Area (SF)	7,200 sqft	18557	9999	Compliant
USE: Single Family Detached				
Comments:				
Dwelling Units:	1	2	2	No Change
Comments: includes accessory dwelling above garage				
Building Lot Coverage (SF) (defined, including subtractions& additions):	2999.7	2940.49 15.8%	2940.49 29.4%	Compliant
Comments:				
Impervious Surface Coverage (SF, %)	4499.55	6425.55 34.6%	4499.52 45%	Compliant
Comments:				

LF: Linear Feet SF: Square Feet FT: Feet

	Standard	Existing	Proposed	Determination
Accessory Structure Rear Yard Coverage:	40% of rear yard	<40%	<40%	Compliant
Comments:				
Height (FT)		45.38		No Change
Comments:				
Front Yard(1) (FT) Direction: E Street: Maple Ave		40.48		No Change
Comments:				
Interior Side Yard(1) (FT) Direction: N		7.66'		No Change
Comments:				
Interior Side Yard(2) (FT) Direction: S		~13'		Compliant
Comments:				
Rear Yard (FT) Direction: W		77'		No Change
Comments:				

ACCESSORY USE AND STRUCTURE

Use (1)	Standard	Existing	Proposed	Determination
Permitted Districts:		Garage (Det), Coachhouse or Carport	Garage (Det), Coachhouse or Carport	No Change
Comments:				
Permitted Required Yard:		Rear Yard		No Change
Comments:				
Additional Standards:				
Comments:				
Height (FT)	Flat or mansard roof 14.5', ot	28.54		No Change
Comments:				
Distance from Principal Building:	10.00'	36.3		No Change
Comments:				
Front Yard(1A) (FT) Direction: E Street: Maple Ave				
Comments:				
Front Yard(1B) (FT) Direction: Street:				
Comments:				
Street Side Yard (FT) Direction: Street:				
Comments:				

LF: Linear Feet SF: Square Feet FT: Feet

	Standard	Existing	Proposed	Determination
Interior Side Yard(1A) (FT) Direction: N		1.96'	1.96'	Legal Non-Conforming
Comments:				
Interior Side Yard(1B) (FT) Direction: S		31.2	31.2	No Change
Comments:				
Rear Yard (FT) Direction: W		0	0	Legal Non-Conforming
Comments:				

PARKING REQUIREMENTS

	Standard	Existing	Proposed	Determination
Use(1): Single-family Detached	2 per dwelling unit (Table 16-B).			No Change
Comments: coach house and existing gravel area				
TOTAL REQUIRED:	2			No Change
Comments:				
Access:	Sec. 6-16-2-2	alley access		Compliant
Comments:				
Vertical Clearance (LF)	7'			Compliant
Comments:				
Surfacing:	Sec. 6-16-2-8 (E)	open gravel (outside of coach house)		Legal Non-Conforming
Comments: gravel parking area reduced.				

MISCELLANEOUS REQUIREMENTS

	Standard	Existing	Proposed	Determination
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COMMENTS AND/OR NOTES

Analysis Comments

RESULTS OF ANALYSIS

Results of Analysis: This Application is **Compliant**
 Site Plan & Appearance Review Committee approval is: **Not Required**
 See attached comments and/or notes.

Meagan Jones _____ 5.4.22 _____
 SIGNATURE DATE

1210 Maple Avenue – Ridge Historic District – 22PRES-0081

Nathan Kipnis, architect, submits for a Certificate of Appropriateness to construct a new two-story single-family residence and detached single-story two-car garage on a proposed subdivision of the parcel commonly known as 1214 Maple Avenue.

Applicable Standards: Construction [1-11;13,14; and, 16.]



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 1210 Maple Avenue – 22PRES-0081
Date: June 7, 2022

Public Notice

1210 Maple Avenue – Ridge Historic District – 22PRES-0081

Nathan Kipnis, architect, submits for a Certificate of Appropriateness to construct a new two-story single-family residence and detached single-story two-car garage on a proposed subdivision of the parcel commonly known as 1214 Maple Avenue.

Applicable Standards: Construction [1-11;13,14; and, 16.]

Setting:

The proposed vacant lot subject to new construction is located in the east central portion of the Ridge Historic District on the west side of Maple Avenue between Dempster Street to the north and Crain Street to the south. Surrounding homes are an eclectic mix of high-style structures of various residential typologies and densities. The block was predominately constructed between the late 1800s and early 1900s and in whole has excellent integrity and contains a significant number of individually registered Landmarks and contributing structures with a high-degree of architectural integrity.

Proposal:

The applicant proposes construction of a new two-story single-family home and two-car detached garage. The applicant proposed Passive Home Certification. The proposal is zoning compliant.

Although the predominant period of construction for the block is between the late 1800s and early 1900s, the standards for review are not intended to impose a specific architectural style or period of architecture, nor to discourage innovative design so long as the proposal is compatible with the properties to which it is visually related -- predominately by way of form, massing, rhythm, proportion, and materiality.

New construction should be designed in such a way that it can be understood as a new, compatible, intervention and evolutionary aspect of the District rather than something so similar to its historic context that it could be confused as being within the Districts period of significance. In this way, new construction that is overtly similar or duplicative of its surroundings, as well as that which is in extreme contrast are both incompatible.

Public Comment

Staff received comments regarding the proposal and has included them as a separate addendum for review.

Conditions in instance of approval

If a motion to approve is made, it should be accompanied by a condition subject to approval of the proposed subdivision at 1214 Maple by City Council.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
6. *Rhythm of entrance porches, storefront recesses and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

9. *Walls of continuity.* Facades and property and site structures, such as masonry walls, fences and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

16. *New Construction.* In considering applications for new construction, such as a new freestanding structure, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

Application for Preservation Review of Certificate of Appropriateness (COA)



Binding Review of Certificate of Appropriateness (COA) & Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 1210 Maple Ave	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Margaret Stender	Address: 2113 N. Fremont St.
City: Chicago	State: IL
Zip: 60614	Phone: (312) 636-2177
Email/Fax: MStender@chicagosky.net	
3) Architect's Name: Kipnis Architecture + Planning	Address: 1642 Payne St
City: Evanston	State: IL
Zip: 60201	Phone: (847) 864-9650
Email/Fax: nkipnis@kipnisarch.com	
4) Contractor's Name:	Address:
City:	State:
Zip:	Phone:
Email/Fax:	
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;	
If yes, <input type="checkbox"/> Lakeshore <input checked="" type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires:	
<input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.	
Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

- 1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

New construction on a vacant lot for a modern two-story energy efficient Passive House certified single-family residence in the Ridge Historic District. While the design is modern, it is appropriate in a historic district that highlights key architectural styles from each decade. Architectural examples from each of the sixteen decades are found in the district. While this home is clearly modern in design, it does take architectural cues from the context of its neighbors in terms of the centering of elements, incorporating a two-story bay, having an offset covered entry and front covered porch, pitched roof forms, and proportions of the openings in the overall design that relate to the proportions found within the district. The home has a substantial solar PV array which is generally hidden from view as they are located on south facing roofs.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Demolition	<input type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Landscaping	<input checked="" type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: <small>Prefinished Aluminum Clad Casement & Fixed, Lift & Slide, and Sliders</small>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material: Off-white Stucco	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Air Conditioning Unit	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed			
<input type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco <input checked="" type="checkbox"/> Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: <input checked="" type="checkbox"/> Cement Fiberboard Panels	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal <input checked="" type="checkbox"/> Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fences Wood <input checked="" type="checkbox"/> Wrought Iron Aluminum Other: _____ Height: _____ Length: _____		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input checked="" type="checkbox"/>		Fascias, Soffits, Rakeboards, Trim Wood Metal Synthetic Material, Type: _____ Other: <input checked="" type="checkbox"/> Cement Fiberboard Panels	<input type="checkbox"/>		<input type="checkbox"/>	Terraces, Patios, Decks Wood Stone Brick Pavers <input checked="" type="checkbox"/> Concrete Pavers Poured Concrete Other: _____
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>		<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		Roofing Material Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet <input checked="" type="checkbox"/> Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Door Material Wood <input checked="" type="checkbox"/> Metal Clad Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): <input checked="" type="checkbox"/> Air Conditioning Unit	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>		Chimney Material Brick Stone <input checked="" type="checkbox"/> Stucco Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Window Type Double Hung Casement <input checked="" type="checkbox"/> Other: <u>Fixed</u>	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		Gutters/Downspouts Copper Aluminum Galvanized Sheet <input checked="" type="checkbox"/> Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Window Material Wood Aluminum Clad <input checked="" type="checkbox"/> Steel Other: _____	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Muntins Not existing True divided lights Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>			

4) Applicant's Signature: 
Print Name: Nathan Kipnis

Date: April 12, 2021

Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].

Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS:

Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts (Briefly explain below/attach a separate sheet if necessary).

B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation (Briefly explain below/attach a separate sheet if necessary).

C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98). (Briefly explain below/attach a separate sheet if necessary).

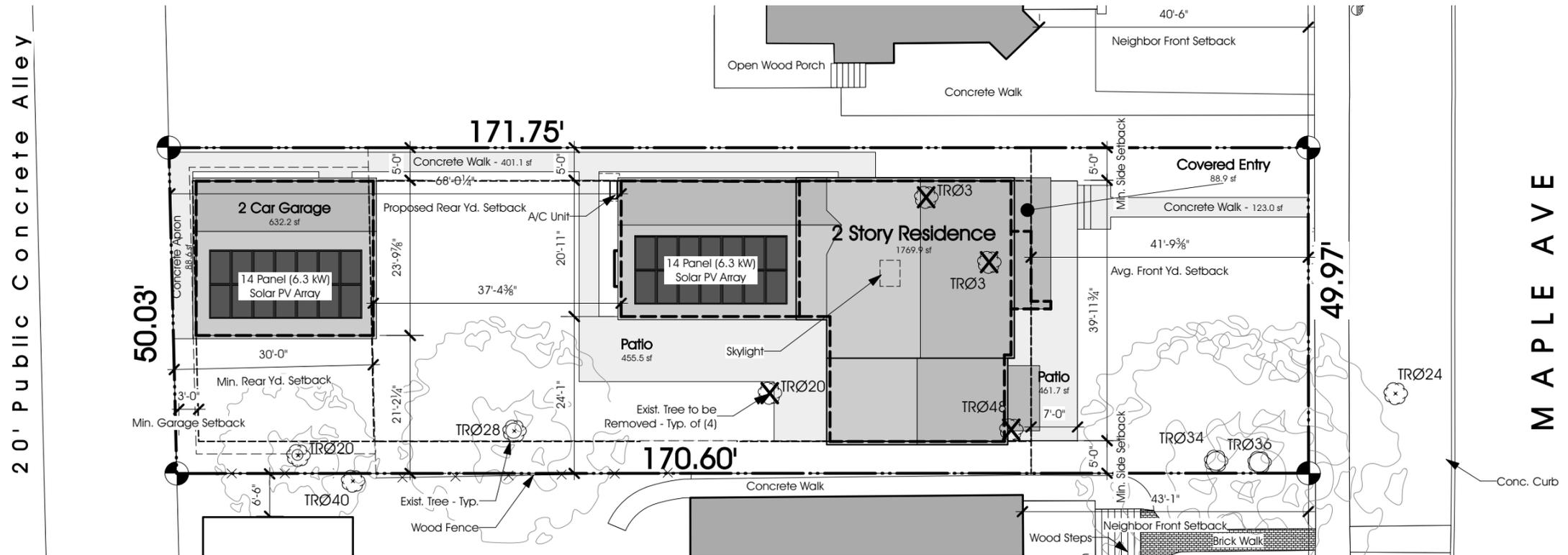
4) Applicant's Signature: _____
Print Name:

Date:

NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

Zoning Data

Zoning District	R1: Single Family Residential		
	Req'd	Existing	Proposed
Min. Lot Area	7,200 s.f.	8,557.5 s.f.	No Change
Min. Lot Width	35'0"	50'	No Change
Avg. Front Setback	41'9 3/8"		41'9 3/8"
Min. Rear Setback	30'0"		68'0 1/4"
Min. Side Yard Setback	5'0"		5'0"
Max. Lot Coverage (30%)	2,567.2 s.f.		2,454.6 s.f.
Max. Impervious Surface (45%)	3,850.9 s.f.		3,801.0 s.f.
Max. Principal Bldg Hgt	35'0"/2.5 Stories		2 stories
Accessory Building			
Min. Front Setback	27'0"		140'9"
Min. Side Setback	5'0"		5'0"
Min. Rear Setback	3'0"		3'0"

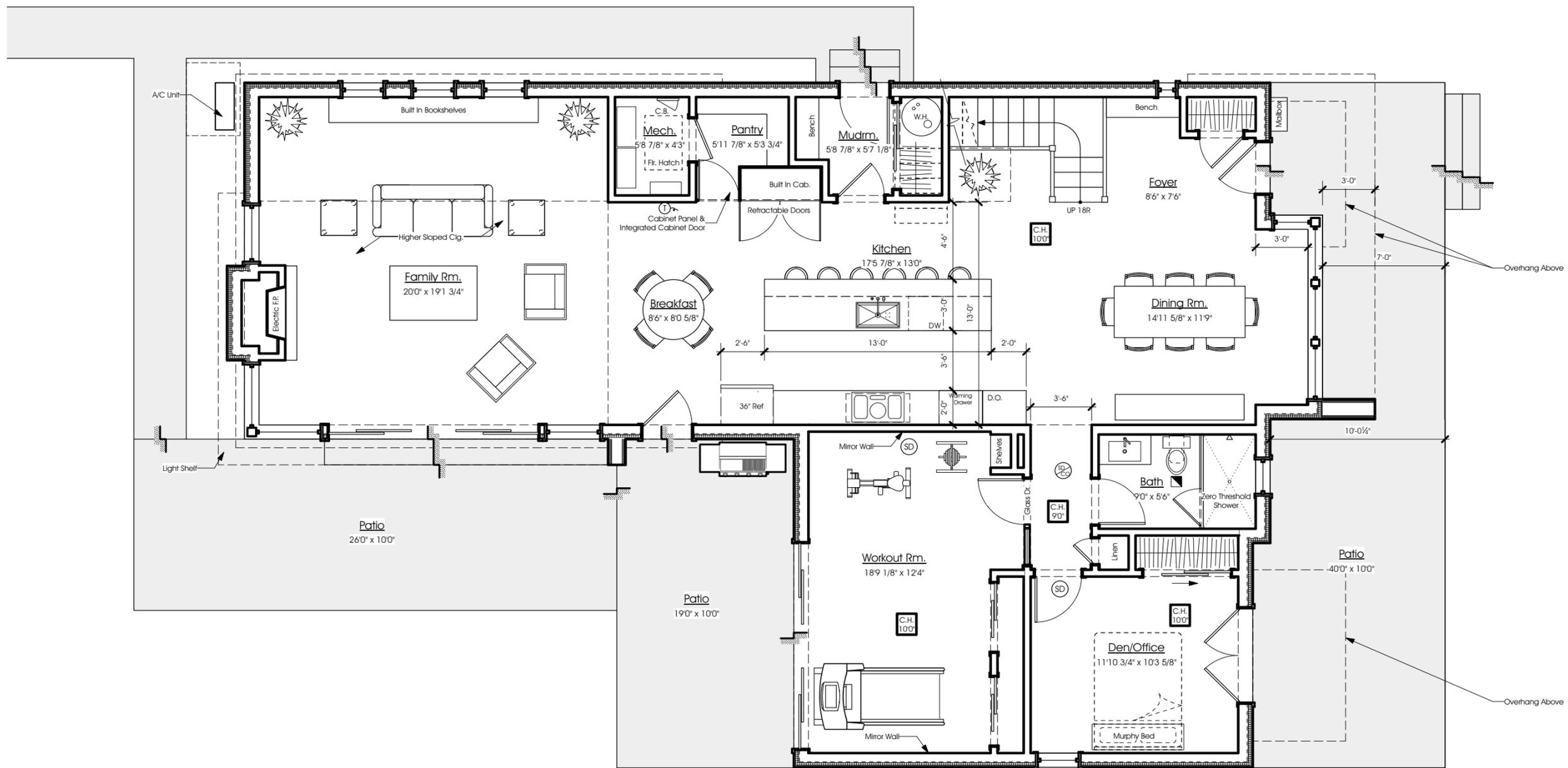


New Home for
Margaret Stender
1210 Maple Ave
Evanston, IL

Site Plan
Scale: 1/16" = 1'-0"
April 20, 2022



kipnis ARCHITECTURE+PLANNING
1642 payne street | evanston IL 60201
847 864 9650 | kipnisarch.com



1st Flr - Proposed

Scale: 3/16" = 1'-0"

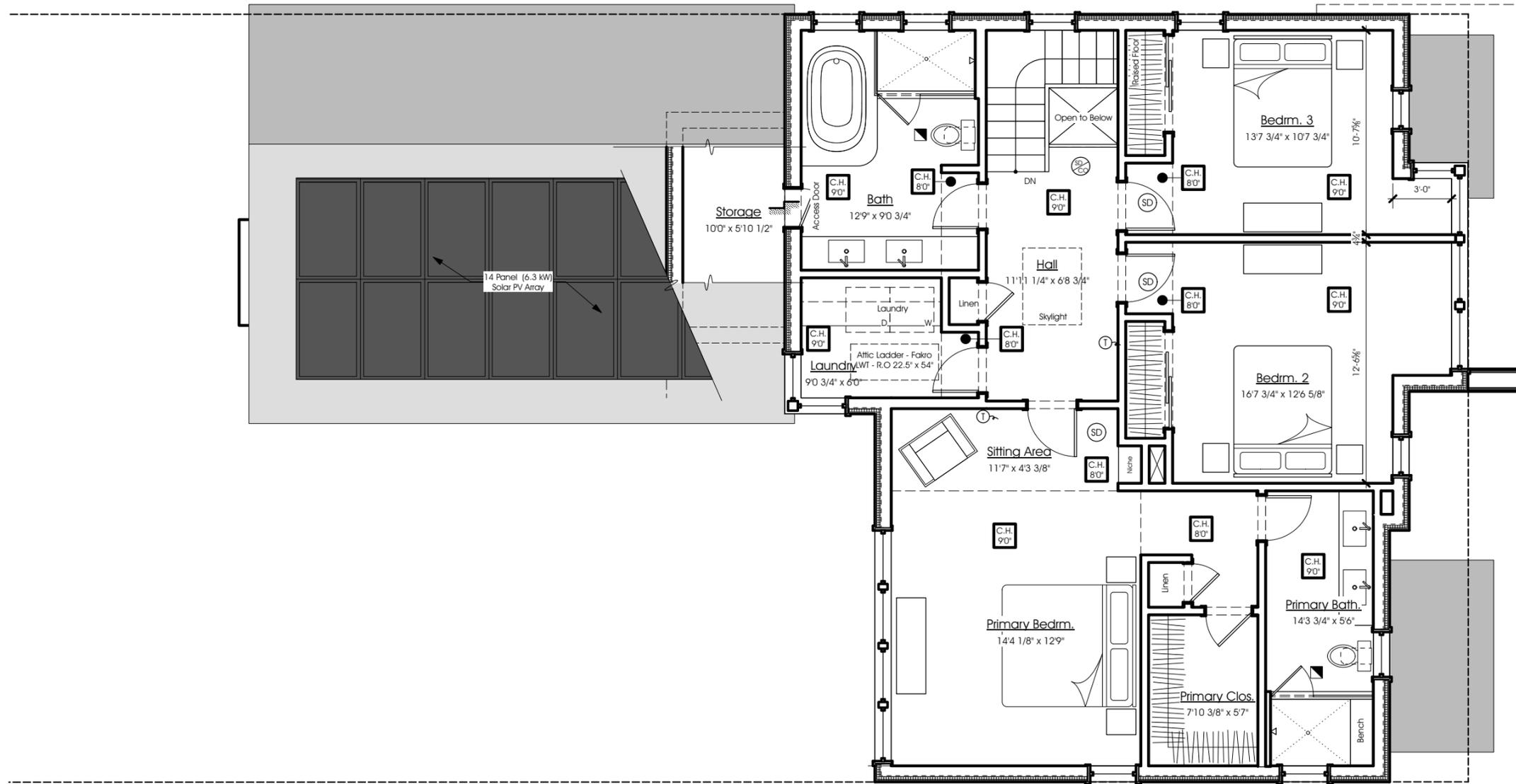
April 20, 2022



New Home for
 Margaret Stender
 1210 Maple Ave
 Evanston, IL



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 847 864 9650 | kipnisarch.com



2nd Flr - Proposed

Scale: 3/16" = 1'-0"

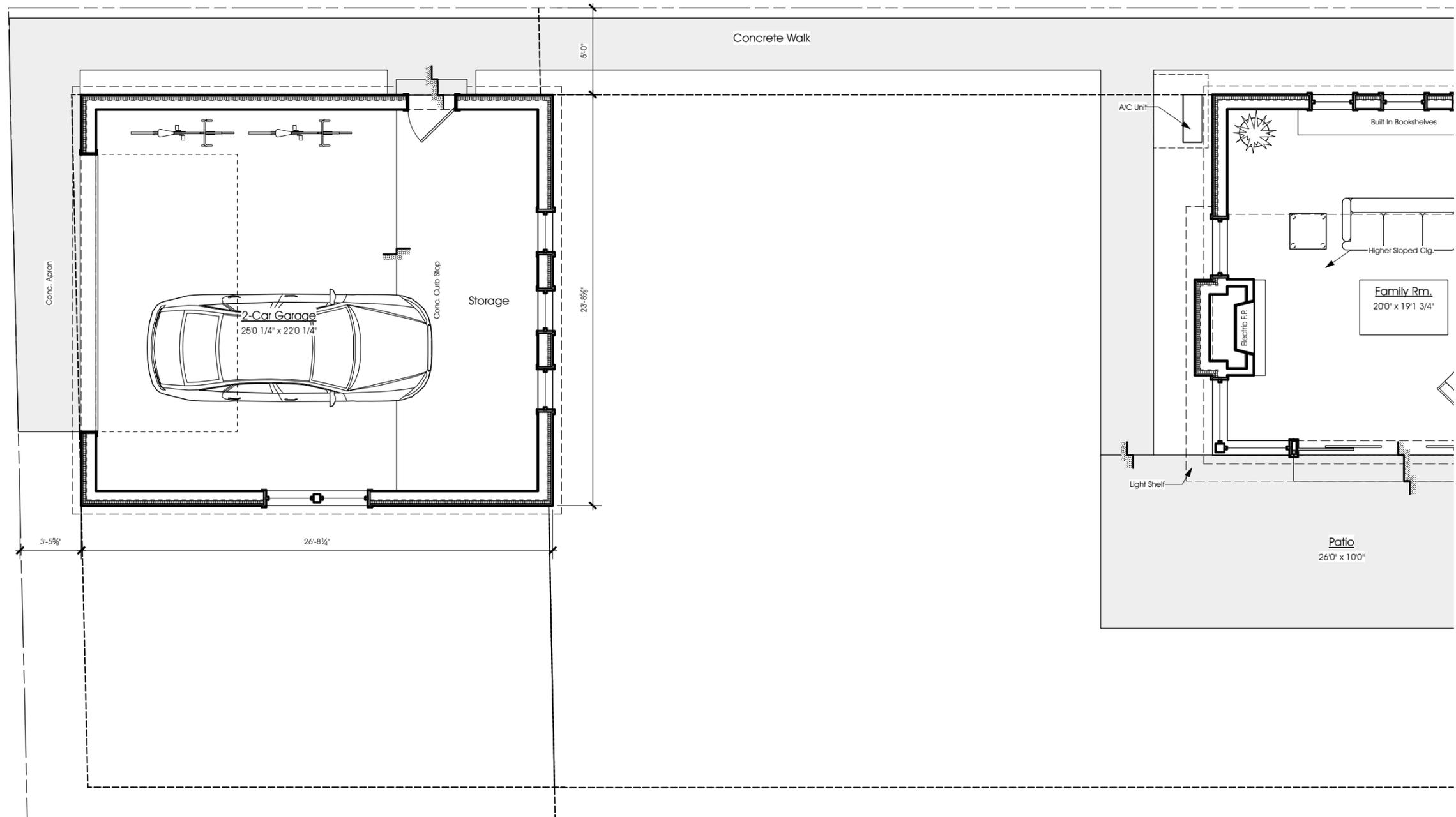
April 20, 2022



New Home for
 Margaret Stender
 1210 Maple Ave
 Evanston, IL



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Garage - Proposed

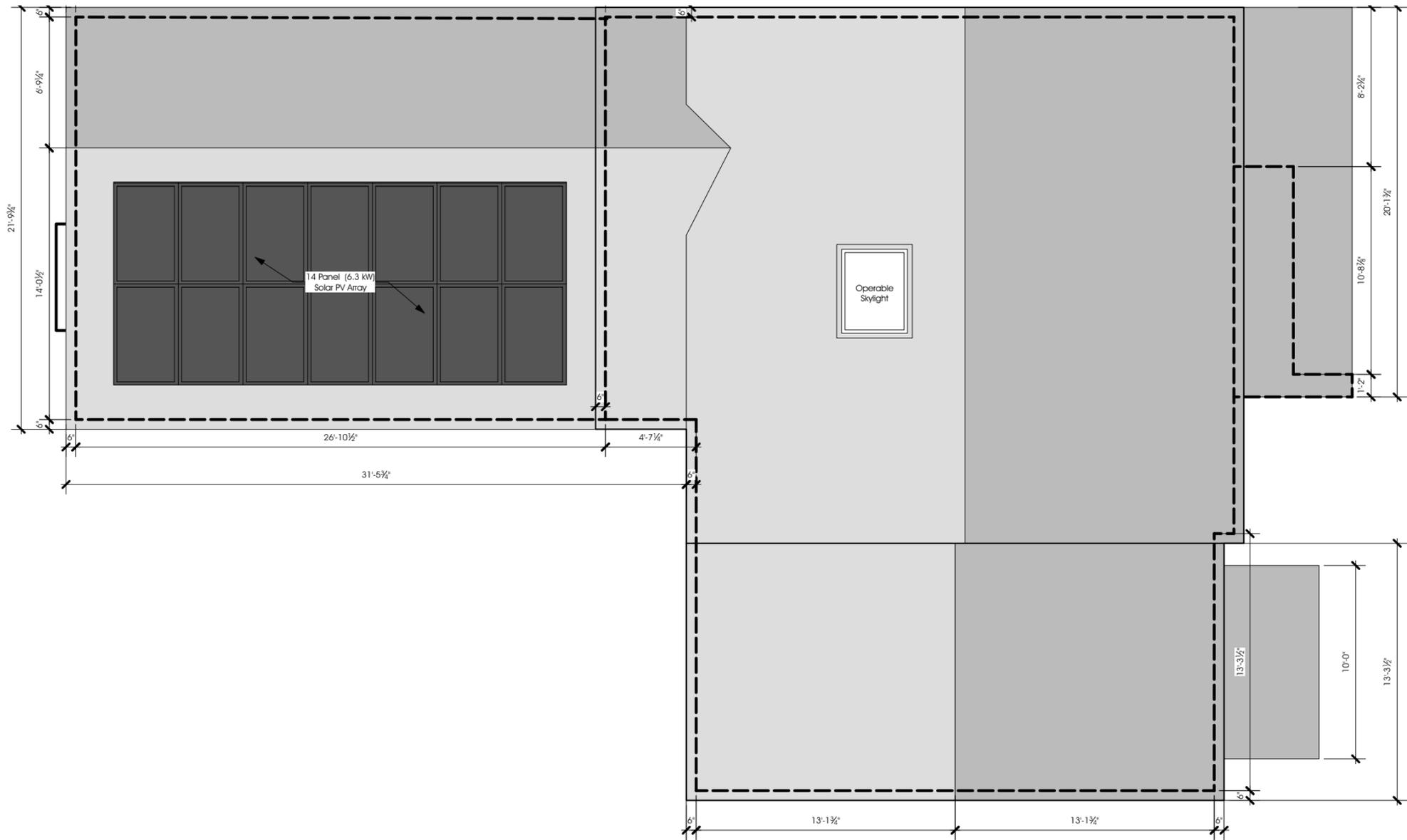
Scale: 3/16" = 1'-0"

April 20, 2022



New Home for
 Margaret Stender
 1210 Maple Ave
 Evanston, IL

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Roof - Proposed

Scale: 3/16" = 1'-0"

April 20, 2022



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New Home for
 Margaret Stender
 1210 Maple Ave
 Evanston, IL

East Elevation
 Scale: 3/16" = 1'0"
 April 20, 2022

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New Home for
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 1210 Maple Ave
 Evanston, IL

North Elevation
 Scale: 3/16" = 1'0"
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New Home for
 Margaret Stender
 1210 Maple Ave
 Evanston, IL

South Elevation
 Scale: 3/16" = 1'0"
 April 20, 2022

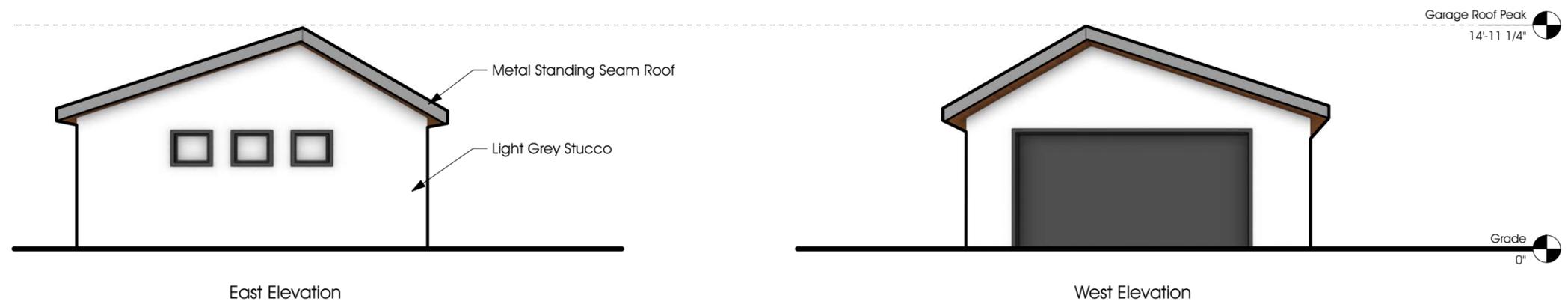
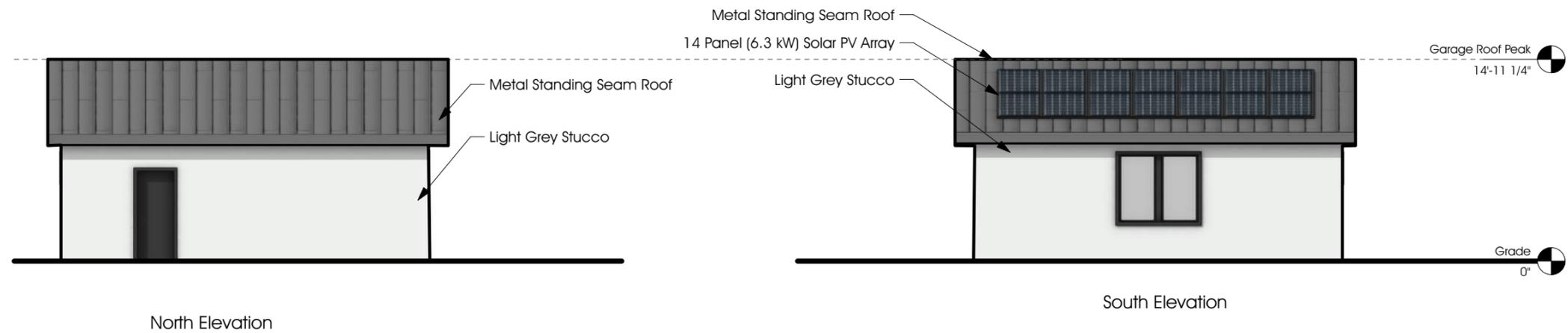
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New Home for
 Margaret Stender
 1210 Maple Ave
 Evanston, IL

West Elevation
 Scale: 3/16" = 1'0"
 April 20, 2022

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New Home for
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 1210 Maple Ave
 Evanston, IL

Garage Elevations
 Scale: 1/8" = 1'0"
 April 20, 2022

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New Home for
Margaret Stender
1210 Maple Ave
Evanston, IL

3D Rendering - Front

April 20, 2022

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New Home for
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1210 Maple Ave
Evanston, IL

3D Rendering - Rear

April 20, 2022

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1208 Maple



1214 Maple

New Home for
 Margaret Stender
 1210 Maple Ave
 Evanston, IL

Neighbor Photos

April 20, 2022

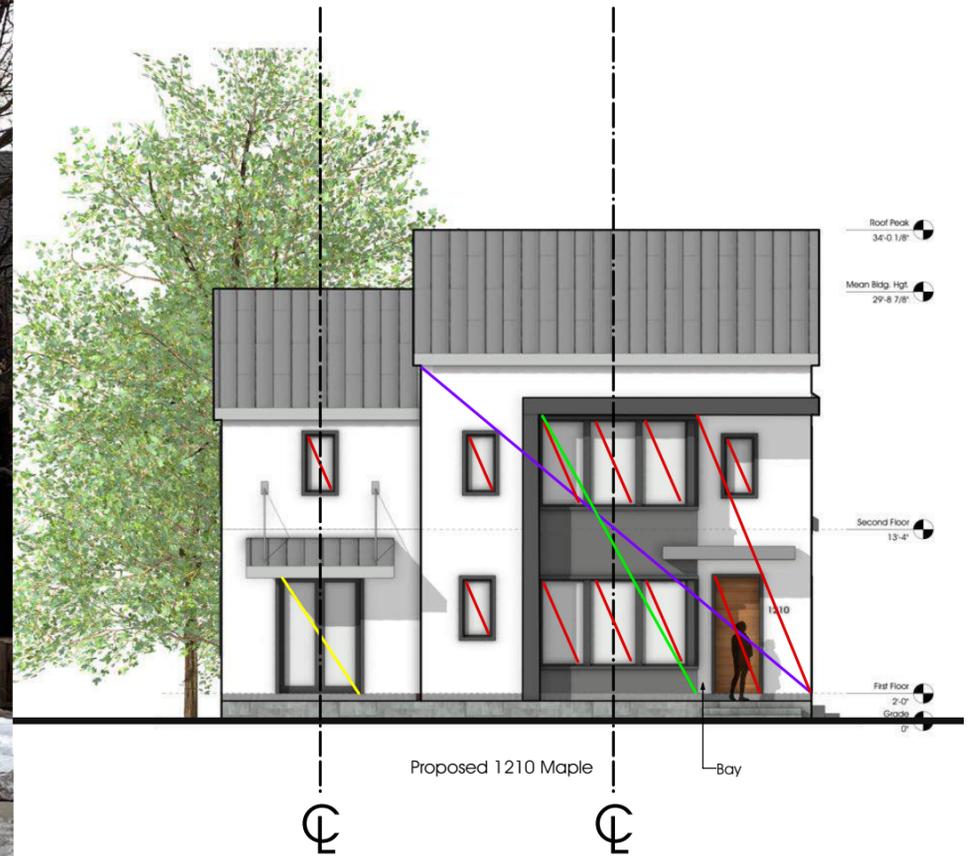


New Home for
Margaret Stender
1210 Maple Ave
Evanston, IL

Neighbor Photos

April 20, 2022

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New Home for
 Margaret Stender
 1210 Maple Ave
 Evanston, IL

Proportion Study

April 20, 2022



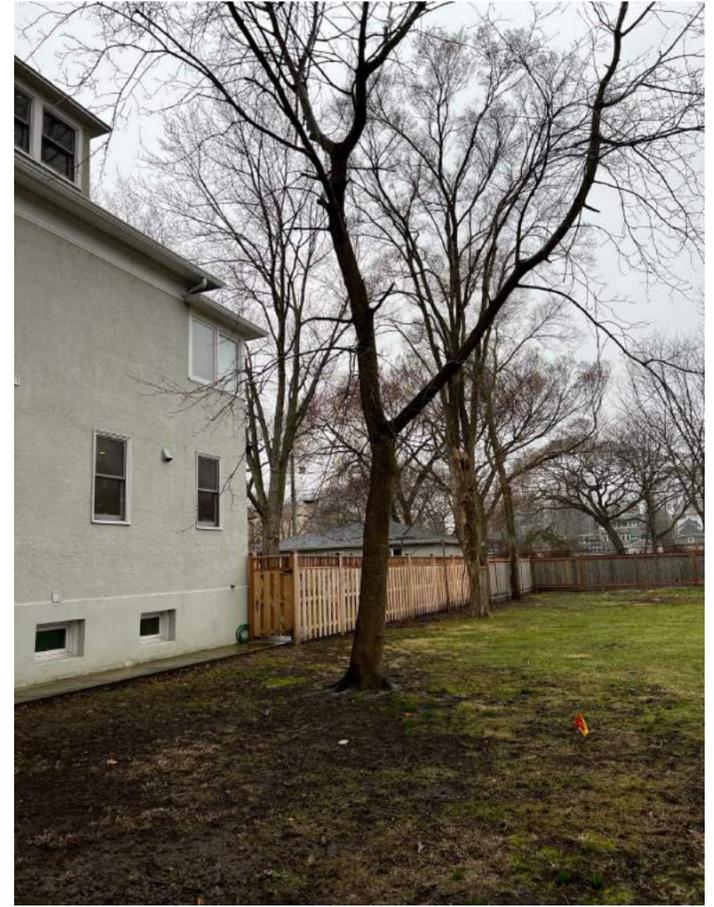
Sugar Maple Tree - Half of the Tree has been ripped out. Remaining Half Crotch has Trunk Rot.



Mulberry Tree - Undesirable Species, Leaning Towards Sidewalk. It is possible this tree will fall and if it does, it will fall on the public sidewalk.



Mulberry Tree - Undesirable Species, Split Main Crotch.

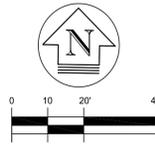


Norway Maple Tree - Weed Species

New Home for
Margaret Stender
1210 Maple Ave
Evanston, IL

Trees Proposed to be Removed

April 20, 2022



UNITED SURVEY SERVICE, LLC
 CONSTRUCTION AND LAND SURVEYORS
 7710 CENTRAL AVENUE, RIVER FOREST, ILLINOIS, 60305
 TEL.: (847) 299-1010 FAX: (847) 299-5887
 E-MAIL: USURVEY@USANDCS.COM

BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 2 IN HERRICK RESUBDIVISION OF LOTS 8 AND 9 IN BLOCK 1 IN CRAIN'S SUBDIVISION OF THE NORTH HALF OF THE NORTH WEST 1/4 OF THE NORTH WEST 1/4 OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

KNOWN AS: **1214 MAPLE AVENUE, EVANSTON, ILLINOIS**

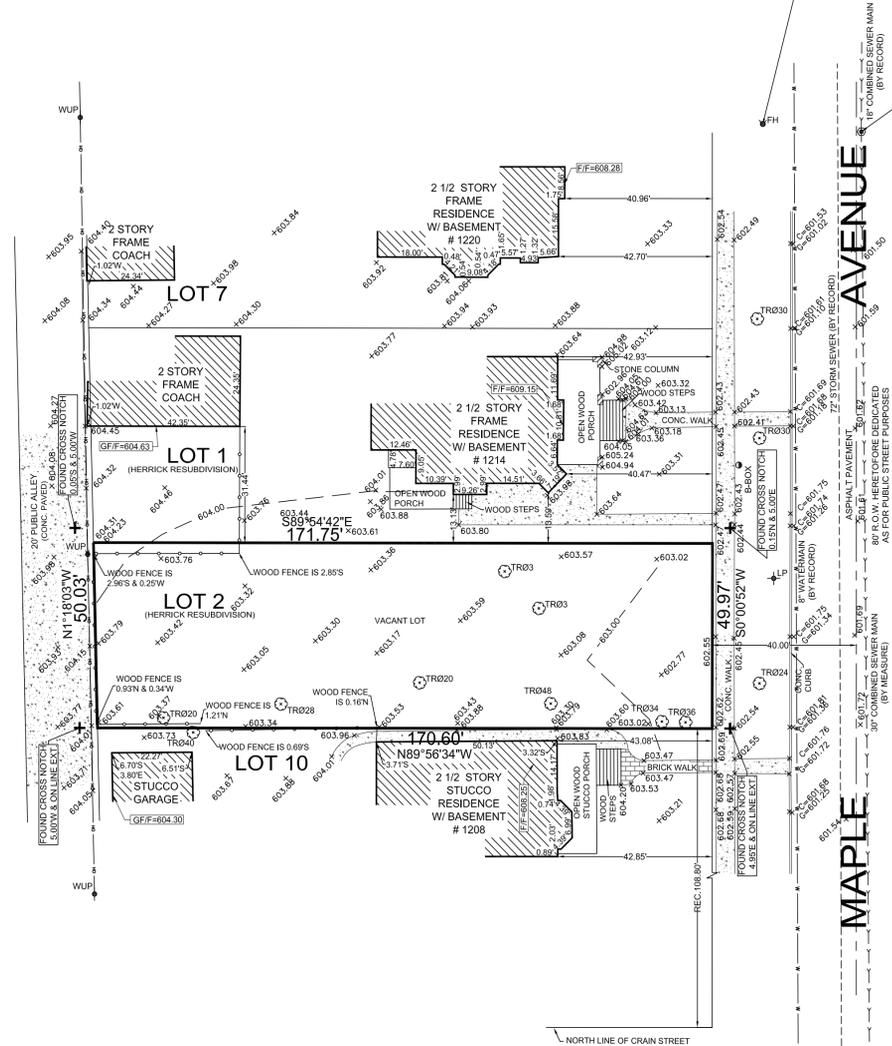
PERMANENT INDEX NUMBER: 11 - 19 - 102 - 019 - 0000 (PART OF)

AREA= 8,559 SQ. FT. OR 0.196 ACRE

SET BENCH MARK:
 NORTH BOLT OF FIRE HYDRANT
 EL.=603.06 (NAVD 1988)

SANITARY MANHOLE
 RIM=601.34
 INV.=594.84

SANITARY MANHOLE
 RIM=601.72
 INV.=592.52



PUBLIC UTILITY NOTE:
 LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, SEWER AND WATER, ETC.) PRIOR TO COMMENCING ANY CONSTRUCTION.

THESE COMPANIES WILL LOCATE ON THE GROUND THE LOCATION OF ALL CONDUIT, DUCTS, UNDERGROUND PIPING, ETC., ADJOINING AND CROSSING PROPOSED CONSTRUCTION.

STATE OF ILLINOIS)
) S.S.
 COUNTY OF COOK)

I, ROY G. LAWNICZAK, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY AND TOPOGRAPHIC SURVEY.

DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE CORRECTED TO A TEMPERATURE OF 68° FAHRENHEIT.

RIVER FOREST, ILLINOIS, MARCH 18, A.D. 2022.

BY: *Roy G. Lawniczak*
 ROY G. LAWNICZAK, REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2290
 LICENSE EXPIRES: NOVEMBER 30, 2022
 PROFESSIONAL DESIGN FIRM LICENSE NO.: 184-004576
 LICENSE EXPIRES: APRIL 30, 2023



LEGEND	ABBREVIATIONS
	SAN-MH SANITARY MANHOLE
	LP LIGHT POLE
	WUP WOOD UTILITY POLE
	FH FIRE HYDRANT
	TREE
	C=TOP OF CURB
	G=GUTTER
	FF=FINISH FLOOR
	T/F=TOP FOUNDATION
	GFF=GARAGE FINISH FLOOR

NOTE:
 ELEVATION DETERMINATED BY GPS METHOD

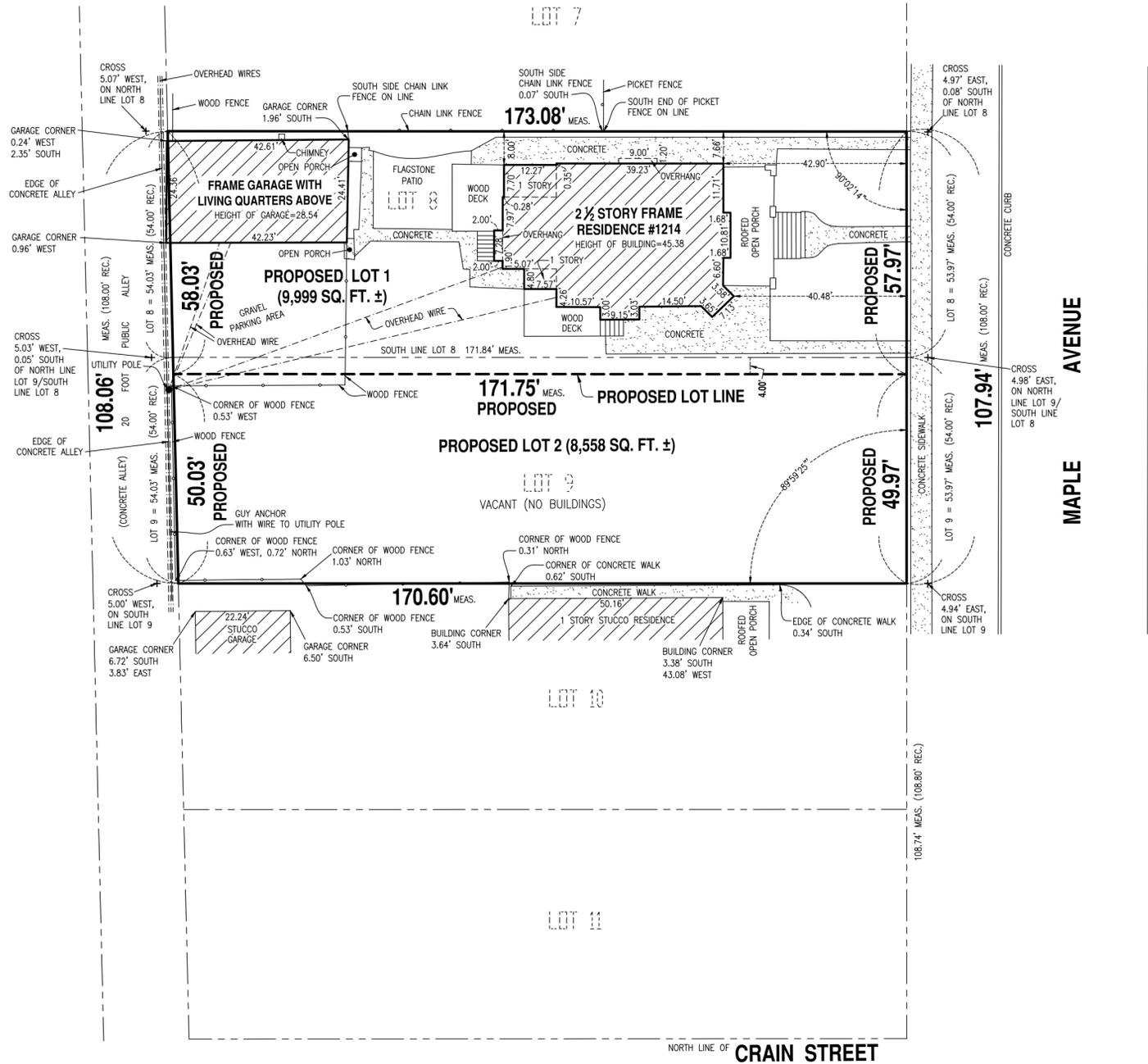
ORDERED BY: KIPNIS ARCHITECTURE		
SCALE : 1" = 20'		
DATE : MARCH 18, 2022		
FILE No.:		
2022 - 29958	DATE	REVISION

PLAT of SURVEY

LEGAL DESCRIPTION OF SURVEYED PROPERTY:
 LOTS 8 AND 9 IN BLOCK 1 IN CRAIN'S SUBDIVISION OF THE NORTH HALF OF THE NORTH WEST QUARTER OF THE NORTH WEST QUARTER OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1214 MAPLE AVENUE, EVANSTON, ILLINOIS.

PROPOSED:
 LOTS 1 AND 2 IN HERRICK RESUBDIVISION OF LOTS 8 AND 9 IN BLOCK 1 IN CRAIN'S SUBDIVISION OF THE NORTH HALF OF THE NORTH WEST QUARTER OF THE NORTH WEST QUARTER OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



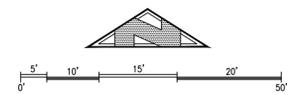
GENERAL NOTES:

All information provided to the surveyor is shown or noted hereon.
 The legal description on this plat was provided to us by the client or obtained from public records and should be compared to your Deed, Abstract or Certificate of Title.
 This plat and the legal description shown hereon does not determine, imply or guarantee ownership.
 Prior to excavation call J.U.L.I.E. at 811 or 800-892-0123
 All building restrictions, building lines and easements may or may not be shown. Check your Deed, Abstract, Title Report, and local ordinances. No responsibility is assumed by the surveyor.
 Compare all points before building by same and report any discrepancy at once.
 Dimensions are shown in feet and decimal parts thereof. No dimension is to be assumed by scaling.

SITE NOTES:

Area of Lot 8 = ±9,312 sq. ft.
 Area of Lot 9 = ±9,245 sq. ft.
 Area of surveyed property (Lots 8 & 9) = ±18,557 sq. ft.
 Area of main building footprint = ±1,757 sq. ft.
 Area of garage footprint (within boundary of Lot 8) = ±1,024 sq. ft.
 Area of roofed open porch (excluding wood steps) = ±323 sq. ft.
 Area of concrete = ±1,477 sq. ft.
 Area of flagstone patio = ±334 sq. ft.

Note: Height of buildings shown hereon is to the roof peak.



GRAPHIC SCALE
 SCALE, 1" = 20 FT.
 ABBREVIATIONS
 MEAS. = MEASURED
 REC. = RECORD DIMENSION

B.H. SUHR & COMPANY, INC.	
SURVEYORS ESTABLISHED 1911 450 SKOKIE BLVD. SUITE 105, NORTHBROOK, ILLINOIS, 60062 TEL. (847) 864-6315 / FAX (847) 864-9341 E-MAIL: SURVEYOR@BHSUHR.COM	Professional Design Firm License No. 184.008027-0008
LOCATION 1214 MAPLE AVENUE	SURVEY DATE, JANUARY 7 20 22
ORDER No. 21-251	ORDERED BY: DEVON AND HANA HERRICK
RB/FC © 2022 B. H. Suhr & Company, Inc. All rights reserved.	

FIELD MEASUREMENTS COMPLETED JANUARY 7 20 22

STATE OF ILLINOIS } ss.
 COUNTY OF COOK }

This professional service conforms to the current Illinois Minimum Standards for a boundary survey.

By  Dated JANUARY 21 20 22

Raymond R. Hansen
 Illinois Professional Land Surveyor No. 035-002542
 License Expiration Date 11/30/22





**Zoning Analysis
Summary**

**April 14, 2022
22ZONA-0059**

Determination:

1210 Maple Avenue R1 Single-Family Residential District Ridge Historic District	Compliant
---	-----------

Proposal:

New Single-Family Residence and Detached Two-Car Garage.
--

Zoning Section:	Comments:
6-8-2-5	The lot size is 8,557.5 sq.ft. where 7,200 square feet is the minimum required.
6-8-2-6	The lot width is 50' where 35' is the minimum required.
6-8-2-7	The proposed building lot coverage is 28.50% where 30% is the maximum permitted.
6-8-2-8 (A) 1.	The required front-yard setback is determined by the block average, resulting in ~41.75'. The proposed front-yard setback is 41.75' where 41.75' is required.
6-8-2-8 (A) 3.	The proposed side-yard setback is 5' where 5' is required.
6-8-2-8 (A) 4.	The proposed rear-yard setback is 67.33' where 30' is required.
6-8-2-8 (C) 4.	The proposed rear-yard setback for the detached accessory structure is 3' where 3' is required (at the west lot line), and 5' at the north lot line. The proposal has two accessory uses, both at-grade-terraces, one located in the side-yard with a 5' side-yard setback where 5' is required, and the other in the front-yard with a ~36' setback where 27' is required.
6-8-2-9	The proposed building height is two-stories and 34' where the lesser of 35' or 2 stories is the maximum permitted.
6-8-2-10	The proposed impervious surface ratio is 44.25% where 45% is the maximum permitted.
6-8-2-12	Access to on-site parking (detached garage) does not cross the front lot line and is achieved through alley-access.
6-4-6-4	The height of the proposed detached garage is undetermined, but may not exceed 28' in height.
6-4-1-9 (B)	The eaves of the principle structure do not encroach on more than 10% of the required side, front, and rear yards. The eaves for the proposed detached accessory structure are undetermined but

	would be limited to 6" in depth at the west lot line.
6-4-6-8	The proposed solar array complies with the solar regulations

Additional Comments:

- Review and issuance of COA by the HPC is required.

650 Forest Avenue – Lakeshore Historic District – 22PRES-0080

Garry Shumaker, architect, submits for a Certificate of Appropriateness to demolish an existing two-story rear addition; construct a new two-story addition and open wood deck at the residences rear volume; and, replace the existing enclosed front-porch windows.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-5; 7-8; and, 10-15].



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 650 Forest Avenue – 22PRES-0080
Date: June 7, 2022

Public Notice

650 Forest Avenue – Lakeshore Historic District – 22PRES-0080

Garry Shumaker, architect, submits for a Certificate of Appropriateness to demolish an existing two-story rear addition; construct a new two-story addition and open wood deck at the residences rear volume; and, replace the existing enclosed front-porch windows.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-5; 7-8; and, 10-15].

Construction Period:
1913

Style:
Craftsman

Architect of Record:
T.E. Telfer

Condition:
Good

Integrity:
Good

Status:
Contributing

Setting:
Located in the southern portion of the Lakeshore Historic District on the west side of Forest Avenue between Kedzie Street to the north and Keeney Street to the south, 650 Forest Avenue is a two-and-one-half story Craftsman styled home constructed in 1913. The home was designed and constructed speculatively by prolific developer T.E. Telfer, who was involved in the southern portion of the Districts residential build-up between 1900 and 1910. Telfer designed and constructed eight additional contiguous homes at 700, 646, and

642 Forest Avenue, as well as 641, 645, 647, 701, and 703 Judson Avenue. Of these, only 645 Judson Avenue is a designated Landmark. All nine properties are contributing.

Significance:

The property is a contributing structure with good integrity that is representative of the southern portion of the Districts early 20th Century pattern of development driven by construction of Sheridan Road (1890), and construction of the Chicago and North Shore Street Railway Company (mid 1890s).

The Craftsman Style derived from the Arts and Crafts Movement of the late 19th century — a movement that valued hand craftsmanship, natural materials and simplicity in design and rejecting Victorian era excesses and mass-production. Craftsman style houses feature a mix of wood clapboards, shingles, stucco and sometimes half-timbering. If stone or brick was used, it was typically laid to look more rustic, with rough cuts and uneven application. Roofs are low-sloped hipped or gable roofs with deep overhangs supported by wood brackets and knee-braces. Exposed rafter tails are also a feature. In one and one-half story versions, the attic space is made usable with dormers or windows set in the gable ends. Wide front porches are common and are often supported by rustic brick or stone piers. Windows are usually double hung or casement types with multi-paned or diamond-paned glass. The Craftsman Style does not have its own building form but was a style applied to common building types, such as the bungalow and the American Foursquare. The style was popularized by national design plan books and magazines such as *The Craftsman*, published by Gustav Stickley between 1901 and 1916. Though high-style, expensive Craftsman homes are not uncommon, it was generally promoted as an affordable, middle-class style for Americans, and mass-produced for speculation, ironically.

Proposal:

The applicant proposes partial demolition of the existing rear addition, partially constructed in 2003, and construction of a new two-story rear addition and single-story entry addition at the rear-volumes north elevation, construction of a rear deck, and replacement of the existing enclosed porch windows.

Staff asked the applicant for clarification on the window replacement at the front-porch. Additional photos were provided. The existing windows are single-pane fixed insert panels akin to a storm window screwed into simple 2x4 framing. These are non-original to the structure and were likely inserted as a replacement to original screen panels. The applicant proposes removal of the non-original inserts and fabricate both glass inserts and screen inserts for easy transition of the space between seasons.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Demolition

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.
2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should

match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Application for Preservation Review of Certificate of Appropriateness (COA)

Binding Review of Certificate of Appropriateness (COA) &

Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments

Thank you for submitting your COA application for Preservation Review. This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way. To process your application, submit no less than **15 business days** before the next scheduled Preservation Commission meeting the following: one **(1) hard copy** of the fully completed application and attachments including: plat of survey, site plan, elevation drawings of the existing and proposed, **3D drawings** of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size); and one **(1) digital copy in PDF format of the same**. The Preservation Commission meetings are on the **second Tuesday** of the month. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. The submission of the completed COA **15 business days** prior to the next scheduled meeting date allows the City staff's review of the application and to provide the applicant feedback on the completeness of the COA application. **Incomplete applications will not be accepted.** Refer to the **Supplemental Information**, pages (i - iv) below.

Applications can be submitted in person, by regular mail, electronically via email at cruiz@cityofevanston.org or in a flash drive to the Preservation Coordinator, City of Evanston, Community Development Department, Planning & Zoning Division, Lorraine H. Morton Civic Center, 2100 Ridge Avenue, Room 3201, Evanston, Illinois 60201.

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Depending on the case load and during construction season, zoning analysis may take longer. Applicants must give themselves enough time to request a zoning analysis to meet deadlines.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Preservation Commission meets on the **second Tuesday** of the month [see schedule on page (v) below].

Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) *Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address:	FOR STAFF USE ONLY Application Number:
2) Owner's Name:	Address:
City: _____ State: _____ Zip: _____	Phone: _____ Email/Fax: _____
3) Architect's Name:	Address:
City: _____ State: _____ Zip: _____	Phone: _____ Email/Fax: _____
4) Contractor's Name:	Address:
City: _____ State: _____ Zip: _____	Phone: _____ Email/Fax: _____
5) Landmark: <input type="checkbox"/> Yes <input type="checkbox"/> No *Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input type="checkbox"/> Yes <input type="checkbox"/> No; If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires: <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only. Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input type="checkbox"/> Construction	<input type="checkbox"/> Residential <input type="checkbox"/> Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Demolition	<input type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed					
<input type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Fences Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____				
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>		Roofing Material Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Fascias, Soffits, Rakeboards, Trim Wood Metal Synthetic Material, Type: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Terraces, Patios, Decks Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: _____			
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>				
<input type="checkbox"/>	<input type="checkbox"/>			Chimney Material Brick Stone Stucco Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Door Material Wood Metal Clad Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Material Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____		
<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>				Gutters/Downspouts Copper Aluminum Galvanized Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Window Type Double Hung Casement Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): <input type="checkbox"/> <input type="checkbox"/> Air Conditioning Unit <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>					<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>					Muntins Not existing True divided lights divided lights	<input type="checkbox"/>	<input type="checkbox"/>	Window Material Wood Aluminum Steel Other: _____	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>						<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
4) Applicant's Signature: _____							Date: _____					
Print Name: _____												

Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].

ZONING ANALYSIS: 650 FOREST AVE. EVANSTON, IL

ZONING: R1 (RESIDENTIAL SINGLE UNIT)

LOT AREA: 8,154 SF

REQUIRED SETBACKS:

FRONT YARD (EAST):
REQUIRED = 27 FT 0 IN (NO CHANGE)

SIDE YARD (SOUTH):
REQUIRED = 5 FT 0 IN
EXISTING = 18 FT 3 IN (NO CHANGE)

SIDE YARD (NORTH):
REQUIRED = 5 FT 0 IN
EXISTING = 3 FT 7 IN
PROPOSED = 5 FT 1 IN (AT NEW ADDITION)

REAR YARD (WEST):
REQUIRED = 30 FT 0 IN
EXISTING = 74 FT 0 IN
PROPOSED = 65 FT 0 IN

BUILDING LOT COVERAGE:

PRINCIPAL STRUCTURE:
EXISTING: 1421 SQFT PROPOSED: 1621 SQFT

DETACHED GARAGE FOOTPRINT:
EXISTING: 669 SQFT PROPOSED: NO CHANGE

ROOFED FRONT PORCH (INCLUDING 50% CREDIT):
EXISTING: 0 SQFT PROPOSED: NO CHANGE

OTHER ROOFED AREAS:
EXISTING: 0 SQFT PROPOSED: NO CHANGE

TOTAL:
EXISTING: 2090 SQFT PROPOSED: 2290 SQFT
2290 SQFT = 28.0% < 30% MAX ALLOWED

IMPERVIOUS SURFACE COVERAGE:

PATIOS & TERRACES (INCLUDING 20% CREDIT FOR BRICKWORK):
EXISTING: 947 SQFT PROPOSED: 848 SQFT

DRIVEWAYS:
EXISTING: 160 SQFT PROPOSED: NO CHANGE

SIDEWALKS:
EXISTING: 0 SQFT PROPOSED: NO CHANGE

DECKS:
EXISTING: 143 SQFT PROPOSED: 341 SQFT

STAIRS/LANDINGS:
EXISTING: 32 SQFT PROPOSED: NO CHANGE

OTHER IMPERVIOUS AREAS:
EXISTING: 14.5 SQFT PROPOSED: NO CHANGE

TOTAL (INCLUDING BUILDING LOT COVERAGE):
EXISTING: 3024.5 SQFT PROPOSED: 3271 SQFT
3271 SQFT = 40% < 45% MAX ALLOWED



Existing Rear Yard View



Proposed Rear Yard View



Existing Front Street View



Existing North Street View



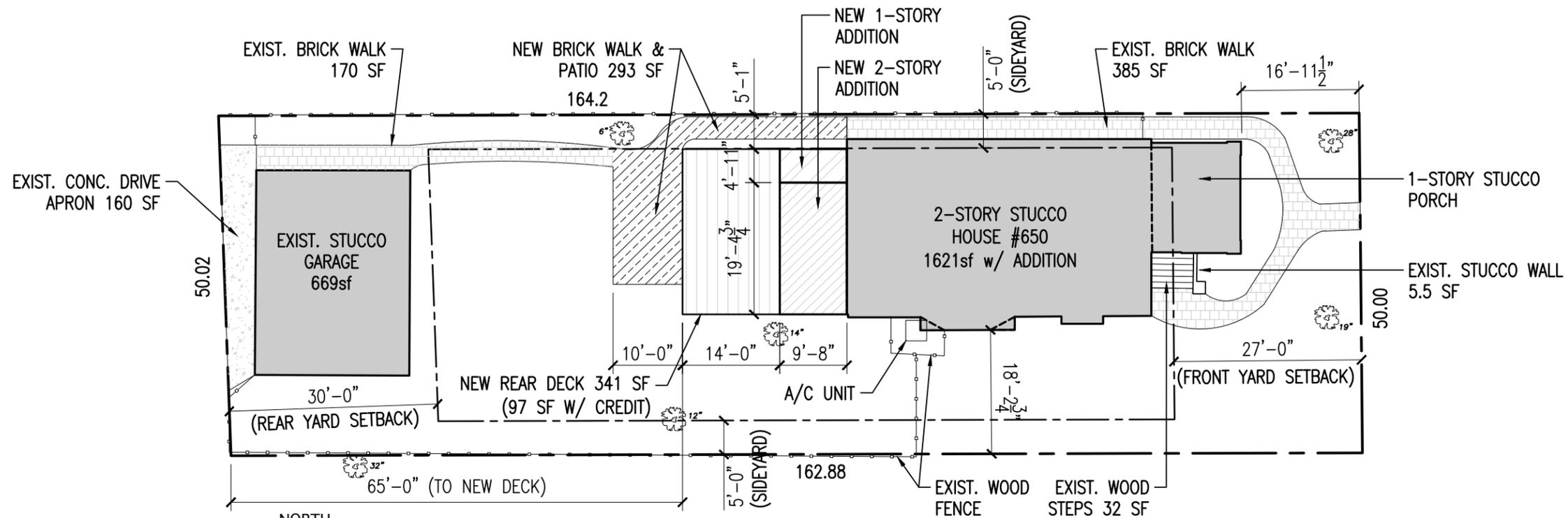
Existing South Street View

HOLMES RESIDENCE
650 Forest Ave.

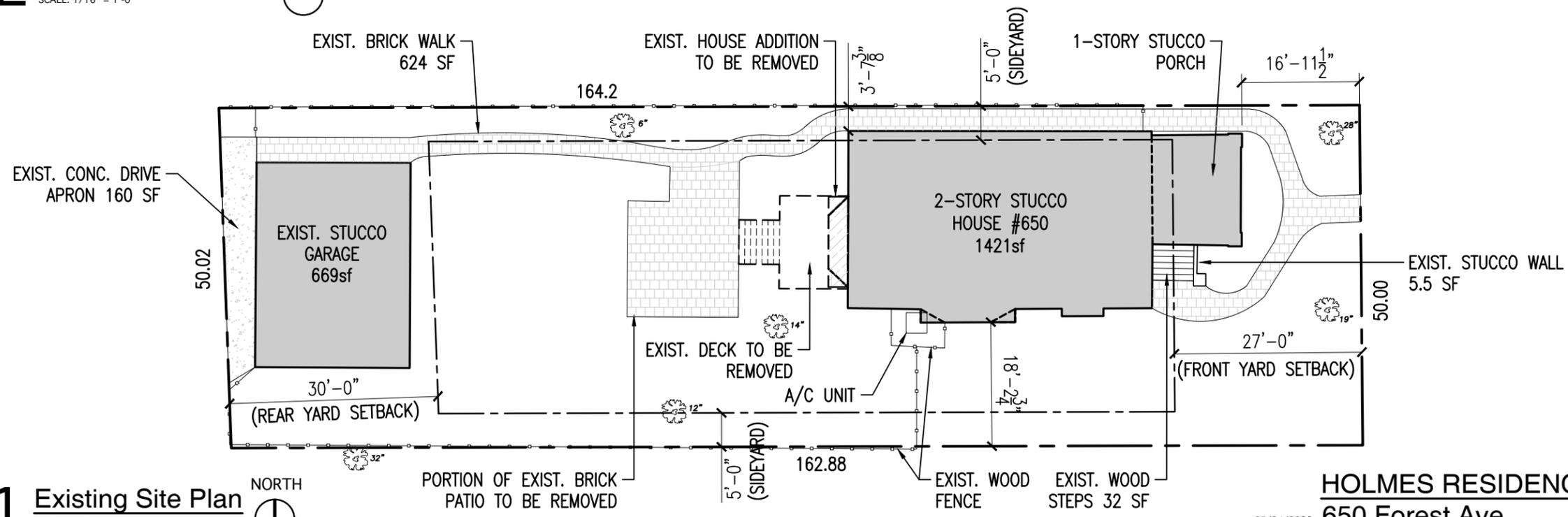
05/24/2022

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2 Proposed Site Plan
 SCALE: 1/16" = 1'-0"
 NORTH



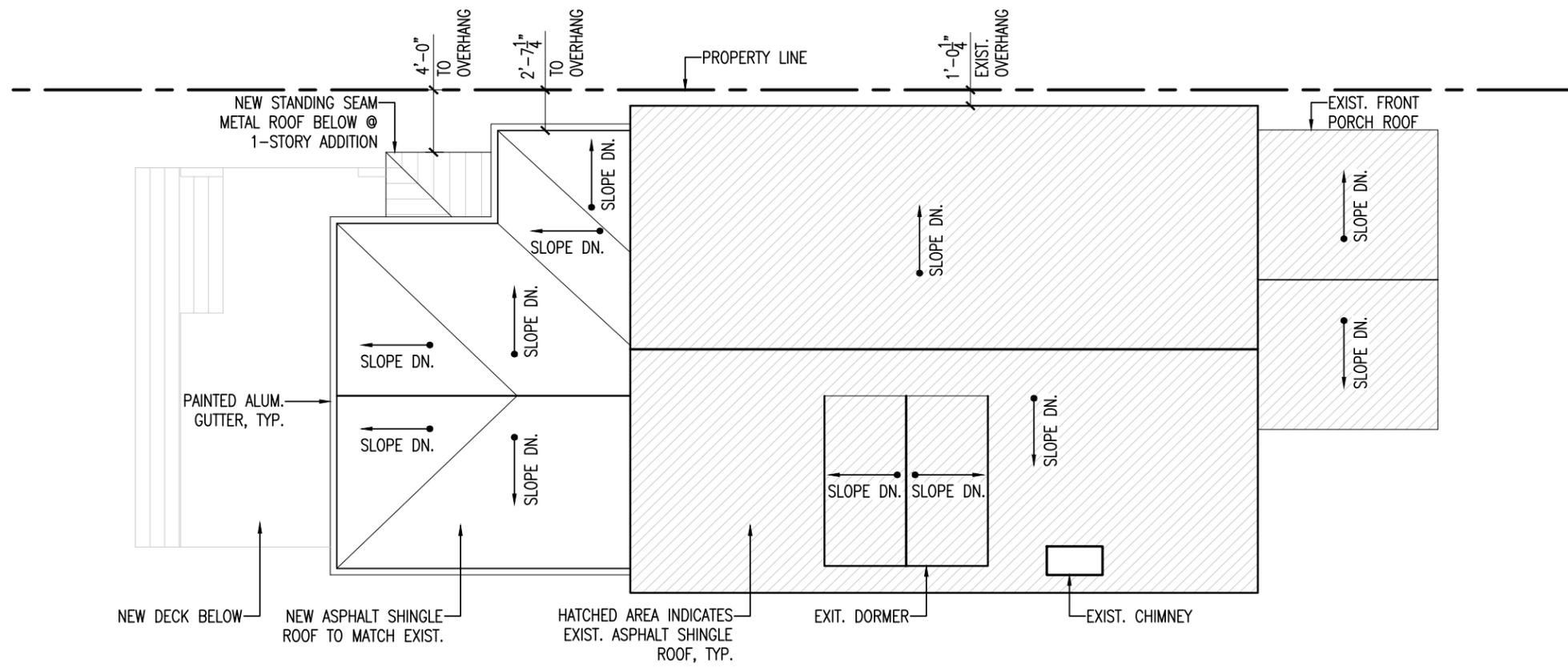
1 Existing Site Plan
 SCALE: 1/16" = 1'-0"
 NORTH

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1 Proposed Roof Plan

SCALE: 1/8" = 1'-0"

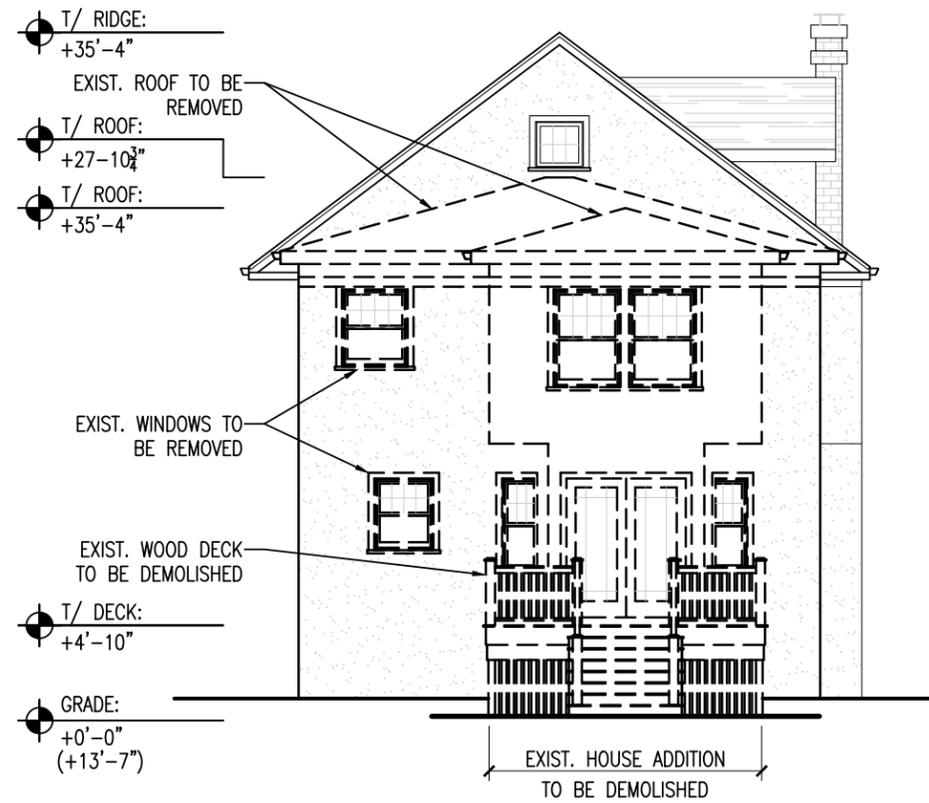


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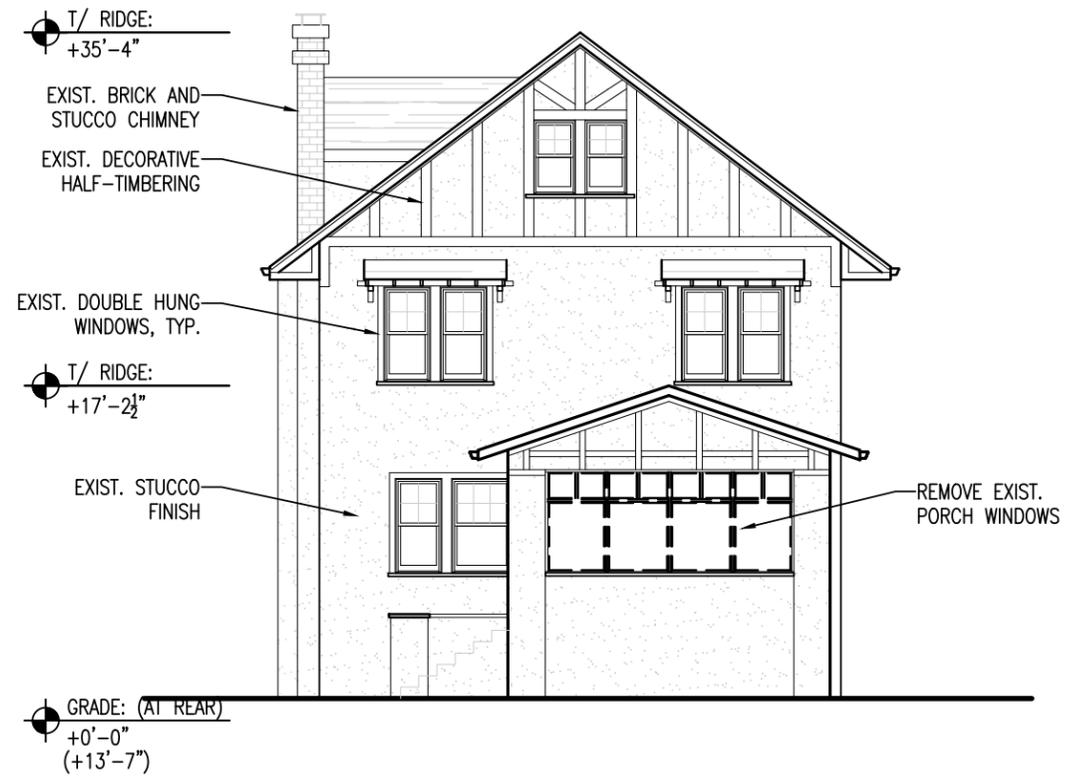
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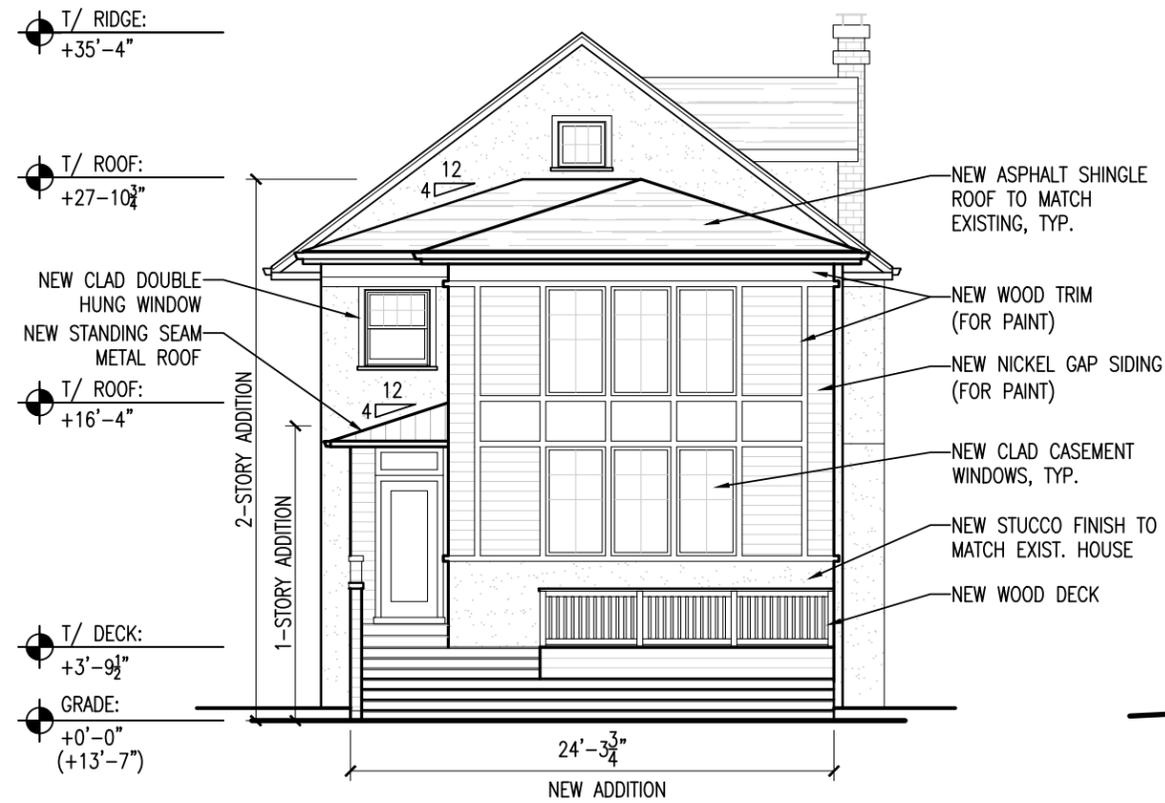
2 Existing West Elevation
SCALE: 1/8" = 1'-0"



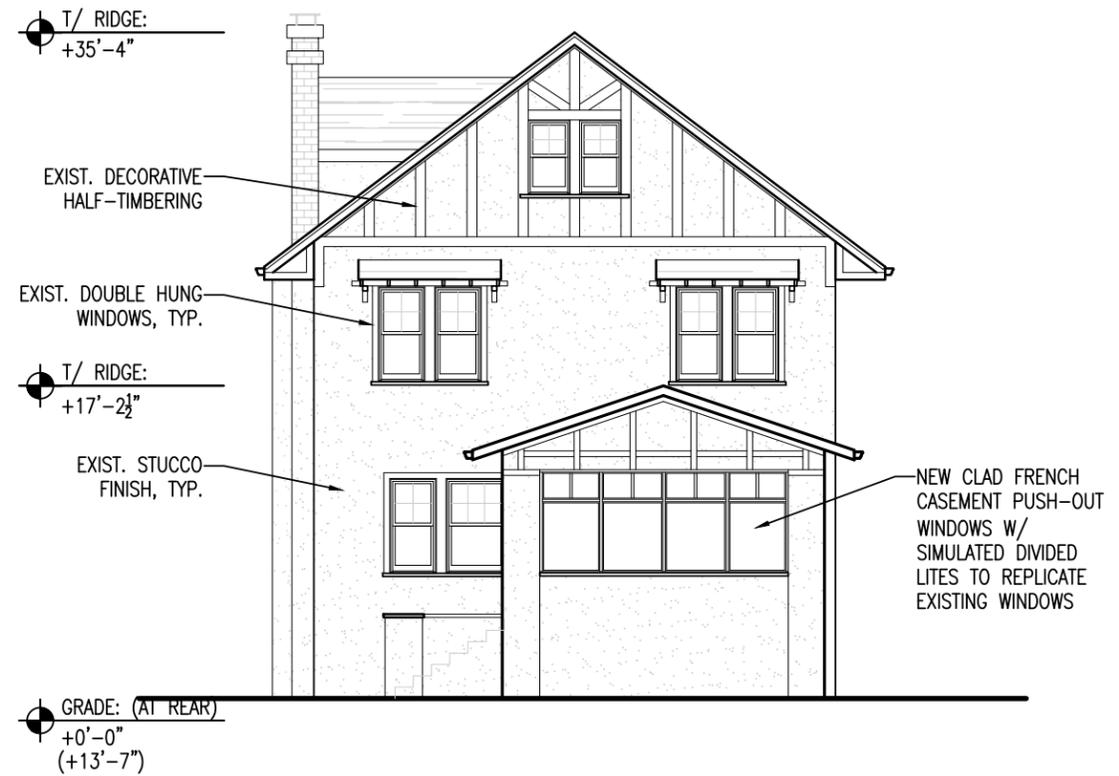
1 Existing East Elevation
SCALE: 1/8" = 1'-0"

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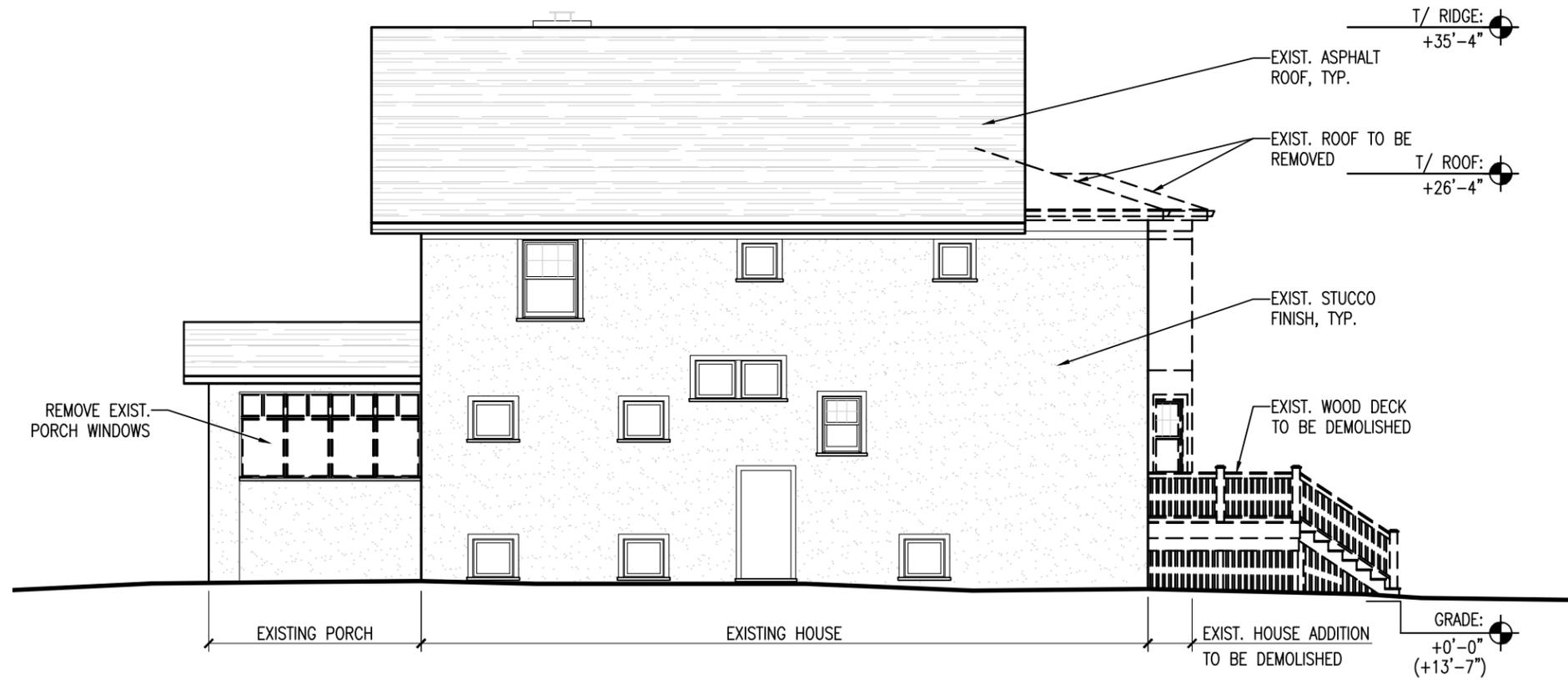
2 Proposed West Elevation
SCALE: 1/8" = 1'-0"



1 Proposed East Elevation
SCALE: 1/8" = 1'-0"

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1 Existing North Elevation
 SCALE: 1/8" = 1'-0"

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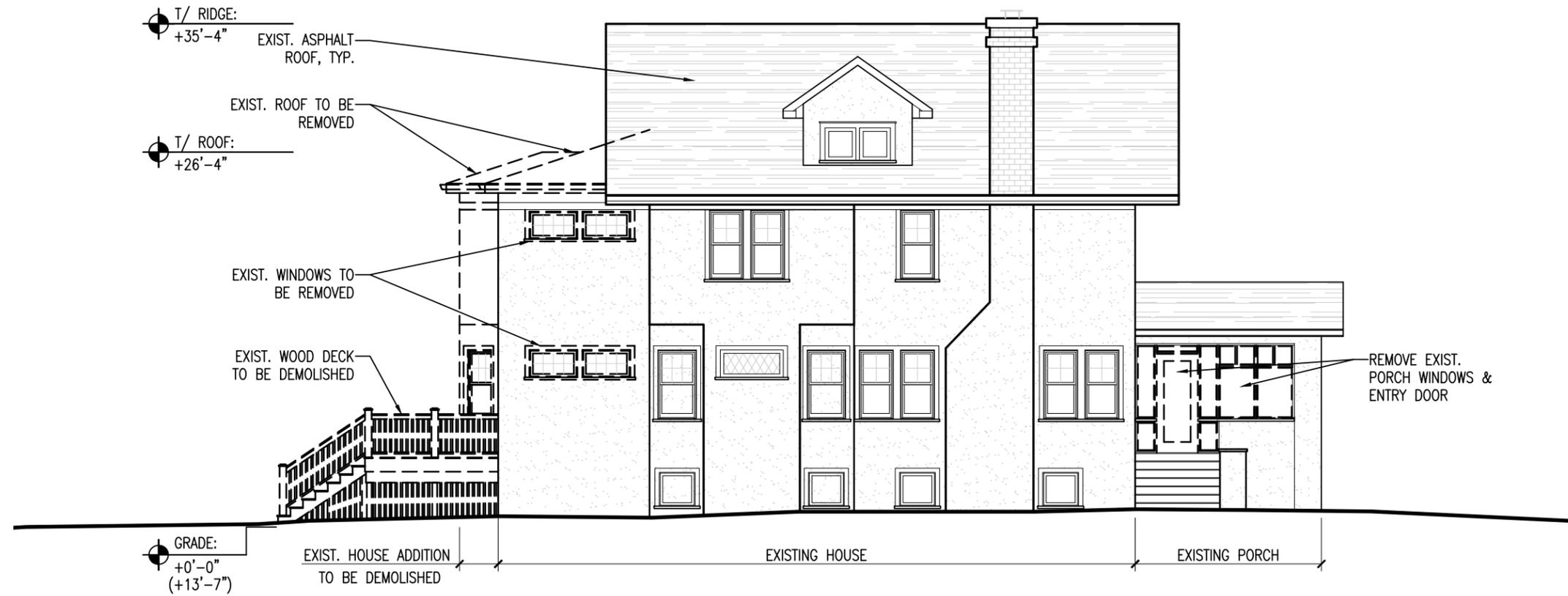
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1 Proposed North Elevation
 SCALE: 1/8" = 1'-0"

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1 Existing South Elevation
 SCALE: 1/8" = 1'-0"

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1 Proposed South Elevation
 SCALE: 1/8" = 1'-0"

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1 Proposed Conditions - 3D Model
SCALE: N.T.S.

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1 Proposed Conditions - 3D Model
SCALE: N.T.S.

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1 Proposed Conditions - 3D Model
SCALE: N.T.S.

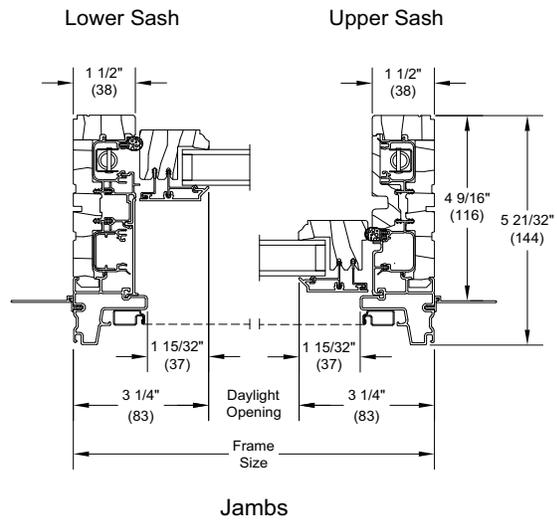
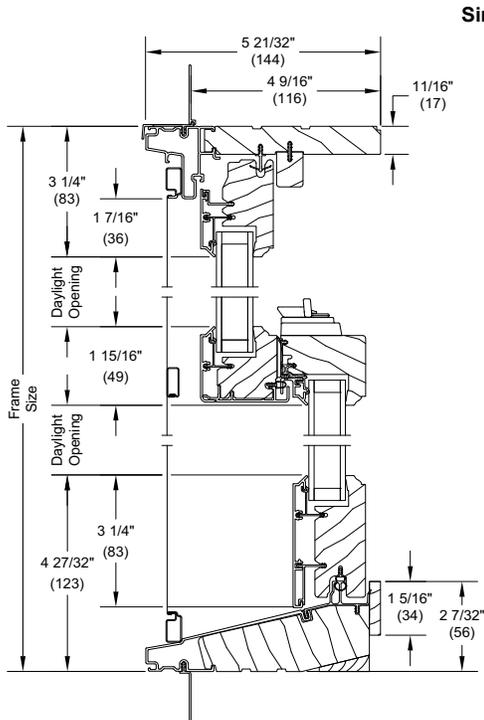
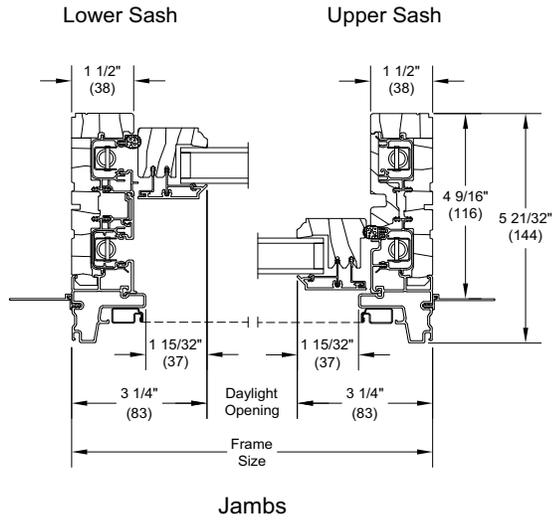
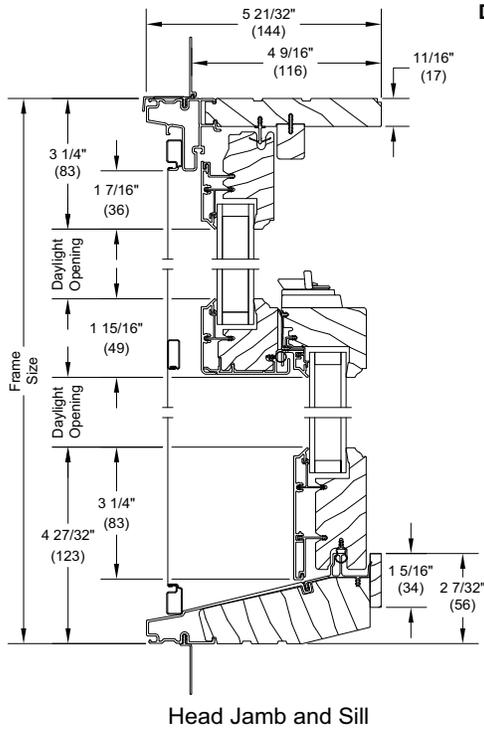
05/24/2022 **HOLMES RESIDENCE**
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Section Details: Operating

Scale: 3" = 1' 0"

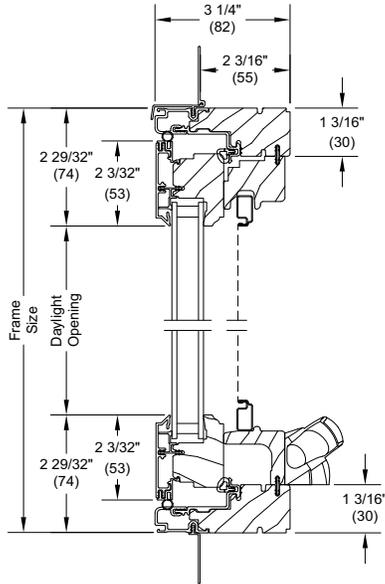
**NEW DOUBLE HUNG
WINDOWS AT ADDITION**



Section Details: Narrow Frame Casement / Awning Operating / Picture - Casement Frame

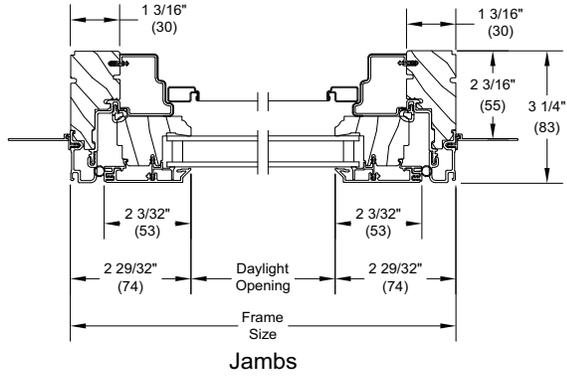
Scale: 3" = 1' 0"

NEW CASEMENT WINDOWS AT ADDITION

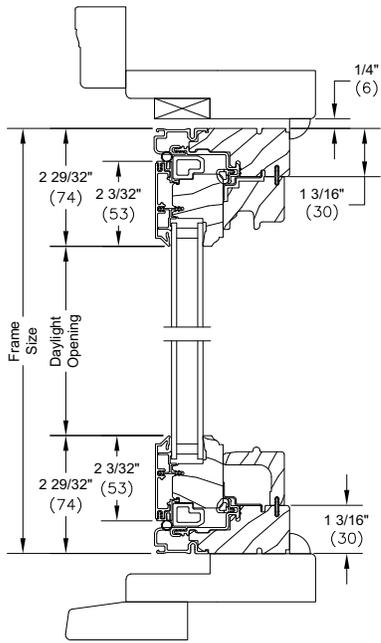


Head Jamb and Sill

UCANF Operator - Casement Frame

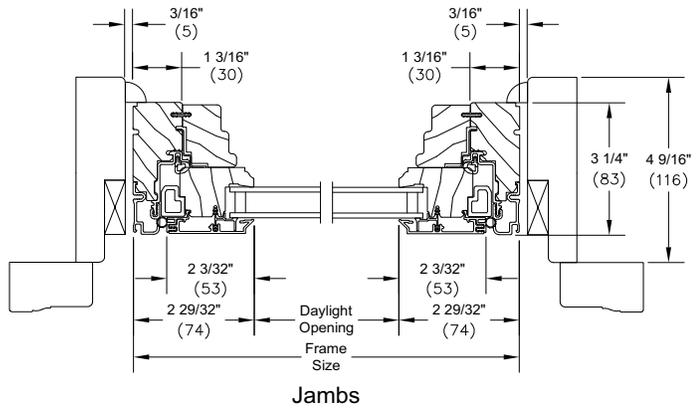


Jamb



Head Jamb and Sill

UCANF Picture - Casement Frame



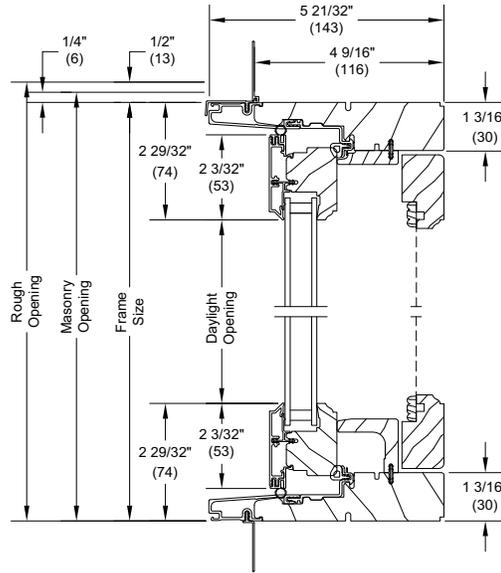
Jamb

NOTE: Square sticking is the default for the narrow product.

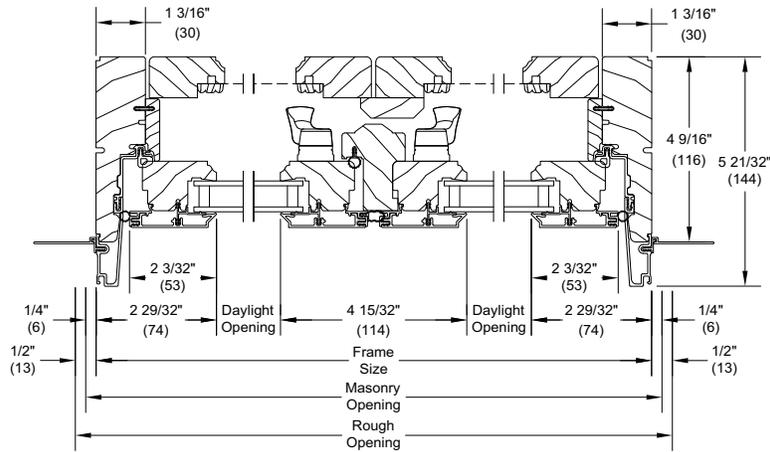
Section Details: 3/4" IG Operator - Full Frame

Scale: 3" = 1' 0"

FRONT PORCH REPLACEMENT WINDOWS



Head Jamb and Sill



Jamb





PLAT OF TOPOGRAPHY

OF

LOT 23 IN BLOCK 4 IN KEDZIE AND KEENEY'S ADDITION TO EVANSTON SAID ADDITION BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 19, TOWNSHIP #1 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL LAND AREA: 8,176 SQ.FT.

COMMONLY KNOWN AS: 650 FOREST AVENUE, EVANSTON, ILLINOIS 60202



SCALE: 1 INCH = 10 FEET

LEGEND:

- N. = North
- S. = South
- W. = West
- E. = East
- T/F = Top of Foundation
- B/S = Bottom of Siding
- F.F.L. = Finish Floor
- G/S = Garage Slab
- TC = Top of Curb
- G = Gutter
- TW = Top of Wall
- T/P = Top of Pipe
- Conc. = Concrete
- Tree
- Wood Fence
- Chain Link Fence
- Iron Fence
- Fire Hydrant
- Water Valve
- B-Box
- Water Manhole
- Storm Manhole
- Catch Basin
- Inlet
- Sanitary/Combined Manhole
- Wood Power Pole
- Down Spout
- Combined Sewer
- Storm Sewer
- Sanitary Sewer
- Water Main
- Overhead Wires

CATCH BASIN
RIM=11.14
INV(W)=8.69 8"
BOTTOM=8.54

CATCH BASIN
RIM=11.29
INV(W)=8.79 8"
INV(E)=8.79 8"
TYPE=CLOSED
TYPE=9.39 6"

NOTE: Location of underground utilities and sewer size where not substantiated by physical evidence are taken from records normally considered reliable. No responsibility for their accuracy is assumed by the surveyor.

Locations of existing utility services are based on visual observations. Contractor must confirm location and condition of all utility services to remain.

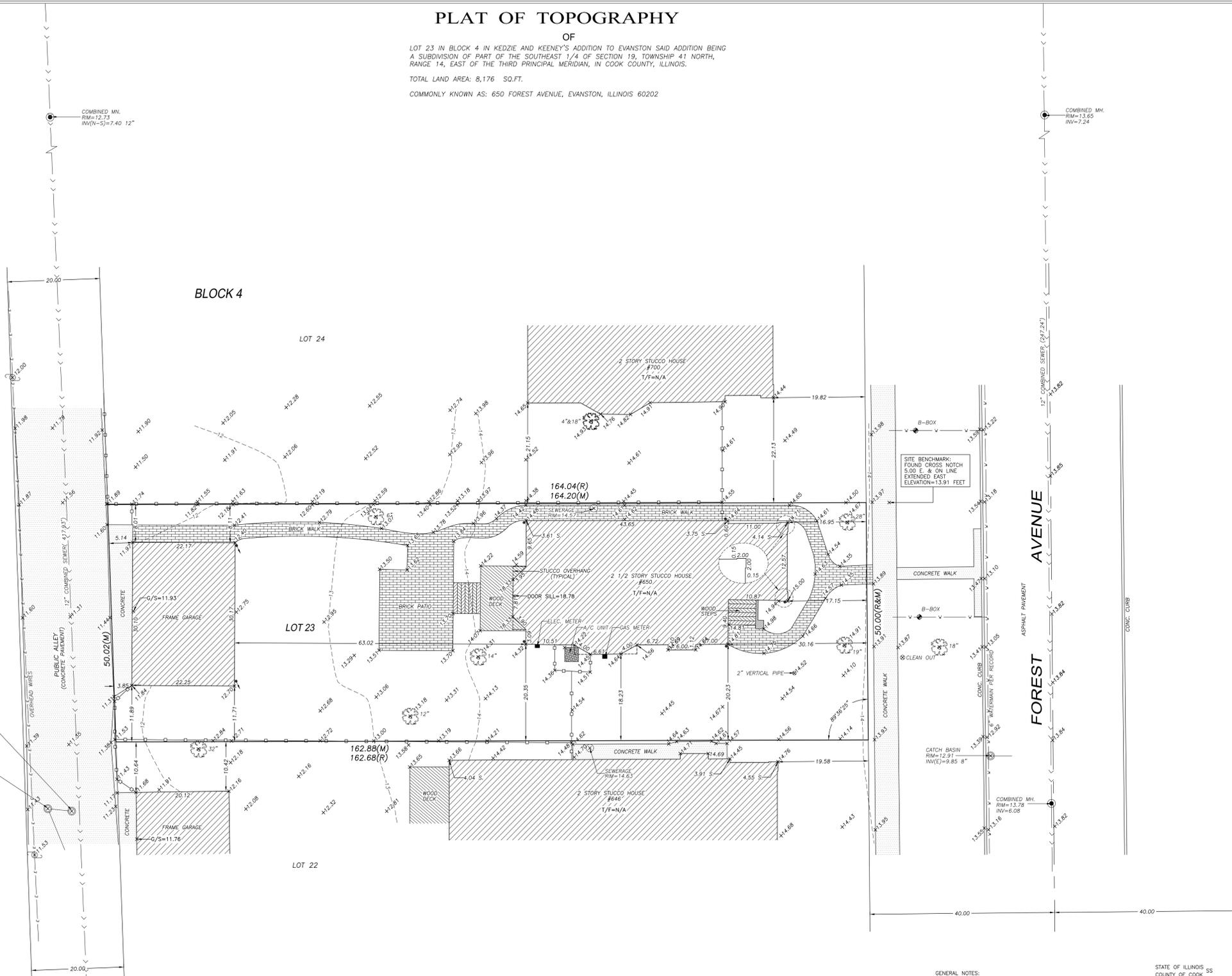
FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E.
@1-800-892-0123 BEFORE DIGGING

ORDER NO.: 22-092

ORDERED BY: SHUMAKER DESIGN & BUILD ASSOCIATES, LLC

PREPARED BY:

GEODETIC SURVEY, LTD.
PROFESSIONAL DESIGN FIRM NO. 184-004334
CONSTRUCTION AND LAND SURVEYORS
200 WAUKEGAN ROAD, GLENVIEW, IL 60025
TEL. (847) 904-7890; FAX (847) 904-7891
Info@gsurvey.net www.gslandsurveying.com



REFERENCE BENCHMARK:
CITY OF EVANSTON BENCHMARK #47 - ROD WITH CAP
LOCATION: NE QUADRANT KEDZIE STREET & SHERIDAN ROAD
ELEVATION=9.79 FEET CITY DATUM
VERTICAL DATUM=579.70 FEET ABOVE MEAN TIDE AT NEW YORK 1959 ADJ.

GENERAL NOTES:

- FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THE PLAT OR SURVEY REFER TO YOUR ABSTRACT, DEED, TITLE POLICY, CONTRACT AND LOCAL BUILDING LINE/SETBACK REGULATIONS.
- COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DISCREPANCIES, WHICH YOU MAY HAVE FOUND, TO THIS OFFICE, BEFORE DAMAGE IS DONE.
- DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE NOT TO BE ASSUMED FROM SCALING.
- BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN AND ARE USED TO DETERMINE ANGLES ONLY.
- THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND FOR ACCURACY SHOULD BE COMPARED WITH DEED AND/OR TITLE INSURANCE POLICY.

STATE OF ILLINOIS
COUNTY OF COOK

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

FIELD WORK COMPLETED: APRIL 4, 2022
DATED THIS 6th DAY OF APRIL, 2022.

BY: *Thomas R. Smith*
PROFESSIONAL ILLINOIS LAND SURVEYOR NO.3000
LICENSE EXPIRES 11/30/2022





**Zoning Analysis
Summary**

Case Number:

Case Status/Determination:

22ZONA-0089 – 650 Forest Avenue R1 Single-Family Residential District Lakeshore Historic District Contributing Structure	Compliant
--	-----------

Proposal:

Remove existing two-story addition and raised deck at rear volume of the residence. Construct new one and two-story addition and raised deck at rear volume of residence. [Lot size: 8154 sq.ft.]

Zoning Section:

Comments:

6-8-2-5	The existing lot size is 8,154 square feet where 7,200 square feet is the minimum required.
6-8-2-7	The proposed building lot coverage is 28% where 30% is the maximum permitted.
6-8-2-10	The proposed impervious surface ratio is 43% where 45% is the maximum permitted.
6-8-2-9	The proposed maximum height of the principle structure is unchanged. The proposed addition at the rear volume is 2 stories and 27.83' H where the lesser of 35' or 2.5 stories permitted.
6-8-2-8 (A) 3.	The proposed north elevation of the proposed addition is 5.083' from the north lot line where 5' is the minimum required side-yard. The proposed south setback is greater than 5'.
6-8-2-8 (A) 4.	The proposed rear-yard setback is 79' where 30' is the minimum required.
6-4-6-2 (C)	The proposed separation between principle structure and accessory structure is greater than 10' where 10' is the minimum required.

Additional Comments:

- Review and issuance of a Certificate Of Appropriateness by the Historic Preservation Commission is required.

BEGINNING STREET #
 END STREET #
 STREET # SUFFIX
 STREET NAME
 SUFFIX
 PIN

LOCAL

WITHIN LOCAL DISTRICT?
 LOCAL DISTRICT CONTRIB/NON-CONTRIB?
 LOCAL LANDMARK? YEAR
 LOCAL LANDMARK ELIGIBLE?
 CRITERIA:



PHOTO ID

NATIONAL REGISTER

WITHIN NR DISTRICT?
 NR DISTRICT CONTRIB/NON-CONTRIB?
 NR LANDMARK? YEAR
 NR ELIGIBLE? CRITERIA

PREVIOUSLY SURVEYED?

GENERAL INFORMATION

CATEGORY CURRENT USE
 CONDITION HISTORIC USE
 INTEGRITY SECONDARY STRUCTURE
 NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Craftsman"/>	ROOF TYPE	<input type="text" value="Front gable"/>
DETAILS	<input type="text" value="-"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1913"/>	FOUNDATION	<input type="text" value="Parged"/>
OTHER YEAR	<input type="text" value="-"/>	PORCH	<input type="text" value="Front"/>
DATESOURCE	<input type="text" value="Building permit"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Stucco"/>	WINDOW MATERIAL 2	<input type="text" value="Aluminum/vinyl"/>
WALL MATERIAL 2 (current)	<input type="text" value="-"/>	WINDOW TYPE	<input type="text" value="Double hung/fixe"/>
PLAN	<input type="text" value="Rectangular"/>	WINDOW CONFIGURATION	<input type="text" value="4/1; 1-light; 2-light"/>
NO OF STORIES	<input type="text" value="2.5"/>		

SIGNIFICANCE

HISTORIC FEATURES

ADDRESS

650 - FOREST AVENUE

ALTERATIONS

Porch enclosed; some windows on north elevation have been replaced in original openings

HISTORIC INFORMATION

OLD ADDRESS
(city dir.year)

-

ORIGINAL
OWNER

Telfer T E

BUILDING MOVED?

No

ORIGINAL
ARCHITECT

Telfer T E

MOVED FROM

-

ARCHITECT
SOURCE

BP5298

BUILDER

Telfer T E; carp S Danielson

ADDITIONAL PHOTOGRAPHS



PHOTO ID2 \images\11-19-409-029-0000-2.jpg



PHOTO ID3 -

SURVEYOR

Lara Ramsey

SURVEYOR
ORGANIZATION

GRANACKI HISTORIC CONSULTANTS

SURVEY DATE

3/21/2011

Historic Info
Compiler

aoe

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

650 — - FOREST AVENUE

OLD ADDRESS
(city dir.year)

-

DATE OF CONSTRUCTION 1913

MOVING INFORMATION

BUILDING MOVED? No

MOVING PERMIT # - **DATE** -

MOVED FROM -

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # 5298 **DATE** 1913.05.09

BUILDING PERMIT DESCRIPTION 2-story frame stucco residence 25x35 7 rooms

COST \$4500

ORIGINAL OWNER Telfer T E

ORIGINAL OWNER OCCUPIED? No

ORIGINAL ARCHITECT Telfer T E

ARCHITECT SOURC BP5298

BUILDER Telfer T E; carp S Danielson

EXTERIOR ALTERATION PERMITS

-

OTHER PERMIT INFO

-

COA INFO

Remove existing fence and install new 6" high wood fence in interior side, rear yards. (2004)

HISTORIC INFO

-

OTHER SOURCES

ELHD # n/a. Quinlan & Tyson r.e. photo 1969 (EHC).

HISTORIC INFO COMPILER aoe

PRIMARY KEY 11-19-409-029-0000

**701 Forest Avenue – Lakeshore Historic District
Landmark - 22PRES-0066**

Garry Shumaker, architect, submits for a Certificate of Appropriateness to construct a second-story addition, and rear two-story addition, to an existing detached garage.

Applicable Standards: Alteration [1-10]; Construction [1-8; and, 10-15].



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 701 Forest Avenue – 22PRES-0066
Date: June 8, 2022

Public Notice

701 Forest Avenue – Lakeshore Historic District – Landmark - 22PRES-0066

Garry Shumaker, architect, submits for a Certificate of Appropriateness to construct a second-story addition, and rear two-story addition, to an existing detached garage.

Applicable Standards: Alteration [1-10]; Construction [1-8; and, 10-15].

Construction Period:

1872

Style:

Italianate

Architect of Record:

Unknown

Condition:

Excellent

Integrity:

Excellent

Status:

Registered Landmark

Setting:

Located in the southern portion of the Lakeshore Historic District on the east side of Forest Avenue between Kedzie Street to the north and Keeney Street to the south, 701 Forest Avenue is a two-and-one-half story Italianate styled home constructed in 1872. The block is an eclectic mix of earlier Italianate, Stick, and Shingle styled homes as well as various later revival styles and more vernacular Craftsman and Four-Square styles and forms. The block contains five Landmarks including 701 Forest Avenue.

Significance:

The property was registered as a Local Landmark in 1978 and was included in the States 1972 Historic Resource Survey. The home retains excellent architectural integrity and is a lovely example of the Italianate style of architecture. The garage in question was constructed in the 1930s and is listed as a non-contributing secondary structure.

Due to no work proposed on the principle structure, the statement of significance can be referenced in the packet. However, key historical characteristics, some of which are proposed to be mimicked in the proposal, include the signature square corner tower, elaborately detailed cornice with paired brackets, and triangular pediment window hoods.

Alexander Jackson Downing's pattern books popularized the Italianate style, which was loosely modeled after the grand villas of northern Italy. Italianate homes first began to appear in most eastern and Midwestern states in the 1840s but declined in popularity after the financial panic of 1873 and the subsequent depression when home building slowed. Italianate homes in Evanston, including 1322 Lake, are typically constructed in wood clapboard or masonry, two to three stories in height, and L-shaped, asymmetrical or gable-fronted in form. It's most recognizable features include an elaborate roof-line cornice with decorative brackets and tall, narrow double hung windows that are often arched at the top and crowned with a hood mold made of brick or stone.

Proposal:

The applicant proposes partial demolition of the existing four-car garage, and construction of a second-story addition and small two-story addition to the structures east/rear elevation.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.

4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

6. *Rhythm of entrance porches, storefront recesses and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 701 Forest Ave.	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Chris and Cory Pickett	Address: 701 Forest Ave.
City: Evanston	State: IL
Zip: 60202	Phone: 812.322.6893
	Email/Fax: cory101@gmail.com
3) Architect's Name: Garry Shumaker, RA, AIA, NCARB	Address: 705 Washington St.
City: Evanston	State: IL
Zip: 60202	Phone: 847.864.0595
	Email/Fax: garry@shumakerdesignassociates.com
4) Contractor's Name:	Address:
City:	State:
Zip:	Phone:
	Email/Fax:
5) Landmark: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;	
If yes, <input checked="" type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires:	
<input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.	
Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

Partial demolition of an existing detached 4 car garage.

Construction of a small addition to the east and a 2nd story addition above the existing garage.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Rehabilitation	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Air Conditioning Unit	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.												
Existing	Proposed		Existing	Proposed		Existing	Proposed					
<input type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Fences Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____				
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>		Roofing Material Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Fascias, Soffits, Rakeboards, Trim Wood Metal Synthetic Material, Type: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Terraces, Patios, Decks Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: _____			
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>				
<input type="checkbox"/>	<input type="checkbox"/>			Chimney Material Brick Stone Stucco Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Door Material Wood Metal Clad Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Material Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____		
<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>				Gutters/Downspouts Copper Aluminum Galvanized Sheet Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Window Type Double Hung Casement Other: Steel/hopper	<input type="checkbox"/>	<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): <input checked="" type="checkbox"/> Air Conditioning Unit <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>					<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>					Muntins Not existing True divided lights Simulated divided lights	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Window Material Wood Aluminum Steel Other: _____	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>						<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
4) Applicant's Signature: 							Date: 5.24.2022					
Print Name: Garry Shumaker, RA, AIA, NCARB												
Proceed to Section C if you are requesting a zoning or fence variation and/or s special use . Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].												

ZONING ANALYSIS: 701 FOREST AVE. EVANSTON, IL

ZONING: R1 (RESIDENTIAL SINGLE UNIT)	
HISTORIC DISTRICT: Lakeshore	
LANDMARK STATUS: Yes	
LOT AREA: 8,274 SF	
REQUIRED SETBACKS:	
FRONT YARD: (NO CHANGE) REQUIRED=27'-0" EXISTING=39'-5"	
REAR YARD: (NO CHANGE) REQUIRED=30'-0" EXISTING=72'-9"	
SIDE YARD-NORTH: (NO CHANGE) REQUIRED=5'-0" EXISTING=10'-6"	
SIDE YARD-SOUTH (NO CHANGE) REQUIRED=5'-0" EXISTING=6'-10"	
BUILDING LOT COVERAGE:	
PRINCIPAL STRUCTURE: EXISTING: 1378 SF PROPOSED: NO WORK	
DETACHED GARAGE FOOTPRINT: EXISTING: 723 SF PROPOSED: 780 SF	
ROOFED FRONT PORCH (INCLUDING 50% CREDIT): EXISTING: 212 SF PROPOSED: NO WORK	
OTHER ROOFER AREAS: EXISTING: 40 SF PROPOSED: NO WORK	
TOTAL: EXISTING: 2249 SF PROPOSED: 2306 SF 2306 SF = 27.9% < 30% REQUIRED	
IMPERVIOUS SURFACE COVERAGE:	
PATIOS & TERRACES (INCLUDING 20% CREDIT FOR BRICKWORK): EXISTING: 214 X 0.8 =171.2SF PROPOSED: 214 X 0.8 =171.2SF	
DRIVEWAYS: EXISTING: 447 SF PROPOSED: 389 SF	
SIDEWALKS: EXISTING: 159 X 0.8 =127.2 PROPOSED: 159 X 0.8 =127.2	
DECKS: EXISTING: 0.03 X 8264 - 487 = 239.08SF PROPOSED: 0.03 X 8264 - 487 = 239.08SF	
STAIR / LANDINGS: EXISTING: 121SF PROPOSED: 121SF	
OTHER IMPERVIOUS AREAS: EXISTING: 567 X 0.8 =453.6 PROPOSED: 567 X 0.8 =453.6	
TOTAL (INCLUDING BUILDING LOT COVERAGE): EXISTING: 3699.08 SF PROPOSED: 3698.08 SF 3698 SF = 44.75% > 45% REQUIRED	



4 EXIST. HOUSE FOR REF. - NO WORK
SCALE: N/A



3 EXIST. GARAGE - SOUTHWEST
SCALE: N/A



2 EXIST. GARAGE - NORTHEAST
SCALE: N/A

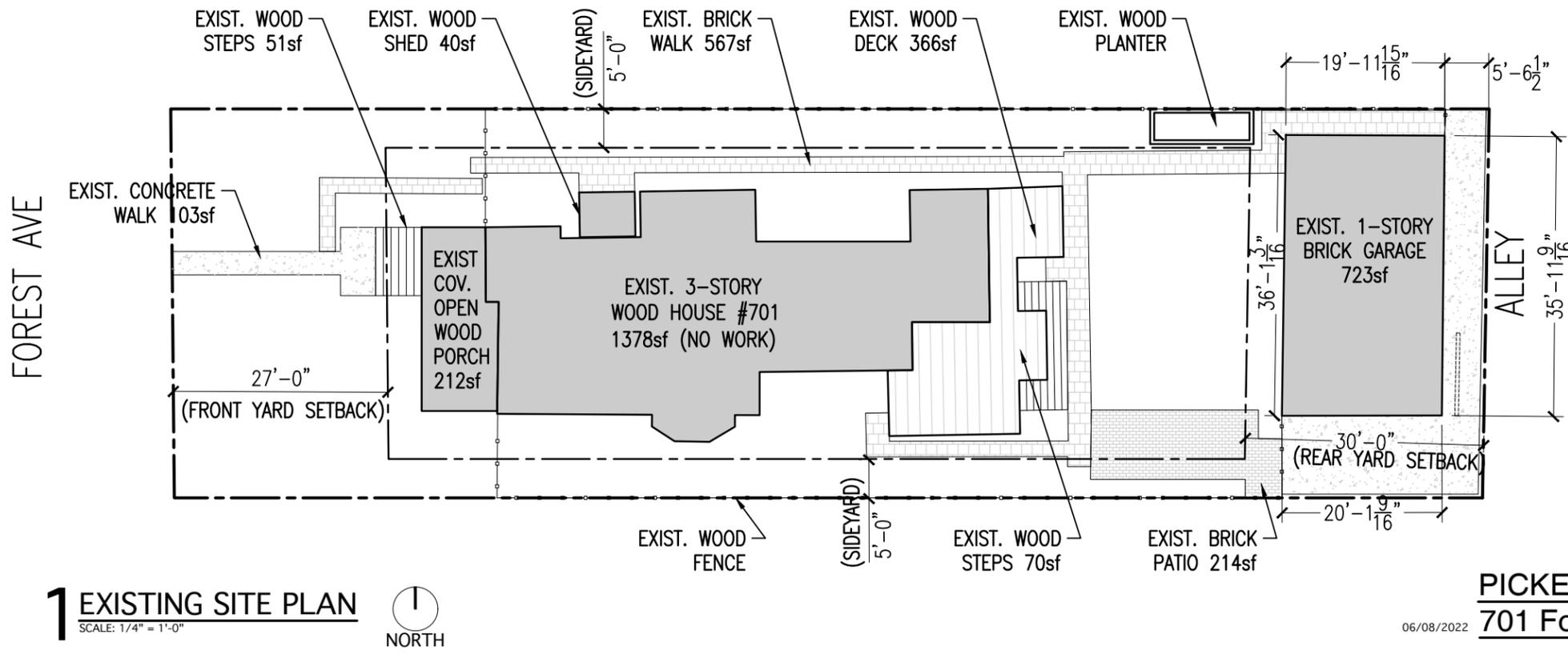
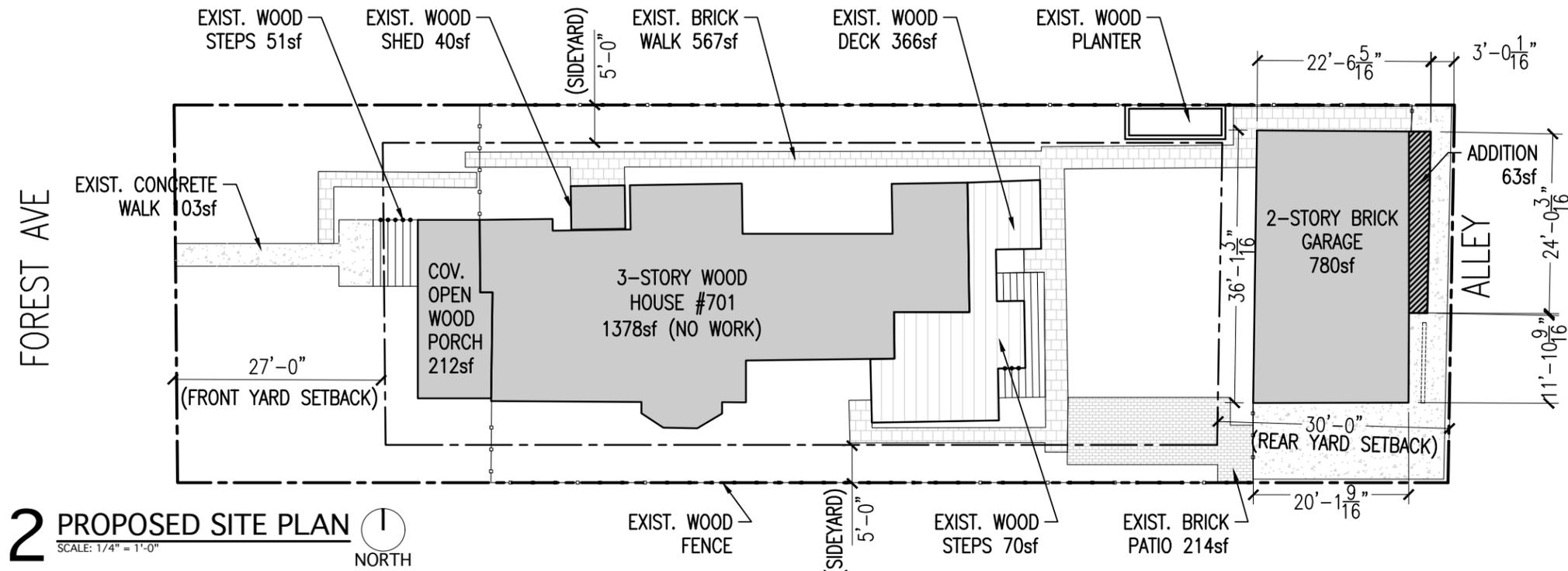


1 EXIST. GARAGE - SOUTHEAST
SCALE: N/A

PICKETT RESIDENCE
701 Forest Ave.

06/08/2022

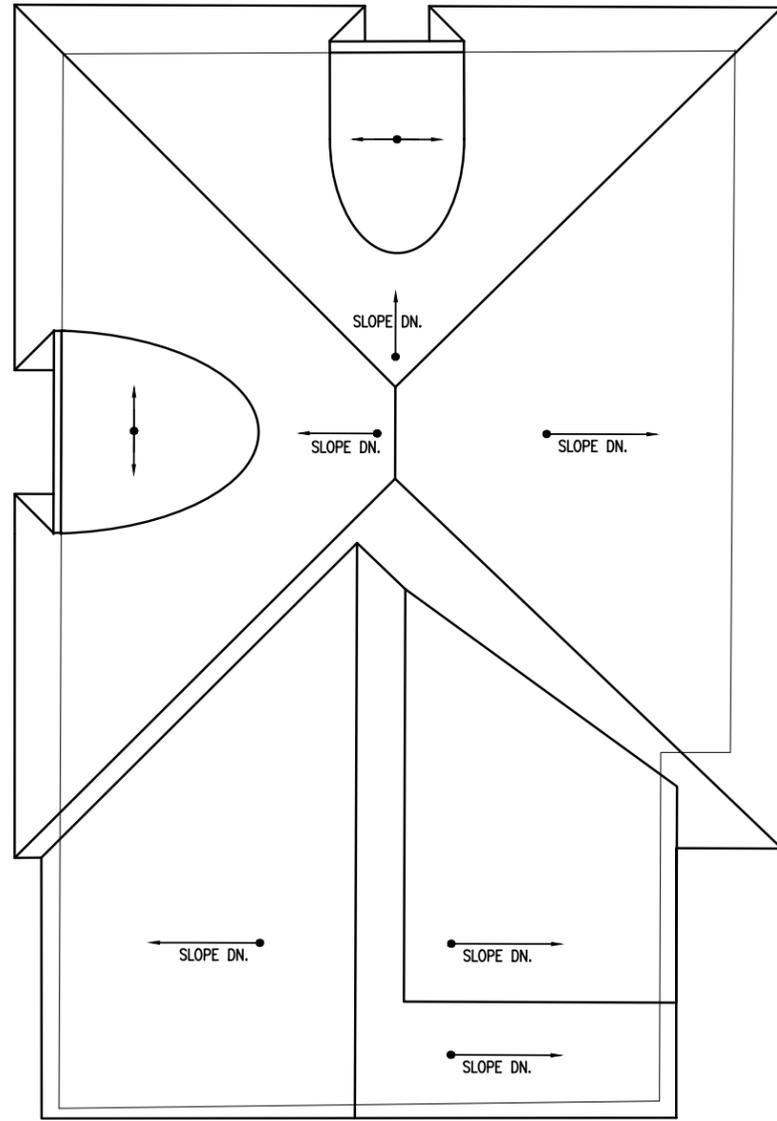
**SHUMAKER
DESIGN +
BUILD
ASSOCIATES**
705 WASHINGTON ST.
EVANSTON IL 60202
847.864.0595
SHUMAKERDESIGNASSOCIATES.COM



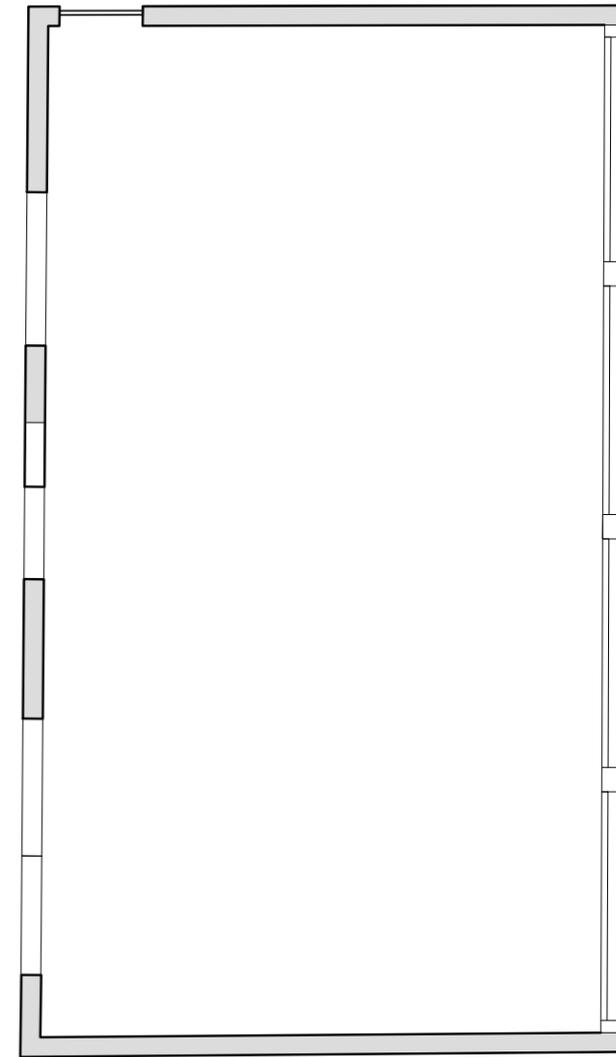
PICKETT RESIDENCE
701 Forest Ave.

06/08/2022

**SHUMAKER
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2 PROPOSED GARAGE - ROOF PLAN
 SCALE: 1/8" = 1'-0"

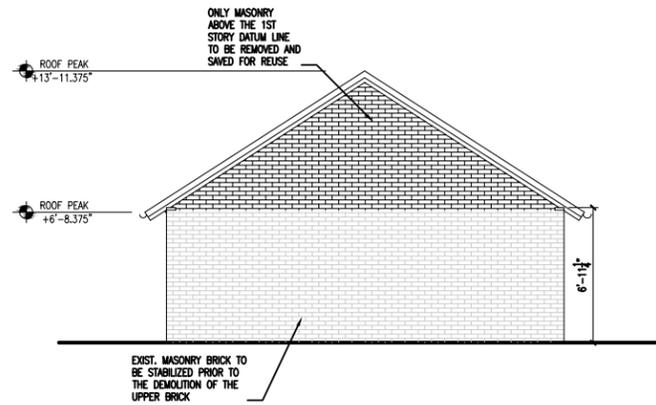


1 EXISTING GARAGE - PLAN
 SCALE: 1/8" = 1'-0"

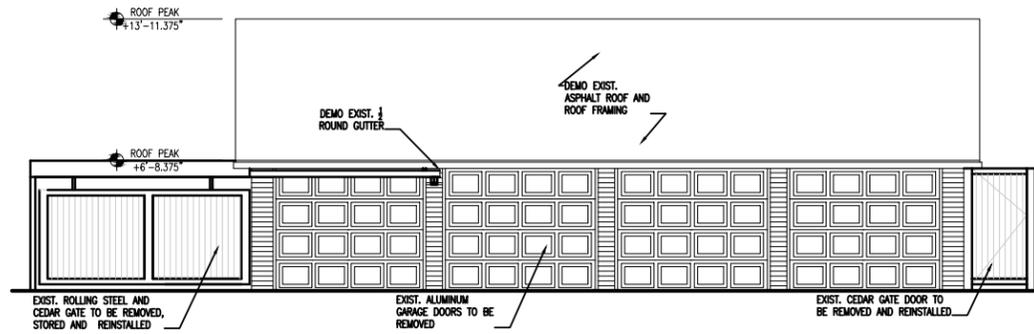
PICKETT RESIDENCE
 701 Forest Ave.

06/08/2022

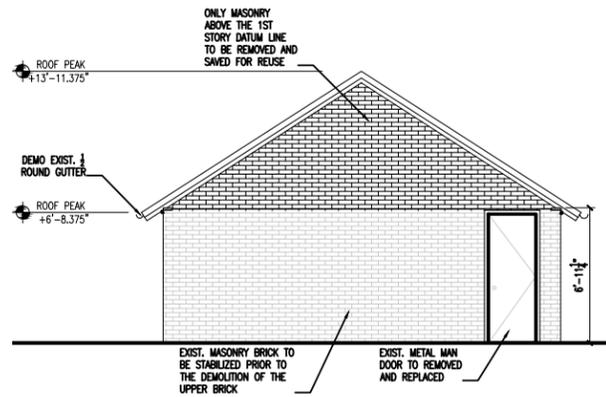
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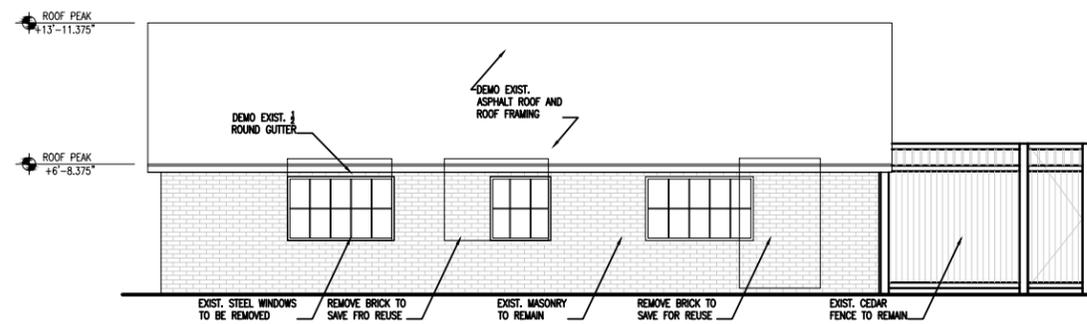
4 EXISTING GARAGE - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EXISTING GARAGE - WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EXISTING GARAGE - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



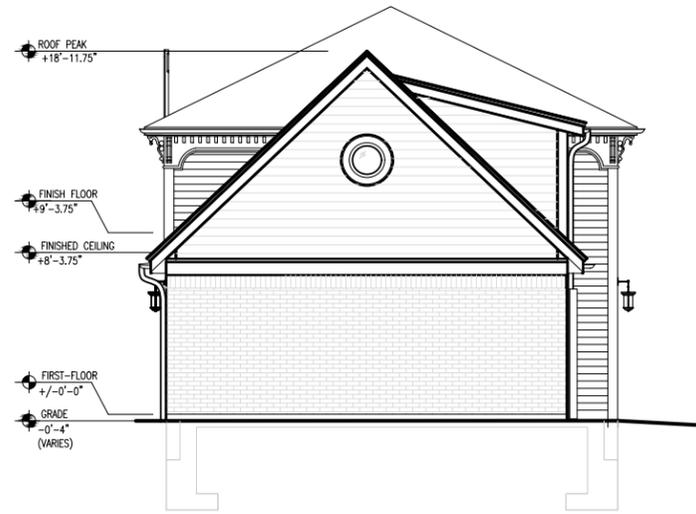
1 EXISTING GARAGE - EAST ELEVATION
SCALE: 1/8" = 1'-0"

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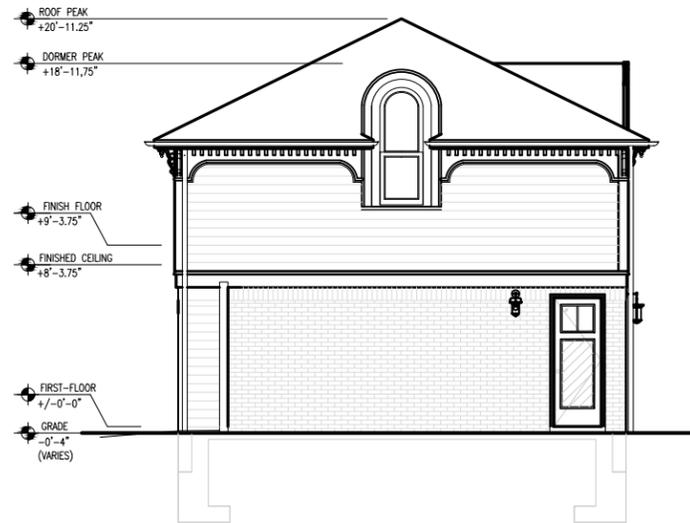
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4 PROPOSED GARAGE - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PROPOSED GARAGE - WEST ELEVATION
SCALE: 1/8" = 1'-0"



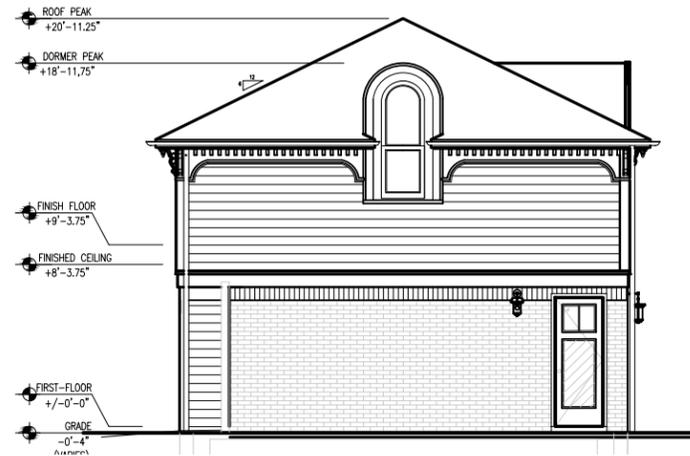
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SCALE: 1/8" = 1'-0"



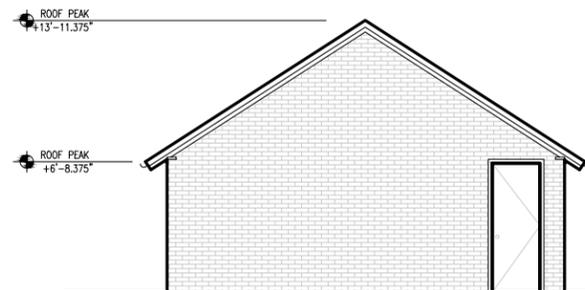
1 PROPOSED GARAGE - EAST ELEVATION
SCALE: 1/8" = 1'-0"

06/08/2022 **PICKETT RESIDENCE**
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2 PROPOSED GARAGE - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



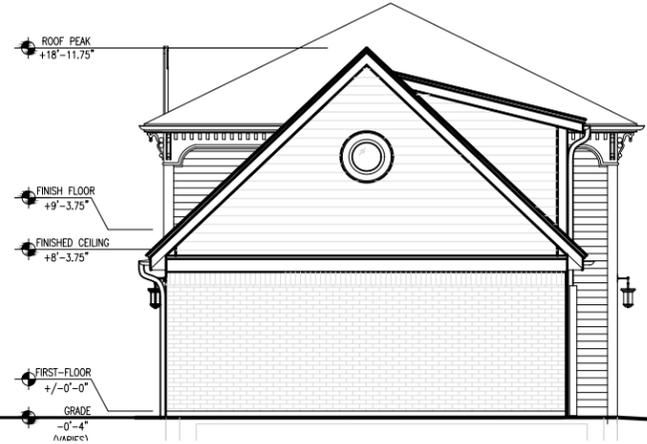
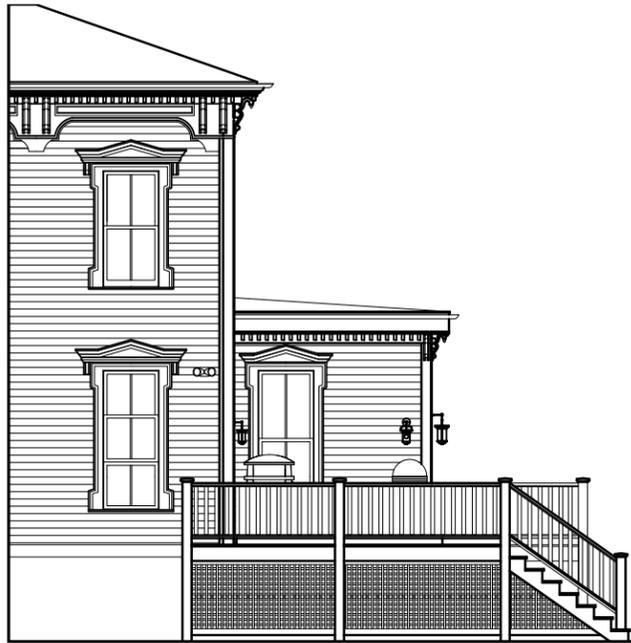
1 EXISTING GARAGE - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PICKETT RESIDENCE
701 Forest Ave.

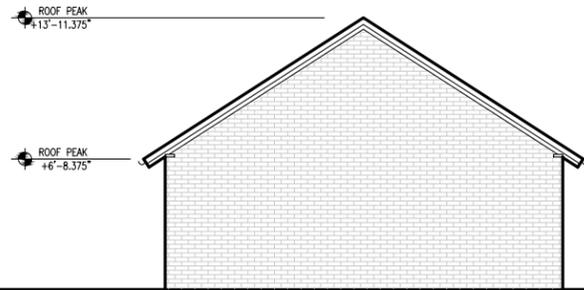
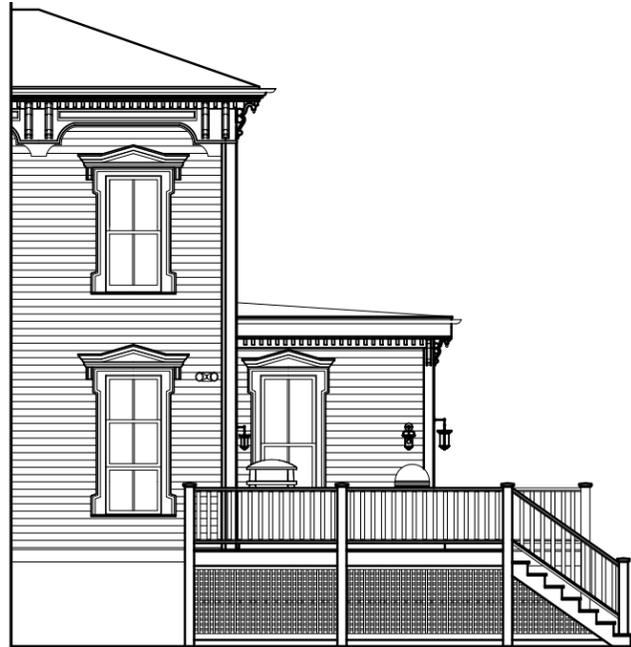
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2 PROPOSED GARAGE - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EXISTING GARAGE - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

PICKETT RESIDENCE
701 Forest Ave.

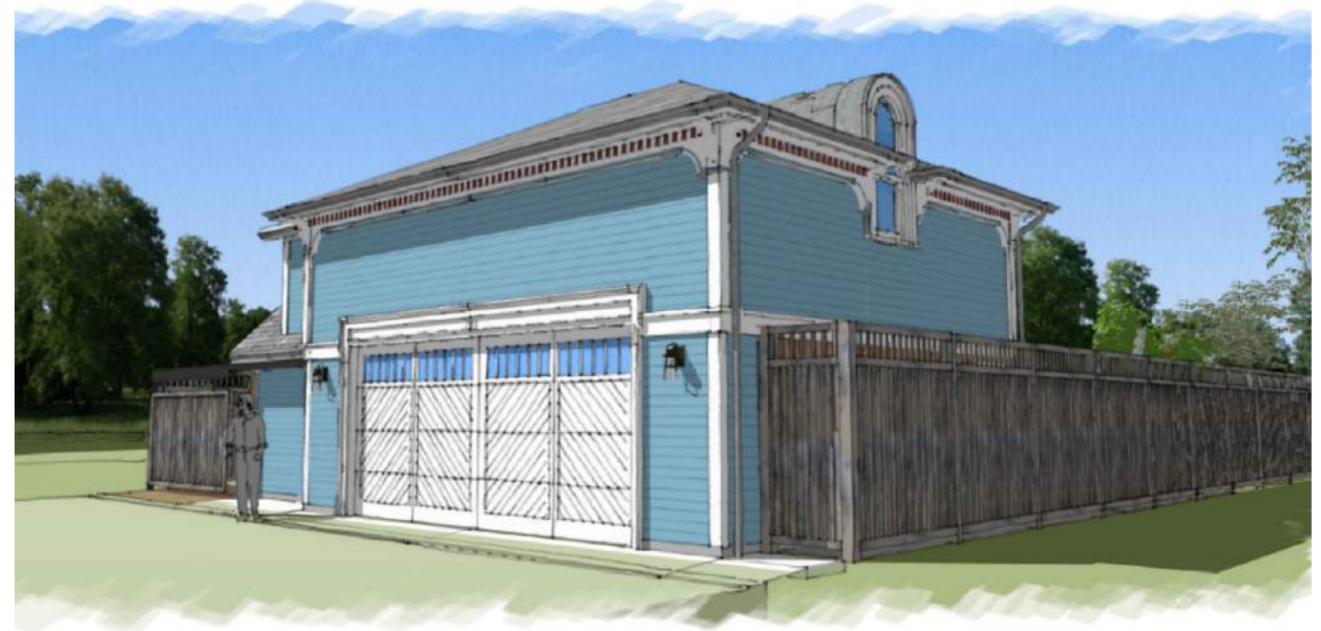
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2 PROPOSED GARAGE - NORTHWEST
SCALE: N/A



1 PROPOSED GARAGE - SOUTHWEST
SCALE: N/A

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2 PROPOSED GARAGE - WEST
SCALE: N/A

1 PROPOSED GARAGE - EAST
SCALE: N/A

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2 PROPOSED GARAGE - SOUTHEAST
SCALE: N/A



1 PROPOSED GARAGE - NORTHEAST
SCALE: N/A

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2 PROPOSED GARAGE - SOUTHEAST
SCALE: N/A



1 PROPOSED GARAGE - NORTHEAST
SCALE: N/A

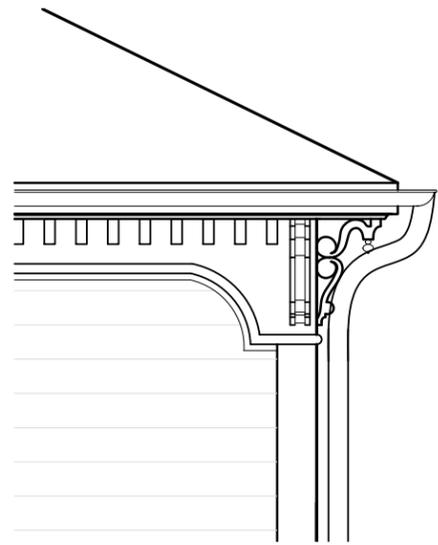
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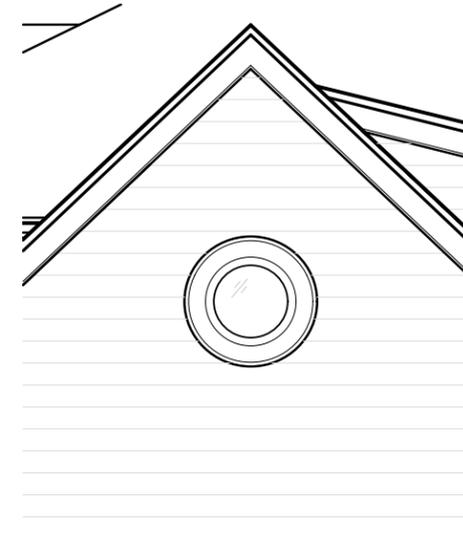
EXISTING HOUSE CORNER CORBELS & DENTAL MOLDING - THROUGHOUT



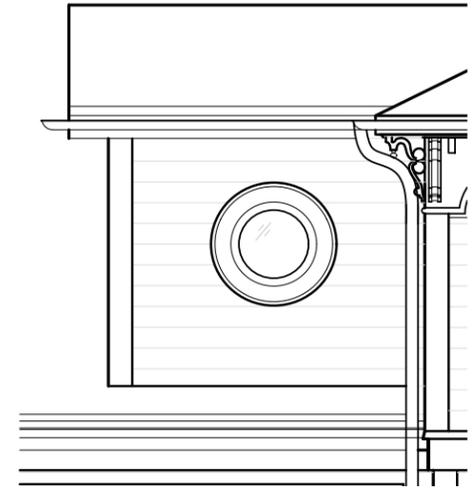
PROPOSED CORNER CORBEL DENTAL MOLDING - THOUGHOUT



EXIST ROUND WINDOW- SOUTH FACADE



PROPOSED ROUND WINDOW- NORTH FACADE



PROPOSED ROUND WINDOW- WEST FACADE

3 FASCIA - CORBELS/ DENTAL MOLDING DETAILS

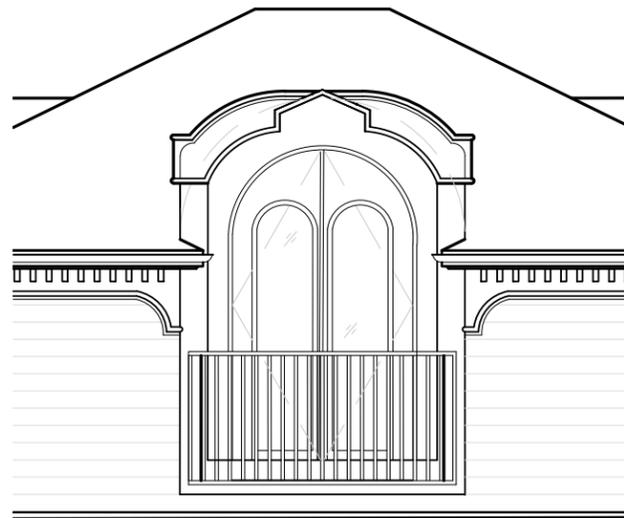
SCALE: N/A

2 ROUND WINDOW DETAILS

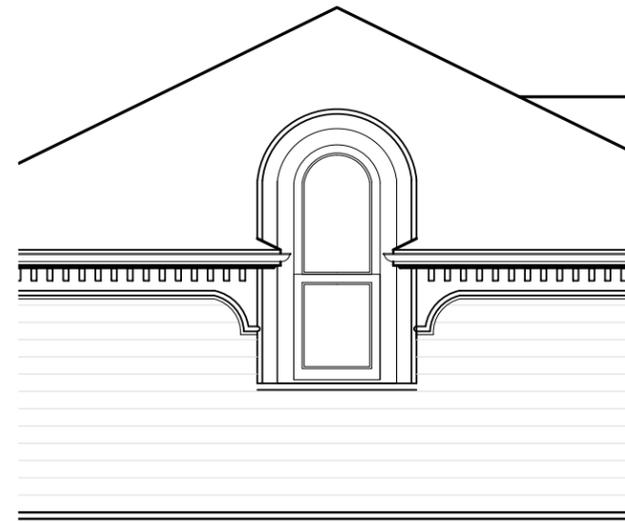
SCALE: N/A



EXISTING ARCH WINDOWS - EAST FACADE



PROPOSED ARCH TOP FRENCH DOOR - EAST FACADE



PROPOSED ARCH TOP WINDOW DORMER - SOUTH FACADE

1 ARCH TOP WINDOW DETAILS

SCALE: N/A

PICKETT RESIDENCE
701 Forest Ave.

06/08/2022

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**Zoning Analysis
Summary**

Case Number:

Case Status/Determination:

22ZONA-0090 – 701 Forest Avenue R1 Single-Family Residential District Lakeshore Historic District Landmark	Compliant
--	-----------

Proposal:

Second story and rear two-story additions to existing detached garage in rear-yard.

Zoning Section:

Comments:

6-8-2-5	The existing lot size is 8,154 square feet where 7,200 square feet is the minimum required.
6-8-2-7	The proposed building lot coverage is 27.5% where 30% is the maximum permitted.
6-8-2-10	The proposed impervious surface ratio is 44% where 45% is the maximum permitted.
6-4-6-4	The proposed maximum height of the detached accessory structure (garage) is 22' where 28' is the maximum permitted
6-8-2-8 (C) 4.	The proposed second story addition and addition to the east elevation are 3' or greater from all rear-yard lot lines for a minimum 3' yard is required.
6-4-6-2 (C)	The proposed separation between principle structure and accessory structure is greater than 10' where 10' is the minimum required. This condition is unchanged from existing.

Additional Comments:

- Review and issuance of a Certificate of Appropriateness by the Historic Preservation Commission is required.

STATEMENT OF SIGNIFICANCE



This conspicuous monumental Italianate frame structure features a three-story hip-roofed tower rising at the northeast corner above a hip-roofed block with stubby projections toward the back. A double-doored entrance is located at the base of the tower. In the west and north faces of the second story is a pair of double hung windows, and in the third is a triplet of narrower, arch-topped windows. These project into the high cornice zone with an elaborate, whimsical pediment. The projecting horizontal cornice is supported at its corners by paired brackets; the same cornice and bracket treatment appears on the top of the block below. There, crossing the entire front, is a shed-roofed porch with a northern entrance and which is supported by four thin, turned posts carrying a haunched lintel. Completing the front face is a pair of large, double hung windows. These are repeated above with the addition of a pair of cornice brackets between them. All the flat-topped double hung windows (more appear in the wings) have triangular pediments with flattened ends supported by small corbels and with surrounds that have shoulders at the top and bottom. The building's corners have vertical board edging for the weatherboard siding. The building has excellent integrity.

EVANSTON LANDMARK

ADDRESS: 701 Forest
 COMMON NAME: Same
 REAL ESTATE INDEX NUMBER:
 DATE OF CONSTRUCTION: c.1872
 ARCHITECT OR BUILDER: anon.
 ORIGINAL SITE MOVED
 SIGNIFICANCE:
 HISTORICAL H1 H2 H3
 ARCHITECTURAL A4 A5 A6
 A7 A8 A9

OTHER COMMENTS:



BEGINNING STREET #
 END STREET #
 STREET # SUFFIX
 STREET NAME
 SUFFIX
 PIN

LOCAL

WITHIN LOCAL DISTRICT?
 LOCAL DISTRICT CONTRIB/NON-CONTRIB?
 LOCAL LANDMARK? YEAR
 LOCAL LANDMARK ELIGIBLE?
 CRITERIA:



PHOTO ID

NATIONAL REGISTER

WITHIN NR DISTRICT?
 NR DISTRICT CONTRIB/NON-CONTRIB?
 NR LANDMARK? YEAR
 NR ELIGIBLE? CRITERIA

PREVIOUSLY SURVEYED?

GENERAL INFORMATION

CATEGORY CURRENT USE
 CONDITION HISTORIC USE
 INTEGRITY SECONDARY STRUCTURE
 NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Italian Villa"/>	ROOF TYPE	<input type="text" value="Hipped"/>
DETAILS	<input type="text" value="-"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1872 (circa)"/>	FOUNDATION	<input type="text" value="Brick"/>
OTHER YEAR	<input type="text" value="-"/>	PORCH	<input type="text" value="Front"/>
DATESOURCE	<input type="text" value="ELHD"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Wood"/>	WINDOW MATERIAL 2	<input type="text" value="Aluminum/vinyl"/>
WALL MATERIAL 2 (current)	<input type="text" value="-"/>	WINDOW TYPE	<input type="text" value="Double hung/others"/>
PLAN	<input type="text" value="Irregular"/>	WINDOW CONFIGURATION	<input type="text" value="2/2 vertical; 1/1; 4-light"/>
NO OF STORIES	<input type="text" value="2 & 3"/>		

SIGNIFICANCE This 1870s Italian Villa, which was designated a local landmark in 1978, retains its signature square corner tower, elaborately detailed cornice with paired brackets, and triangular pediment window hoods.

HISTORIC FEATURES Shallow hipped roof; elaborate wood cornice, with paired brackets, hanging pendants, dentils, and paneled frieze; 3-story square front tower; Italianate wood window surrounds and flanged triangular pediment lintels--SEE CONTINUATION SHEET

ADDRESS

701	-	FOREST	AVENUE
-----	---	--------	--------

ALTERATIONS

Front porch screened; 1-story rear/north screened porch addition; most windows are aluminum or vinyl-clad replacement windows

HISTORIC INFORMATION

OLD ADDRESS
(city dir.year)

565s Forest av, South Evanston; & 653 Forest av (Pullen).

ORIGINAL OWNER

Tillotson, Eliphalet (or Keeney, James F)

BUILDING MOVED?

ORIGINAL ARCHITECT

-

MOVED FROM

ARCHITECT SOURCE

-

BUILDER

-

ADDITIONAL PHOTOGRAPHS



PHOTO ID2 \Images\11-19-410-016-0000-2.jpg



PHOTO ID3 \Images\11-19-410-016-0000-3.jpg

SURVEYOR

Lara Ramsey

SURVEYOR ORGANIZATION

GRANACKI HISTORIC CONSULTANTS

SURVEY DATE

3/21/2011

Historic Info Compiler

aoe

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

701 — - FOREST AVENUE

OLD ADDRESS (city dir.year) 565s Forest av, South Evanston; & 653 Forest av (Pullen).

DATE OF CONSTRUCTION 1872 (circa)

MOVING INFORMATION

BUILDING MOVED?

MOVING PERMIT # **DATE**

MOVED FROM

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # Tract book **DATE** 1872-74

BUILDING PERMIT DESCRIPTION -

COST -

ORIGINAL OWNER Tillotson, Eliphalet (or Keeney, James F)

ORIGINAL OWNER OCCUPIED? -

ORIGINAL ARCHITECT -

ARCHITECT SOURC -

BUILDER -

EXTERIOR ALTERATION PERMITS

[no structural permits]

OTHER PERMIT INFO

BP20173 1935.03.18 1-story brick 4-car garage 36x20x12 \$2000 owner/archt Morris E O'Brien 701 Forest av; mason Jos Carlson

COA INFO

Replace shingles on garage roof and house roof (06-07); replace portions of fence (07)--SEE CONTINUATION SHEET

HISTORIC INFO

For old address, s = number used by Village of South Evanston, which until 1893 numbered from north (Hamilton/Greenleaf) to south (Howard). Before 1886 this part of Forest av was called Wheeler av.--SEE CONTINUATION SHEET

OTHER SOURCES

IHSS #86. Evanston Landmark (1978). ELHD #28. Photo ("c2004") & description from an unidentified (book?) (EHC).

HISTORIC INFO COMPILER aoe

PRIMARY KEY 11-19-410-016-0000

City of EVANSTON
LAKESHORE HISTORIC DISTRICT RE-SURVEY
CONTINUATION SHEET

STREET # 701

STREET FOREST AVENUE

ADDITIONAL PHOTOS OR INFORMATION

Historic Features

Shallow hipped roof; elaborate wood cornice, with paired brackets, hanging pendants, dentils, and paneled frieze; 3-story square front tower; Italianate wood window surrounds and flanged triangular pediment lintels with corner brackets; some 2nd story 2/2 double hung wood windows appear to be historic; three-part round arch window groupings on 3rd story of tower, with round arch windows and incised center keystone; shed roof front porch with round columns and decorative brackets (porch is historic, but may not be original); historic double doors with arched transom; 1-story polygonal window bay on south elevation

COA Information

- Tear off plywood sheathing, wood-shake shingles and asphalt shingles on garage roof and replace in kind with 40-year asphalt shingles (06)
- Tear of asphalt shingles from roof on house and replace with 40-year asphalt shingles. Roof wood shakes on tower will remain (07)
- Replace a portion of the existing wood fence on the south side yard (6"H x 64"L) in kind (07)

Historic Information

For old address, s = number used by Village of South Evanston, which until 1893 numbered from north (Hamilton/Greenleaf) to south (Howard). Before 1886 this part of Forest av was called Wheeler av. In 1872 developer James Keeney sold to Tillotson et al 6 lots on which the two Italianate houses at 639 & 701 Forest were built. William Pullen here since 1886EvD, but deed (s.w.d.) not filed until 1902.

1223 Oak Avenue – Ridge Historic District – 22PRES-0082

Diane Zabich, architect, submits for a Certificate of Appropriateness to construct a single-story entry addition at the north elevation of the residence; demolish the existing detached circa 1980s two-car frame garage; and, construct a new two-car frame garage with ground-floor workshop and storage area.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-8; and, 10-16]



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 1223 Oak Avenue – 22PRES-0082
Date: June 8, 2022

Public Notice

1223 Oak Avenue – Ridge Historic District – 22PRES-0082

Diane Zabich, architect, submits for a Certificate of Appropriateness to construct a single-story entry addition at the north elevation of the residence; demolish the existing detached circa 1980s two-car frame garage; and, construct a new two-car frame garage with ground-floor workshop and storage area.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-8; and, 10-16]

Construction Period:

1892; major alterations in 1915 and 1923

Style:

Stick Style

Architect of Record:

Unknown; Builder is Connor and McCann

Condition:

Good

Integrity:

Good

Status:

Contributing

Setting:

Located in the east central portion of the Ridge Historic District on the east side of Oak Avenue between Dempster Street to the north and Crain Street to the south, 1223 Oak Avenue is a two-and-one-half story Stick styled home constructed in 1892. The home is immediately west of Larimer Park, the former site of the Larimer School designed by Daniel Burnham.

Significance:

The home retains good integrity despite significant, now historic, alterations in the early 20th Century, and was built by Evanston based builders Connor and McCann, a group which built homes for many prominent architects throughout Evanston including the Noyes Street School, today's Noyes Cultural Arts Center, designed by Daniel Burnham in 1892.

John Connor and Daniel McCann began their partnership and firm in 1890 and at the turn of the century they were prolific in Evanston and maintained a large staff of skilled tradesman and laborers. John Connors brother James was a highly skilled carpenter who also worked for the firm before opening one of Evanstons first Hardware Stores, still extant at 2002 Maple Avenue (although significantly altered).. The Connors and McCanns were both early prominent families in Evanston who contributed greatly to its early success and built fabric. They are buried in Cavalry Cemetery.

The garage was constructed in the 1980s, and is a non-contributing accessory structure.

The Stick Style is a transitional period between the Gothic Revival and Queen Anne. The Stick Style stressed the wall surface itself as a decorative element rather than a simple plane surface. The style thus incorporated decorative detailing applied around the windows, doors, and gables, and patterned wall treatments. Similar to the Italianate and Gothic Revival styles before it, the Stick style was also popularized through pattern books, many of which were published in the mid 1860s through the 1870s. The style was not popularized in Evanston until the 1880s, and was far less widespread than its close relation the Queen Anne style.

Historic characteristics of the style often include gabled roofs, decorative trusses and ornamental elements at the gable apex. The walls are typically clad in wood shingles and clapboard siding is often interrupted by patterns of horizontal, vertical, or diagonal boards.

Proposal:

The applicant proposes a small single-story entry addition to the structures north elevation, as well as demolition of the existing non-contributing detached garage and construction of a new one-and-one-half story detached garage.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Demolition

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.

2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

6. *Rhythm of entrance porches, storefront recesses and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

16. *New construction.* In considering new construction such as a new free standing structure, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

Application for Preservation Review of Certificate of Appropriateness (COA)



Binding Review of Certificate of Appropriateness (COA) & Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 1223 OAK AVENUE	FOR STAFF USE ONLY Application Number:
2) Owner's Name: KATHERINE + DAVID EMRICH	Address: 1223 OAK AVENUE
City: LEVANSTON State: IL Zip: 60202	Phone: 773 597 5538 Email/Fax: EMRICH.DAVID@GMAIL.COM
3) Architect's Name: DIANE ZABICH	Address: 1617 W KIRK STREET
City: LEVANSTON State: IL Zip: 60202	Phone: 847 420 5576 Email/Fax: DIANE@ZABICH ARCHITECTURE.COM
4) Contractor's Name: JOEL PRIESE	Address: 308 SHERMAN AVENUE
City: LEVANSTON State: IL Zip: 60202	Phone: 847 869 9000 Email/Fax: JOEL@PRIESEBUILDERS.COM
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No;	
If yes, <input type="checkbox"/> Lakeshore <input checked="" type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires:	
<input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.	
Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

THIS PROJECT CONSISTS OF A SMALL ENTRY ADDITION TO AN EXISTING 1890S BRICK + STUCCO VICTORIAN HOME. ADDITIONALLY, THERE IS THE DEMOLITION OF A DETACHED 1980S ERA FRAME 2-CAR GARAGE + THE CONSTRUCTION OF A NEW FRAME 2-CAR GARAGE, WORKSHOP + STORAGE AREA

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No A BIT
Garage: <input type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: CLAD.+	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Façades/Front Porch & Rear Porch Material	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Fences
<input type="checkbox"/>	<input type="checkbox"/>	Wood Frame	<input type="checkbox"/>	<input type="checkbox"/>	Copper	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Stone	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Sheet Metal	<input type="checkbox"/>	<input type="checkbox"/>	Wrought Iron
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Brick	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Stucco	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	Other: <u>NEW TO MATCH EXISTING</u>
<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Stucco	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Fascias, Soffits, Rakeboards, Trim	<input type="checkbox"/>	<input type="checkbox"/>	Height: <u>6' + 3'</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood Siding <u>COMPOSITE</u>	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Length: _____
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Terraces, Patios, Decks
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Material, Type: _____	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Shingle, Material: _____	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Stone
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>CEMENT FIBERBOARD</u>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brick Pavers
<input type="checkbox"/>	<input type="checkbox"/>	Roofing Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Door Material	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Concrete Pavers
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingles	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Poured Concrete
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shakes	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>PEBBLE WALLS</u>
<input type="checkbox"/>	<input type="checkbox"/>	Slate	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Material
<input type="checkbox"/>	<input type="checkbox"/>	Clay Tile	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Asphalt
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Asphalt Shingles	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Poured Concrete
<input type="checkbox"/>	<input type="checkbox"/>	Metal Sheet	<input type="checkbox"/>	<input type="checkbox"/>	Window Type	<input type="checkbox"/>	<input type="checkbox"/>	Brick Pavers
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Double Hung	<input type="checkbox"/>	<input type="checkbox"/>	Concrete Pavers
<input type="checkbox"/>	<input type="checkbox"/>	Chimney Material	<input type="checkbox"/>	<input type="checkbox"/>	Casement	<input type="checkbox"/>	<input type="checkbox"/>	Crushed Stone
<input type="checkbox"/>	<input type="checkbox"/>	Brick	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>FIXED + SKYLIGHT</u>	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Stone	<input type="checkbox"/>	<input type="checkbox"/>	Window Material	<input type="checkbox"/>	<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed):
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Air Conditioning Unit
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Gutters/Downspouts	<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Copper	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>MULTIWALL POLYCARBONATE SHEET</u>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Galvanized Sheet	<input type="checkbox"/>	<input type="checkbox"/>	Muntins	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not existing <u>HERE</u>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>	

4) Applicant's Signature: Diane Zabich
 Print Name: DIANE ZABICH

Date: 5.24.22

Proceed to Section C if you are requesting a zoning or fence variation and/or a special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].

Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS: Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts (Briefly explain below/attach a separate sheet if necessary).

B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation (Briefly explain below/attach a separate sheet if necessary).

C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98). (Briefly explain below/attach a separate sheet if necessary).

<p>4) Applicant's Signature: <u><i>Diane Zabach</i></u> Print Name: <u>DIANE ZABACH, ARCHITECT</u></p>	<p>Date: <u>5.24.22.</u></p>
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NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

EMRICH RESIDENCE

1223 OAK AVENUE
EVANSTON, IL 60202

SINGLE FAMILY - ENTRY ADDITION, GARAGE DEMOLITION + RECONSTRUCTION

DRAWINGS

COVER	SCOPE OF WORK + GENERAL NOTES PLAT OF SURVEY
A.0	SITE PLAN - DEMO + SITE
A.1	ENTRY - FLOOR PLANS - DEMO + 1
A.2	ENTRY - REFLECTED CEILING + ROOF
A.3	ENTRY - ELEVATIONS
A.5	GARAGE - FLOOR PLANS - 1 + 2
A.6	GARAGE - REFLECTED CEILING, ROOF + STRUCTURAL
A.7	GARAGE - ELEVATIONS
SUP.1	ENTRY - CONTEXT PHOTOS
SUP.2	GARAGE - CONTEXT PHOTOS
SUP.3	GARAGE - 3D SKETCH - EXISTING
SUP.4	GARAGE - 3D SKETCH - PROPOSED

BUILDING CODES

MUST CONFORM TO ALL
CITY OF EVANSTON CODES.

SCOPE OF WORK

THIS PROJECT CONSISTS OF A SMALL ENTRY ADDITION TO AN EXISTING 1890s BRICK + STUCCO VICTORIAN HOME. PLUS THERE IS THE DEMOLITION OF A DETACHED 1980s FRAME 2-CAR GARAGE AND THE CONSTRUCTION OF A NEW FRAME 2-CAR GARAGE, WORKSHOP AND STORAGE AREA. AN ELECTRIC CHARGING STATION WILL BE ADDED AT THE GARAGE.

GENERAL NOTES

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL THE COORDINATION OF ALL PARTS OF THE WORK SO THAT NO WORK SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION.

ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES AND BE TO THE BEST PRACTICE OF EACH TRADE.

DO NOT SCALE THE DRAWINGS UNLESS OTHERWISE NOTED; DIMENSIONS GOVERN.

ALL WORK "BY OTHERS" IS TO BE THE RESPONSIBILITY OF THE OWNER AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COOPERATE WITH THE OWNER AND THE OWNER'S OUTSIDE CONTRACTORS AS REQUIRED.

CONTRACTOR SHALL TAKE MEASURES TO ELIMINATE AIRBORNE PARTICLES IN ADJACENT SPACES. AT THE CLOSE OF CONSTRUCTION, THE SITE SHALL BE RESTORED TO ORIGINAL CLEAN CONDITION.

CONTRACTOR WILL CONFORM TO NEIGHBORHOOD HOUR, NOISE AND GENERAL PROCEDURES' REQUIREMENTS.

ALL WORK SHALL BE GUARANTEED BY THE GENERAL CONTRACTOR FOR A PERIOD OF ONE CALENDAR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

ALL DEMOLISHED MATERIAL IS TO BE REMOVED BY THE GENERAL CONTRACTOR UNLESS OTHER WISE DIRECTED BY THE OWNER.

ALL MANUFACTURERS' NUMBERS ARE GIVEN FOR PRICING PURPOSES. APPROVED ALTERNATE OF EQUAL QUALITY AND APPEARANCE MAY BE SUBSTITUTED WITH PRIOR APPROVAL OF OWNER. PRODUCT LITERATURE AND SPECIFICATIONS MUST BE SUBMITTED FOR APPROVAL PRIOR TO ANY ALTERNATE SUBSTITUTION.

HISTORIC PRESERVATION REVIEW of COA

MAY 24, 2022
- NOT FOR
CONSTRUCTION

DIANE ZABICH ARCHITECTURE + INTERIORS
1617 W. KIRK ST. EVANSTON ILLINOIS 60202
DZABICH@COMCAST.NET
847.420.5576

NOTE:
UPDATED
FROM
ZONING
SUBMISSION
TO REFLECT
SMALLER
GARAGE.

EXISTING	AREA TAKE OFFS	BUILDING COVERAGE	IMPERVIOUS SURFACE
SITE	8484.0		
HOUSE	1608.0	1608.0	1608.0
GARAGE	537.6	537.6	537.6
FRONT PORCH	139.6	@50% 69.8	@50% 69.8
REAR DECK W/PERMEABLE BELOW	191.9		(3%=255) 0
OPEN FRONT + BACK STAIRS	77.4		
CONCRETE SIDEWALK	329.4		329.4
CONCRETE APRON	483.2		483.2
BRICK PATIO	138.7		138.7
REAR PAVERS	316.0		316.0
TOTAL	8484.0	2215.4	3482.7
TOTAL/ SITE %		26.1%	41.0%
R3 MAX PER CODE		45%	60%

PROPOSED	AREA TAKE OFFS	BUILDING COVERAGE	IMPERVIOUS SURFACE
SITE	8484.0		
HOUSE	1684.9	1684.9	1684.9
GARAGE	828.0	828.0	828.0
FRONT PORCH	139.6	@50% 69.8	@50% 69.8
REAR DECK W/PERMEABLE BELOW	191.9		(3%=255) 0
OPEN FRONT + BACK STAIRS			
CONCRETE SIDEWALK	274.2		274.2
CONCRETE APRON	288.0		288.0
BRICK PATIO	138.7		138.7
REAR PERVIOUS WALKWAY	394.0		
TOTAL	8484.0	2582.0	3284.0
TOTAL/ SITE %		30%	39%
R3 MAX PER CODE		45%	60%

COVER	PRICING REVIEW	NOT FOR CONSTRUCTION	MAY 24, 2022
	ZONING REVIEW		
	HIST. PRES. REVIEW		
SINGLE FAMILY REMODELING		EMRICH RESIDENCE EVANSTON ILLINOIS	
DIANE ZABICH ARCHITECTURE + INTERIORS			

OFFICE:
 11836 S. Western Avenue
 Chicago, Illinois 60643
 P.O. Box 43559
 Tel: (773) 233-8510
 Fax: (773) 233-0849

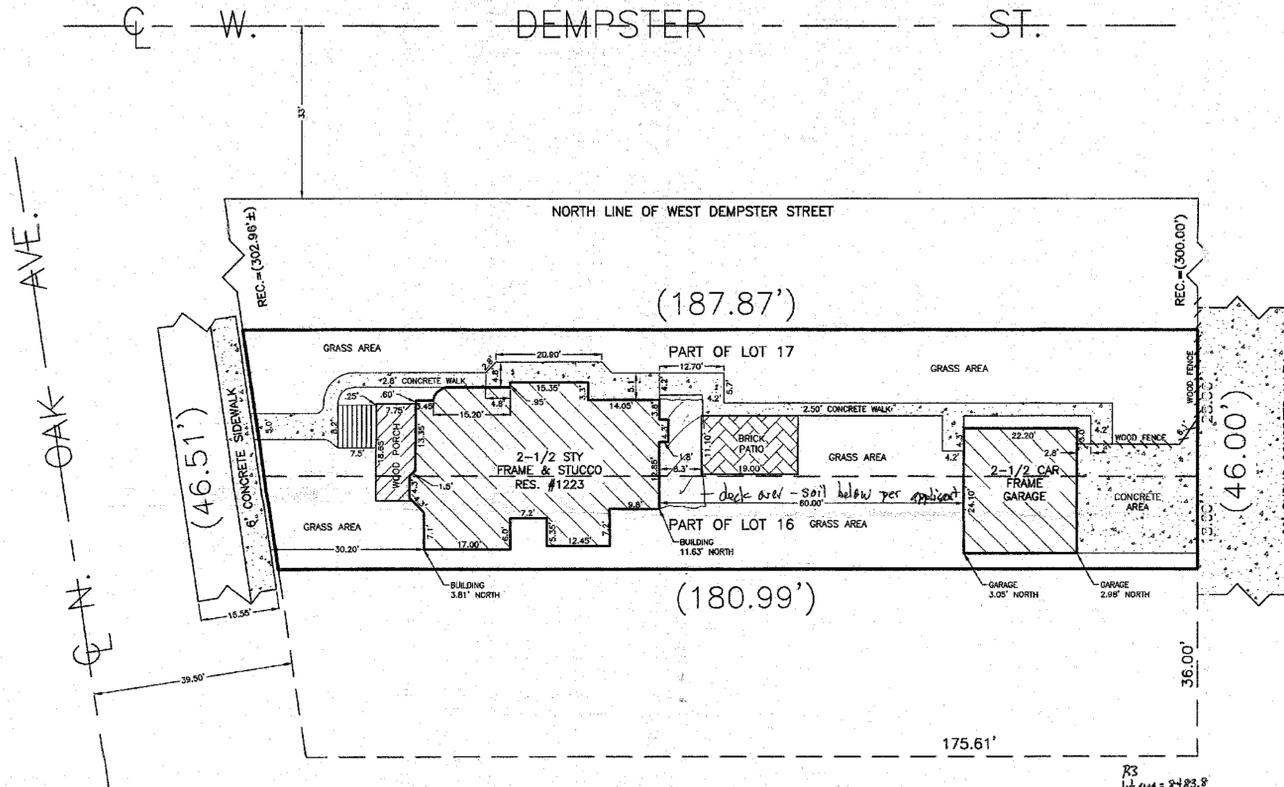
PLAT OF SURVEY

L.R. Pass & Associates, P.C.
 Professional Land Surveyors

Plat of Surveys
 Topography
 Mortgage Inspection
 Condominiums
 Land Development
 Legal Descriptions

LOT 17 (EXCEPT THE NORTH 26 FEET) AND LOT 18 (EXCEPT THE SOUTH 36 FEET) IN BLOCK 1 IN O.A. CRAIN'S SUBDIVISION OF THE NORTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

(COMMONLY KNOWN AS: 1223 OAK AVENUE, EVANSTON, ILLINOIS.)



83
 1st area = 8483.8
 2nd = 254.54
 decked area: 20.45 x 8.3 = 173.4
 -1.8 x 4.3 = -7.74
 166.2



LEGEND	
○	"MAG" NAIL SET
○	SET IRON PIPE
●	IRON PIPE FOUND
+	CUT CROSS - FOUND OR SET
—	PROPERTY LINE
(140.45)	RECORDED DATA
140.45	MEASURED DIMENSION
()	NOTCH
⊗	WIRE FENCE
∕	WOOD FENCE
×	CHAIN LINK FENCE (C.L.F.)
□	WROUGHT IRON FENCE (W.I.F.)
•••	5 NAILS (SET)

UNLESS REQUESTED OTHERWISE (BY THE CLIENT OR HIS/HER AGENT) MONUMENTS OR WITNESS POINTS SHALL BE SET FOR ALL ACCESSIBLE CORNERS OF THE SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS. ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-0003083.

FIELD DATE: 8/25/09
 P. I. N.: 11-19-202-250-0000
 BOOK NO.: G.P.
 SURVEYOR: S.S.
 DIMENSIONS ARE NOT TO BE SCALED.
 ORDER NO.: 09AUG-568
 SCALE: 1" = 20 FEET
 ORDERED BY: KAREN M. WALKER & ASSOC.
 MEMBER: I. P. L. S. A.
 A. C. S. M.

COMPARE ALL POINTS BEFORE BUILDING, NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE.

CRITICAL FIELD MONUMENTATION SHOULD BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION.

PLEASE REFER TO DEED, TITLE POLICY AND/OR LOCAL ORDINANCES FOR BUILDING LINE RESTRICTIONS AND/OR EASEMENTS NOT SHOWN HEREON.

PLEASE CHECK LEGAL DESCRIPTION WITH DEED AND IMMEDIATELY REPORT ANY DISCREPANCY TO THE SURVEYOR FOR EXPLANATION AND/OR CORRECTION.

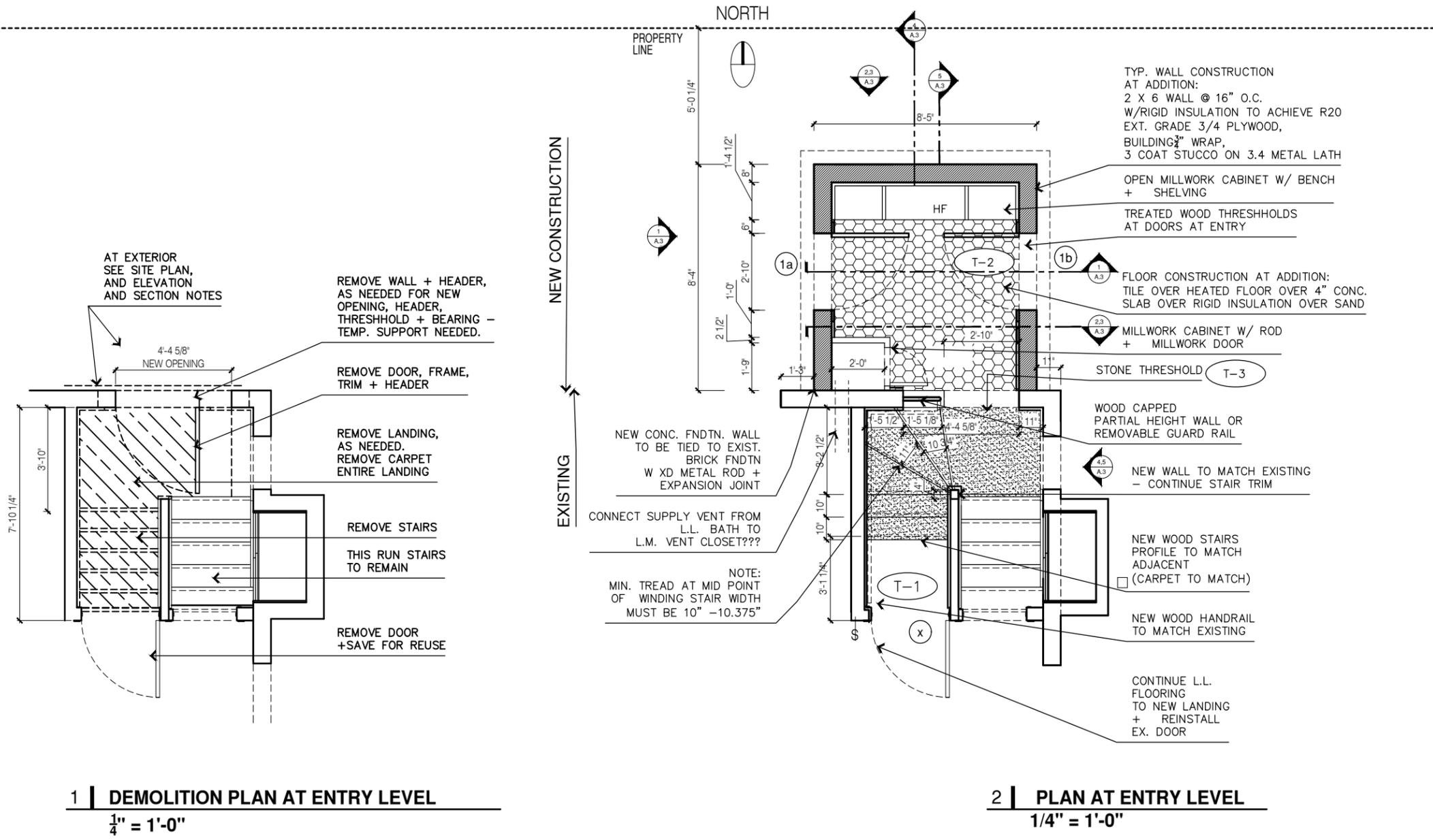
ALL DIMENSIONS AND MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AND ARE CORRECTED TO A TEMPERATURE OF 62 DEGREES FAHRENHEIT.

STATE OF ILLINOIS
 COUNTY OF COOK

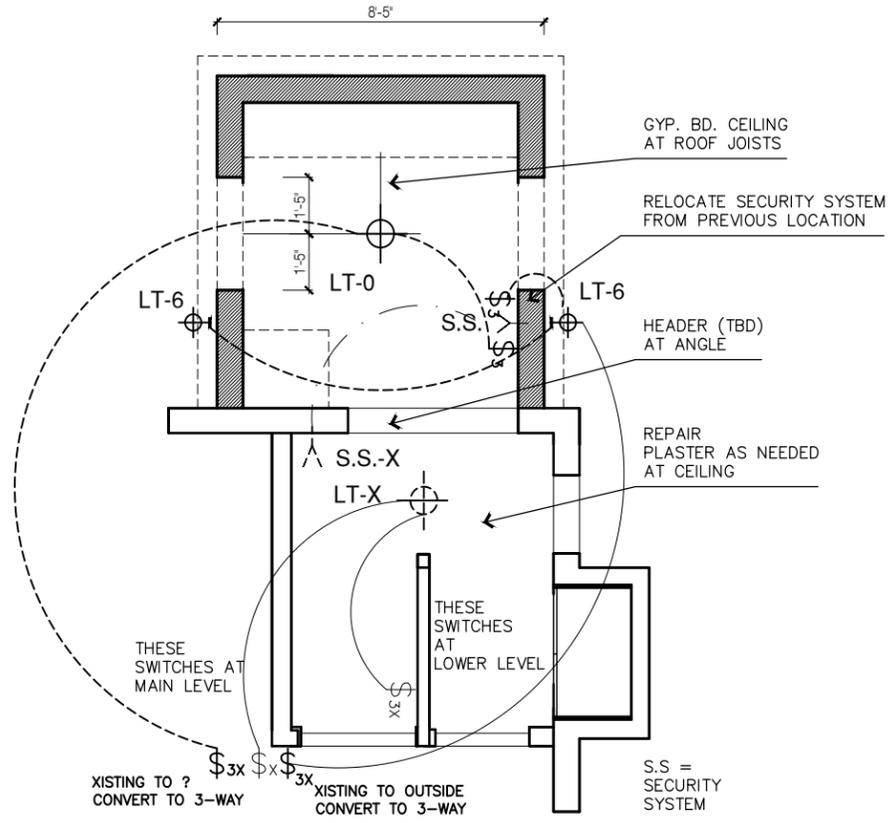
WE, L.R. PASS & ASSOCIATES, P.C., DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 25th DAY OF AUGUST 20 09.
 LICENSE EXPIRATION DATE: 11/30/10

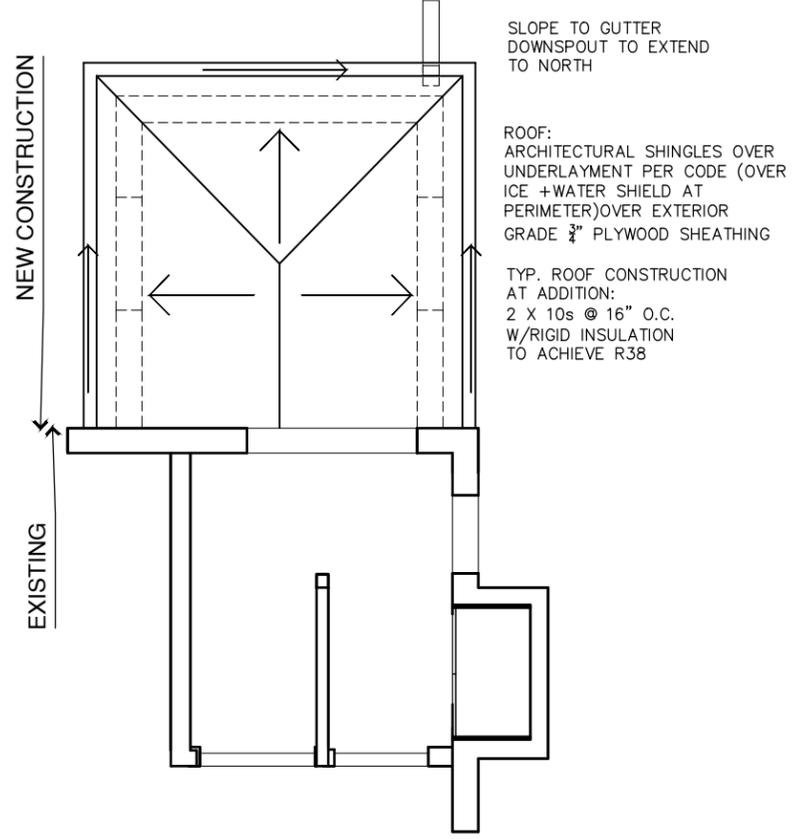
RECEIVED
 FEB 08 2018
 CITY OF EVANSTON
 BUILDING DIVISION
 APR 16 10 12 AM '09



DIANE ZABICH ARCHITECTURE + INTERIORS	EMRICH RESIDENCE EVANSTON ILLINOIS	SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION	3.03.22	PRICING REVIEW	A.1
			3.31.22	ZONING REVIEW.	
			5.24.22	HIST. PRES. REVIEW	
NOT FOR CONSTRUCTION			ENTRY - PLANS.D+1		MAY 24, 2022

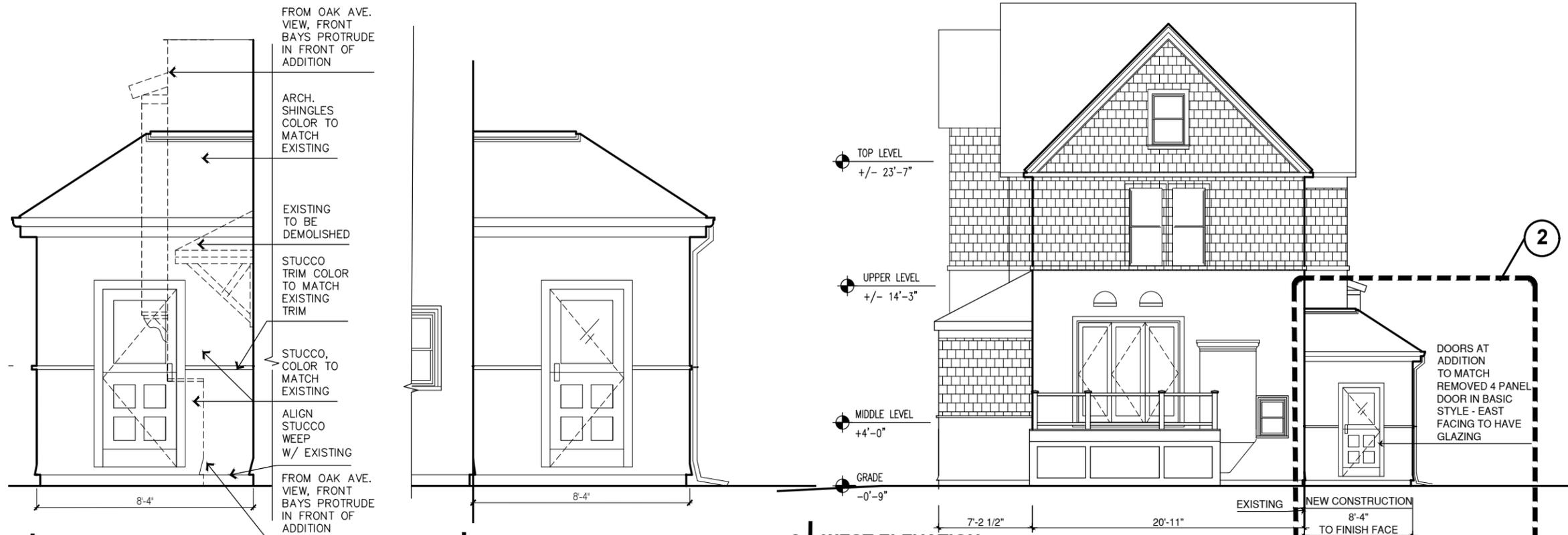


1 | REFLECTED CEILING AND ELECTRICAL PLAN
1/4" = 1'-0"



2 | ROOF PLAN
1/4" = 1'-0"

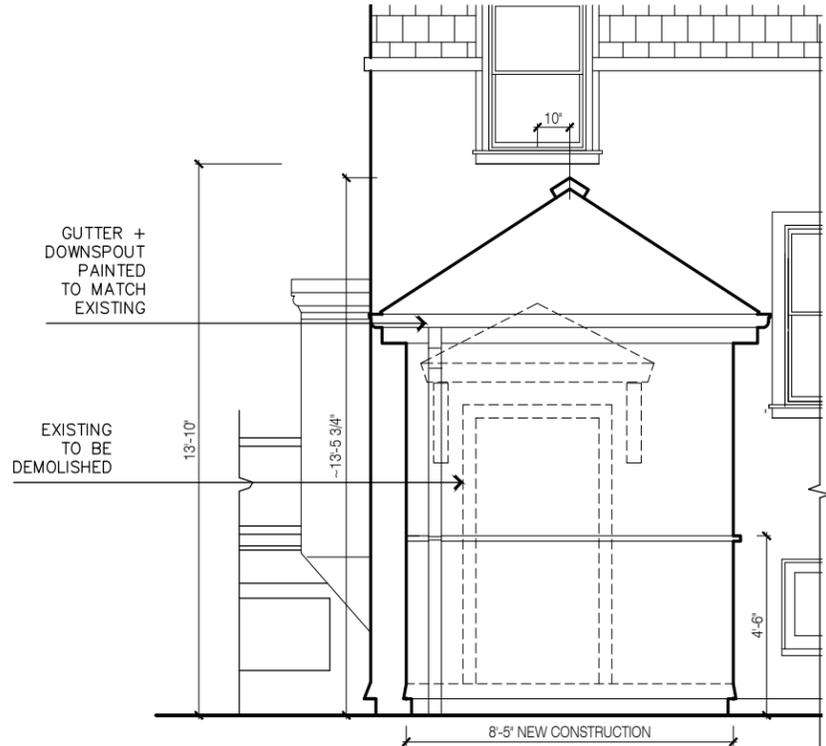
DIANE ZABICH ARCHITECTURE + INTERIORS	EMRICH RESIDENCE EVANSTON ILLINOIS	SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION	3.03.22	PRICING REVIEW	A.2
			3.31.22	ZONING REVIEW	
			5.24.22	HIST. PRES. REVIEW	
NOT FOR CONSTRUCTION			ENTRY - RCP, ROOF		MAY 24, 2022



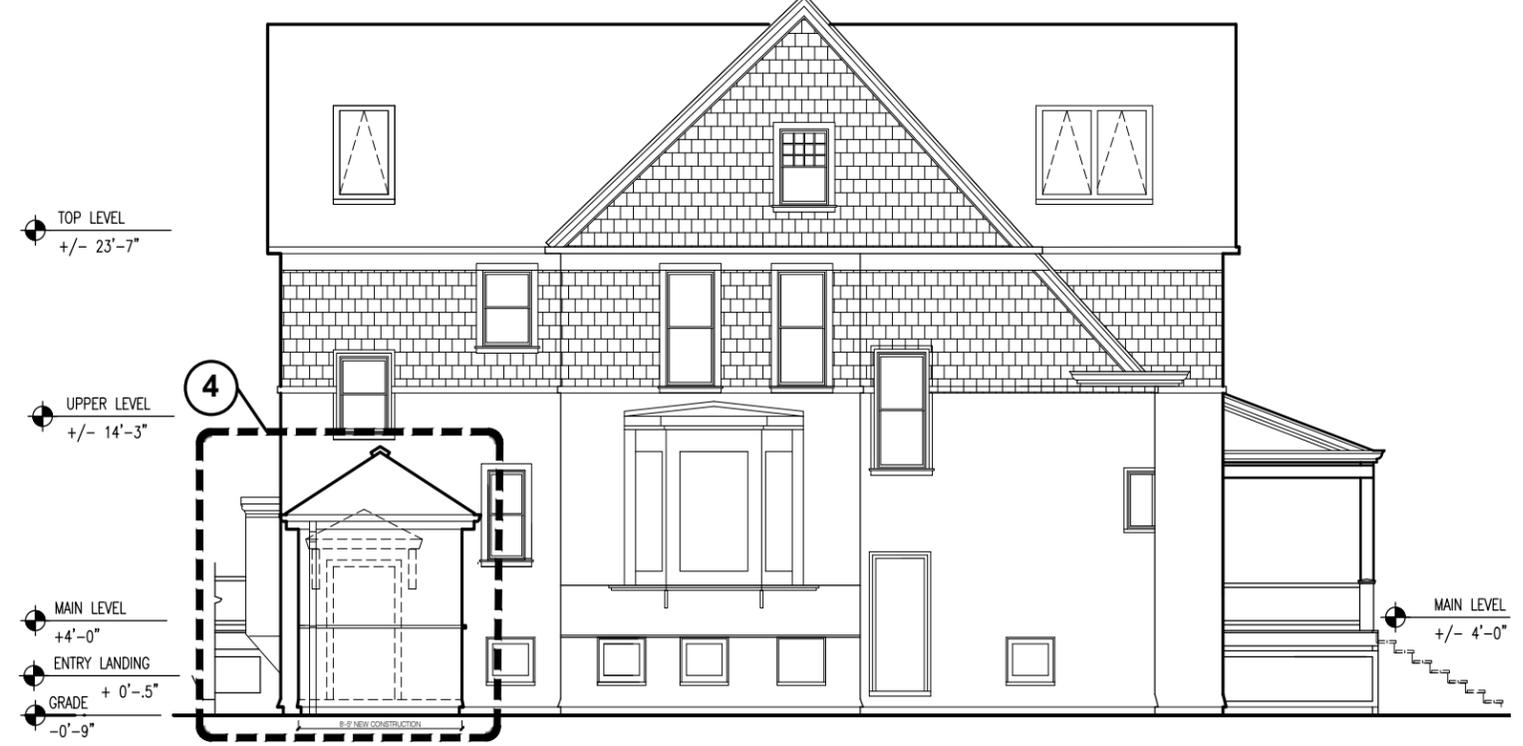
1 | EAST ELEVATION
1/4" = 1'-0"

2 | WEST ELEVATION
1/4" = 1'-0"

3 | WEST ELEVATION
1/8" = 1'-0"

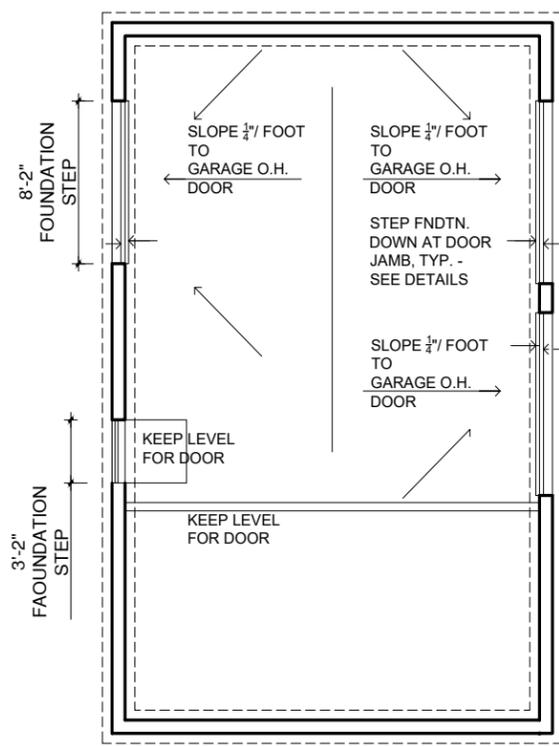


4 | NORTH ELEVATION
1/4" = 1'-0"

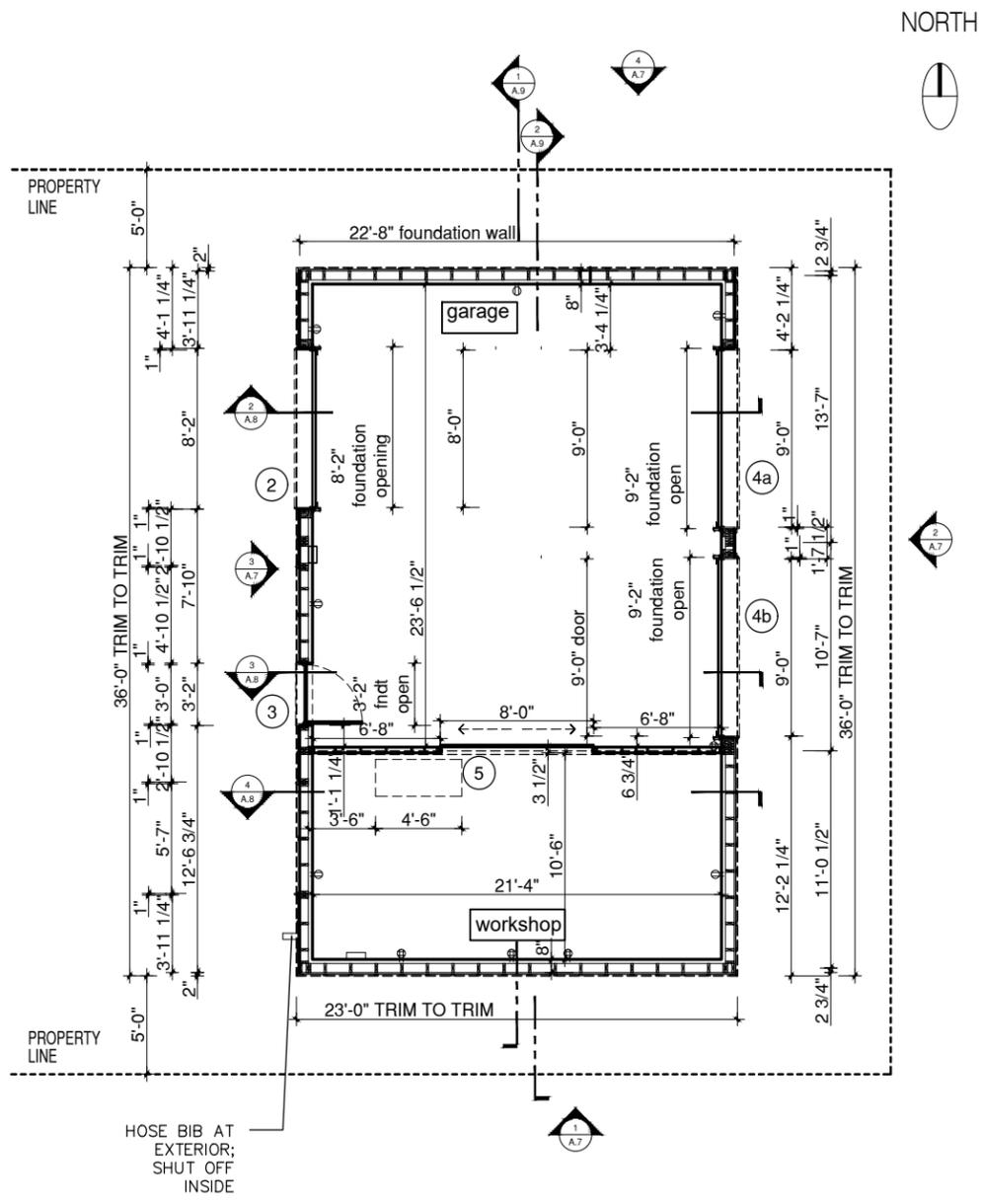


5 | NORTH ELEVATION
1/8" = 1'-0"

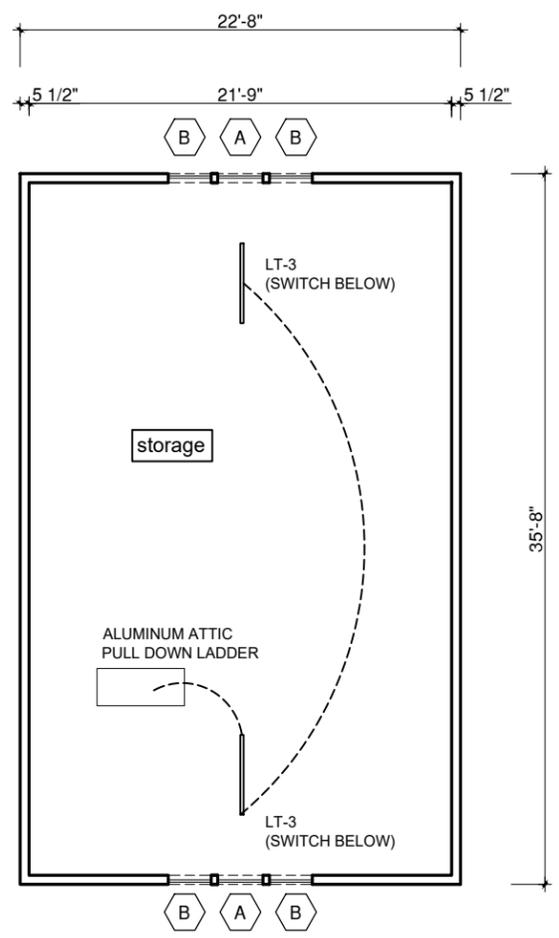
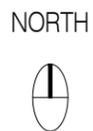
A.3	ENTRY-ELEVATIONS	MAY 24, 2022	
	PRICING REVIEW	ZONING REVIEW	HIST. PRES. REVIEW
	3.03.22	3.31.22	
SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION		NOT FOR CONSTRUCTION	
EMRICH RESIDENCE EVANSTON ILLINOIS		DIANE ZABICH ARCHITECTURE + INTERIORS	



1 | FOUNDATION PLAN
 $\frac{1}{8}'' = 1'-0''$

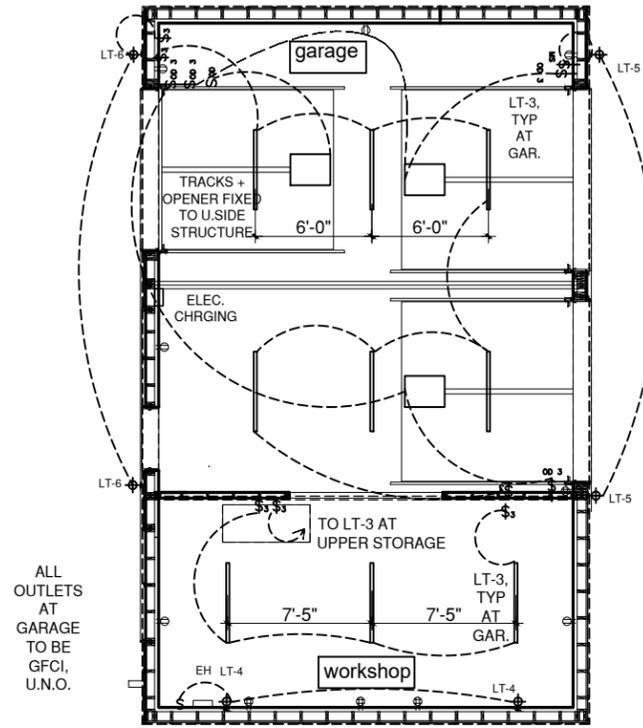


2 | FIRST FLOOR PLAN
 $\frac{1}{8}'' = 1'-0''$

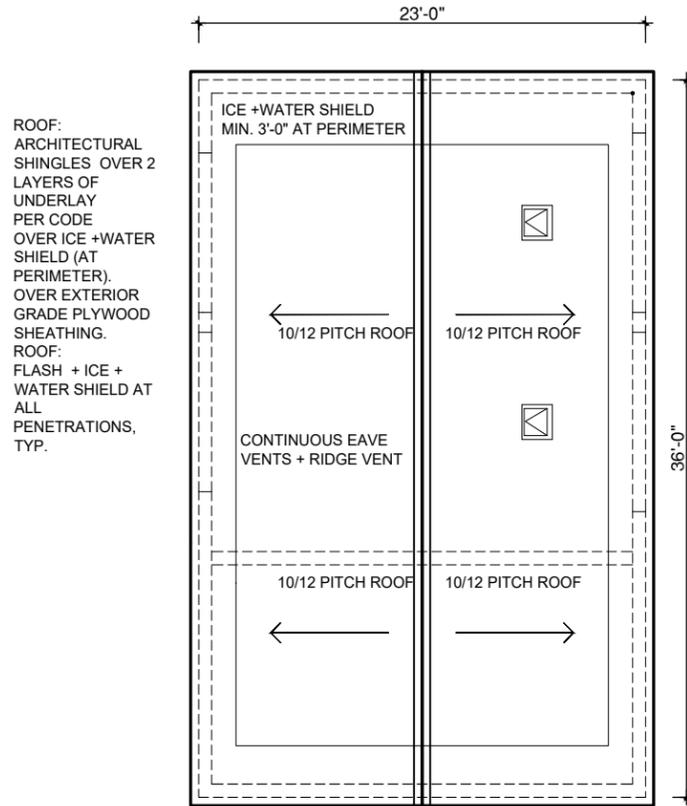


3 | SECOND FLOOR PLAN
 $\frac{1}{8}'' = 1'-0''$

DIANE ZABICH ARCHITECTURE + INTERIORS	EMRICH RESIDENCE EVANSTON ILLINOIS	SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION		3.03.22	PRICING REVIEW	A.5
				3.31.22	ZONING REVIEW	
				5.24..22	HIST. PRES. REVIEW	
NOT FOR CONSTRUCTION				MAY 24, 2022		

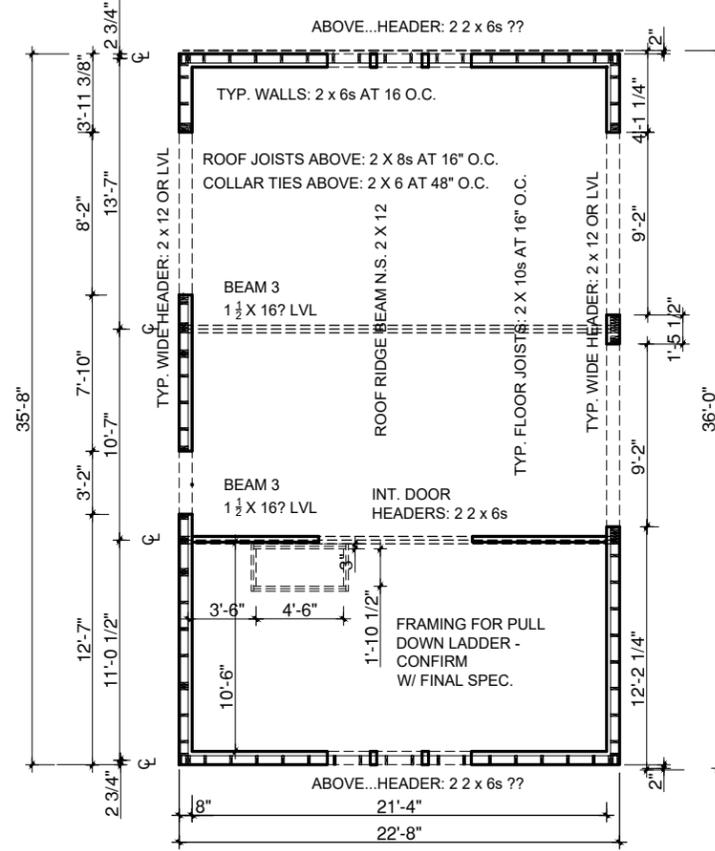


1 | REFLECTED CEILING + ELECTRICAL PLAN
 $\frac{1}{8}'' = 1'-0''$



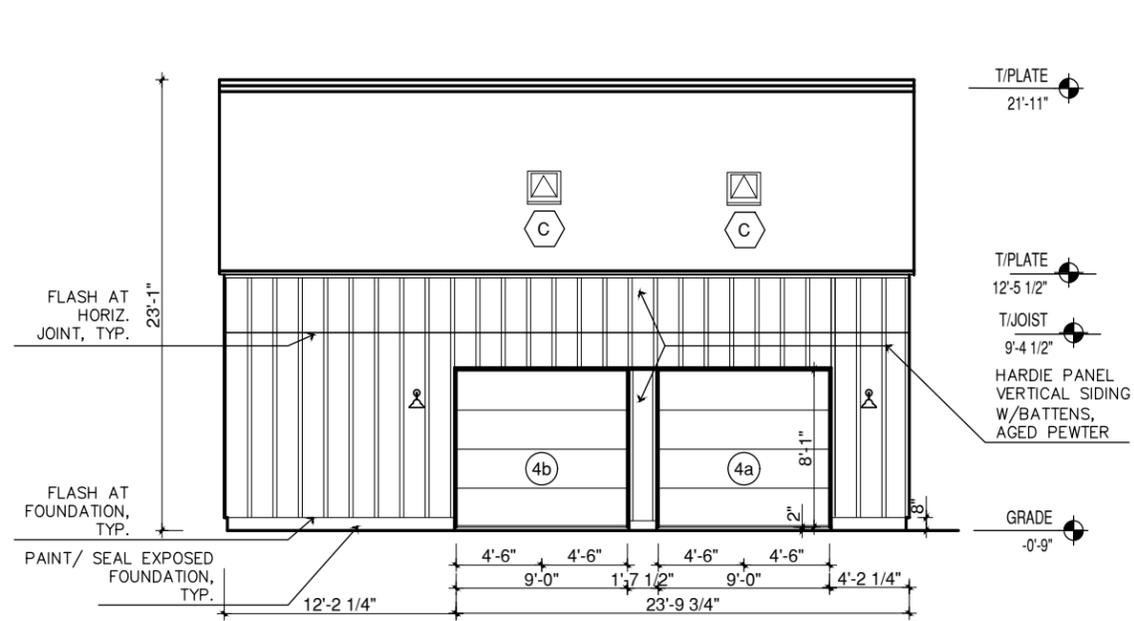
2 | ROOF PLAN
 $\frac{1}{8}'' = 1'-0''$

ROOF: ARCHITECTURAL SHINGLES OVER 2 LAYERS OF UNDERLAY PER CODE OVER ICE + WATER SHIELD (AT PERIMETER). OVER EXTERIOR GRADE PLYWOOD SHEATHING.
 ROOF: FLASH + ICE + WATER SHIELD AT ALL PENETRATIONS, TYP.

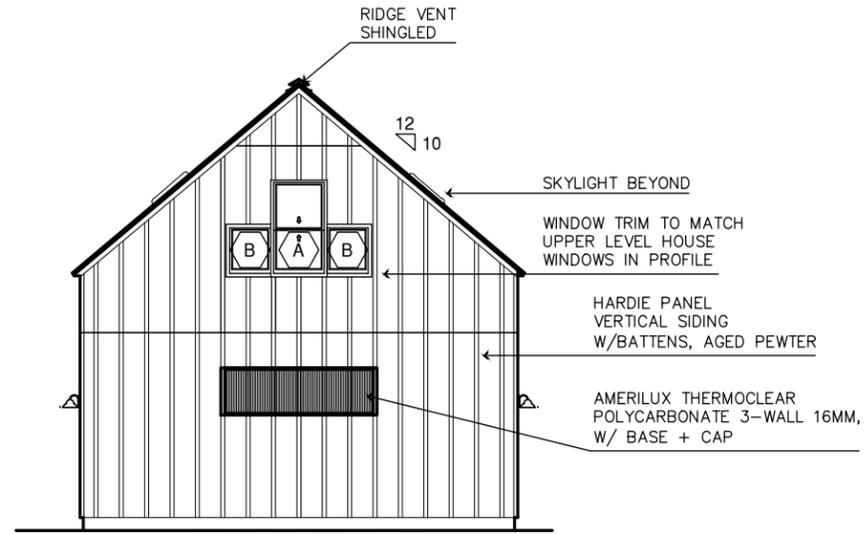


3 | STRUCTURAL PLAN TO BE CONFIRMED
 $\frac{1}{8}'' = 1'-0''$

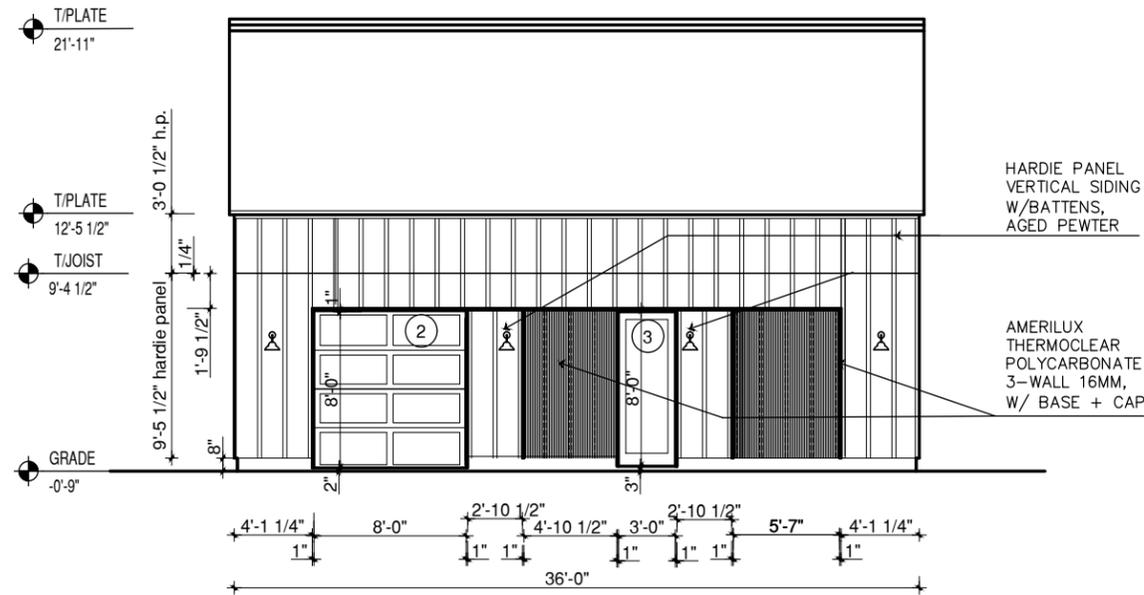
DIANE ZABICH ARCHITECTURE + INTERIORS	EMRICH RESIDENCE EVANSTON ILLINOIS	SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION	3.08.22	PRICING REVIEW	A.6	GARAGE - RCP, ROOF STRUCTURAL	MAY 24, 2022
			3.31.22	ZONING REVIEW			
			5.24.22	HIST. PRES. REV.			
			NOT FOR CONSTRUCTION				



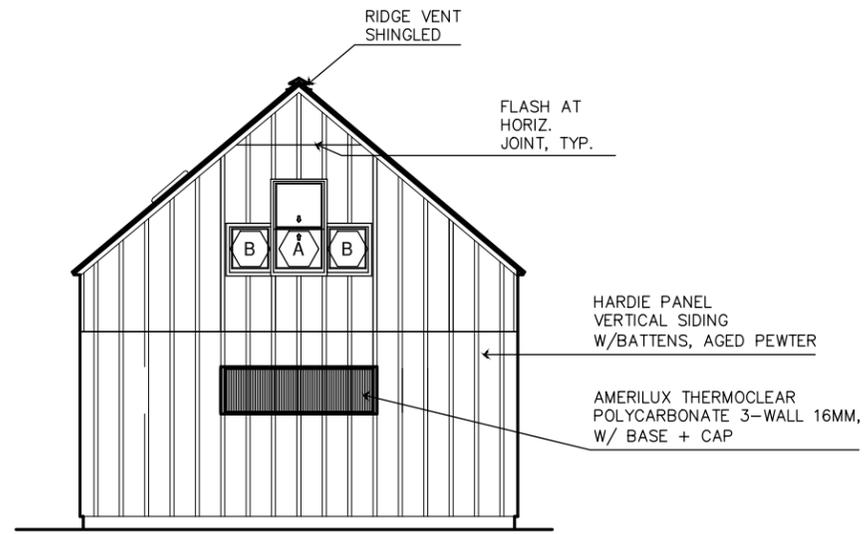
1 | EAST ELEVATION
 $\frac{1}{8}'' = 1'-0''$



2 | SOUTH ELEVATION
 $\frac{1}{8}'' = 1'-0''$



3 | WEST ELEVATION
 $\frac{1}{8}'' = 1'-0''$

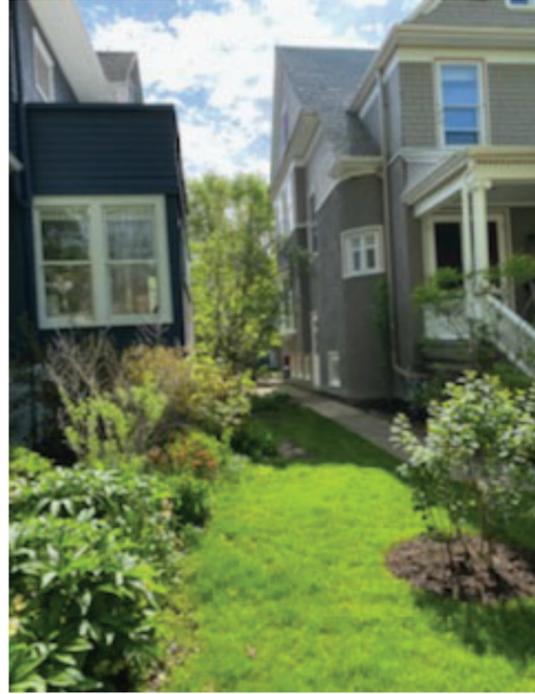


4 | NORTH ELEVATION
 $\frac{1}{8}'' = 1'-0''$

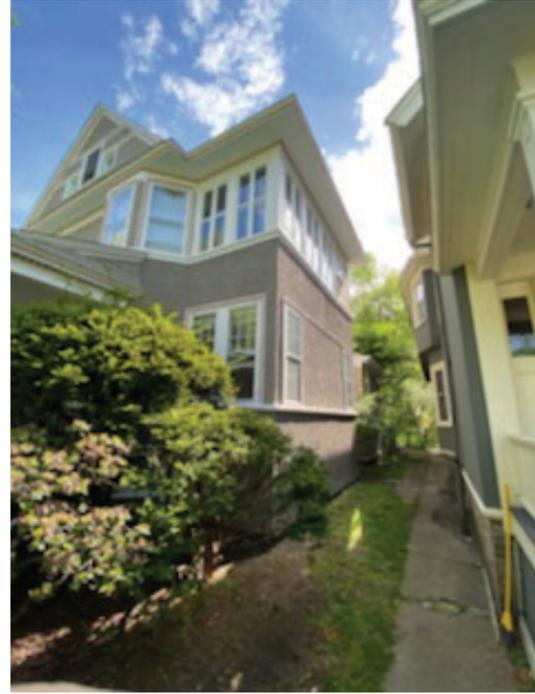
A.7		GARAGE - ELEVATIONS		MAY 24, 2022
3.03.22	PRICING REVIEW	3.31.22	ZONING REVIEW	NOT FOR CONSTRUCTION
5.24.22	HIST. PRES. REV.			
SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION				
EMRICH RESIDENCE EVANSTON ILLINOIS				
DIANE ZABICH ARCHITECTURE + INTERIORS				



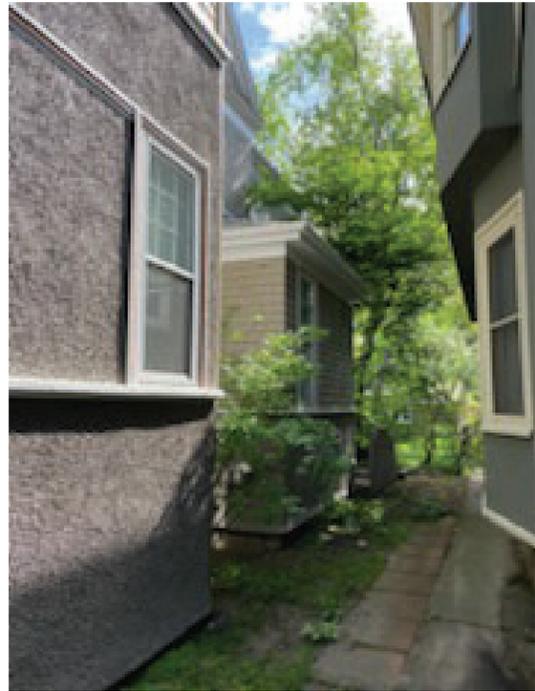
1 | 1223 OAK EXIST. HOUSE - FROM OAK AVENUE TO NW CORNER



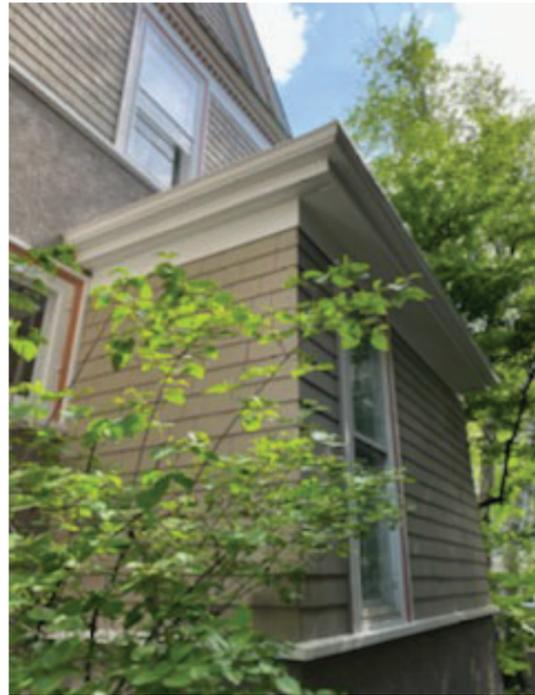
2 | VIEW OF NORTH SIDE TO EAST - TO NEW ENTRY "LOCATION"



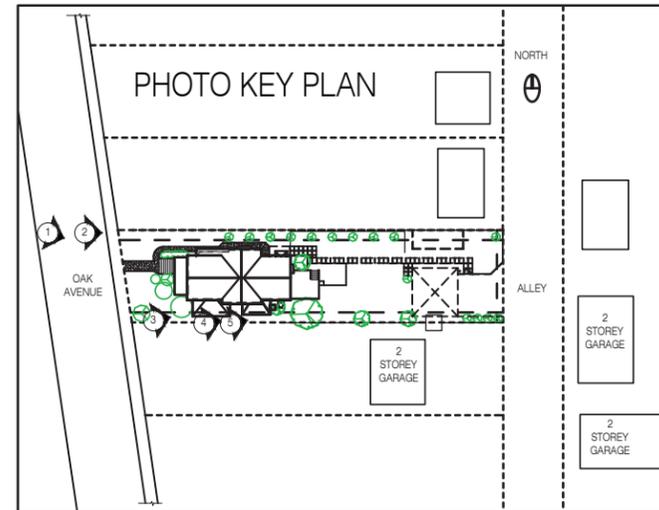
3 | VIEW OF SOUTH SIDE TO EAST - EARLIER ADDITIONS



4 | VIEW OF SOUTH SIDE TO EAST - EARLIER ADDITIONS



5 | VIEW OF SOUTHSIDE TO EAST - EARLIER ADDITIONS



SUPPLEMENT 1	HIST. PRES. REV.	5.24.22	NOT FOR CONSTRUCTION	SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION	EMRICH RESIDENCE EVANSTON ILLINOIS	DIANE ZABICH ARCHITECTURE + INTERIORS



1 | 1223 OAK EXIST. GARAGE- EAST ELEVATION - FROM ALLEY



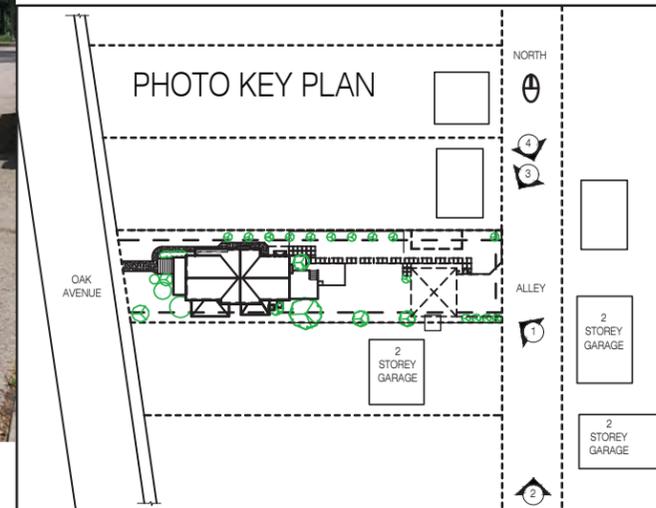
2 | VIEW NORTH IN ALLEY



3 | VIEW SOUTH WEST IN ALLEY



4 | VIEW SOUTH IN ALLEY



5.24.22	HIST. PRES. REV.	NOT FOR CONSTRUCTION	MAY 24, 2022
SUPPLEMENT 2			
GARAGE - CONTEXT			
SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION		EMRICH RESIDENCE EVANSTON ILLINOIS	
DIANE ZABICH ARCHITECTURE + INTERIORS			



DIANE ZABICH ARCHITECTURE + INTERIORS	EMRICH RESIDENCE EVANSTON ILLINOIS	SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION	5.24.22	HIST. PRES. REV.	SUPPLEMENT 3 GARAGE-3D-EXISTING MAY 24, 2022
			NOT FOR CONSTRUCTION		



DIANE ZABICH ARCHITECTURE + INTERIORS	EMRICH RESIDENCE EVANSTON ILLINOIS	SINGLE FAMILY ENTRY ADDITION + GARAGE RECONSTRUCTION	5.24.22	HIST. PRES. REV.	SUPPLEMENT 4 GARAGE-3D-PROPOSED MAY 24, 2022
			NOT FOR CONSTRUCTION		



**Zoning Analysis
Summary**

Case Number:

Case Status/Determination:

22ZONA-0053 – 1223 Oak Avenue R3 Two-Family Residential District Ridge Historic District Contributing Structure	Compliant
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Proposal:

Single-story addition at north elevation rear volume; demolition of existing garage; construction of new detached accessory structure

Zoning Section:

Comments:

6-8-4-4	The existing lot size is 8484 square feet where 5000 square feet is the minimum required for a single-family home.
6-8-4-6	The proposed building lot coverage is ~30% where 45% is the maximum permitted.
6-8-4-9	The proposed impervious surface ratio is ~41% where 60% is the maximum permitted.
6-8-4-8	The proposed maximum height of the principle structure is unchanged. The proposed addition at the north elevation is less than the 35' or 2.5 stories permitted.
6-8-4-7 (A) 3.	The proposed north elevation addition is 5' from the north lot line where 5' is the minimum required side-yard.
6-8-4-7 (C) 4.	The proposed detached accessory structure, located in the rear-yard is 5' from the north and south rear-yard lot lines and 8' from the east rear-yard lot line where 3' is required.
6-4-6-2 (C)	The proposed separation between principle structure and accessory structure is greater than 10' where 10' is the minimum required.
6-4-6-4	The proposed height of the accessory structure is 23' where 28' is the maximum permitted
6-4-6-3	The proposed rear-yard coverage (accessory structures) is 27% where 40% is the maximum permitted.

Additional Comments:

- Review and issuance of COA by the HPC is required.

**2241 Sherman Avenue – Northeast Historic District
22PRES-0079**

Jennifer Parker Holtz, architect, submits for a Certificate of Appropriateness to demolish an existing rear sunroom and wood deck, and construct a new two-story frame addition with screen porch and open wood deck at the rear-volume of the residence.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, City Planner
Subject: 2241 Sherman Avenue – 22PRES-0079
Date: June 8, 2022

Public Notice

2241 Sherman Avenue – Northeast Historic District – 22PRES-0079

Jennifer Parker Holtz, architect, submits for a Certificate of Appropriateness to demolish an existing rear sunroom and wood deck, and construct a new two-story frame addition with screen porch and open wood deck at the rear-volume of the residence.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

Construction Period:
1905

Style:
Craftsman

Architect of Record:
William Walters [Waters?]

Condition:
Good

Integrity:
Excellent

Status:
Contributing

Setting:
Located in the north central portion of the Northeast Historic District on the east side of Sherman Avenue between Colfax Street to the north and Noyes Street to the south, 2241 Sherman Avenue is a two-and-one-half story Craftsman styled home constructed in 1905. The home is two blocks west of the Northwestern University Campus.

Significance:

The home retains excellent integrity and is a good representative example of the Craftsman Style. The home was likely built for speculation, as much of the area along Sherman Avenue developed quickly in the late 1890s and early 1900s due to extension of the street car system. The architect noted in the National Register Nomination for the District is William Walters. No information could be found for a William Walters. It is possible the home was designed by William Waters, a prominent Wisconsin architect, who also worked in Illinois and Indiana. Waters would have been 62 at the time of construction.

The Craftsman Style derived from the Arts and Crafts Movement of the late 19th century — a movement that valued hand craftsmanship, natural materials and simplicity in design and rejecting Victorian era excesses and mass-production. Craftsman style houses feature a mix of wood clapboards, shingles, stucco and sometimes half-timbering. If stone or brick was used, it was typically laid to look more rustic, with rough cuts and uneven application. Roofs are low-sloped hipped or gable roofs with deep overhangs supported by wood brackets and knee-braces. Exposed rafter tails are also a feature. In one and one-half story versions, the attic space is made usable with dormers or windows set in the gable ends. Wide front porches are common and are often supported by rustic brick or stone piers. Windows are usually double hung or casement types with multi-paned or diamond-paned glass. The Craftsman Style does not have its own building form but was a style applied to common building types, such as the bungalow and the American Foursquare. The style was popularized by national design plan books and magazines such as *The Craftsman*, published by Gustav Stickley between 1901 and 1916. Though high-style, expensive Craftsman homes are not uncommon, it was generally promoted as an affordable, middle-class style for Americans, and mass-produced for speculation, ironically.

Proposal:

The applicant proposes to demolish the existing single-story rear sunroom addition, rear shed dormer, and wood deck (unknown construction date), and construct a two-story intersecting gable addition, single-story roofed screen porch, and open wood deck at the rear of the property.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Demolition

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.

2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 2241 Sherman Ave., Evanston, 60201	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Jim and Jackie McGuire	Address: 2241 Sherman Ave., Evanston, 60201
City: Evanston State: IL Zip: 60201	Phone: 847.899.4433 Email/Fax: jmcguire@ameritech.net
3) Architect's Name: Studio Talo Architecture, Inc.	Address: 1234 Sherman Ave., Evanston, 60202
City: Evanston State: IL Zip: 60202	Phone: 847.733.7300 Email/Fax: thomas@studiotalo.com
4) Contractor's Name: TBD	Address: -
City: TBD State: Zip: Phone: Email/Fax:	TBD
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;	
If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input checked="" type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires: NA	
<input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.	
Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental NA Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

The proposed activity includes renovating the rear of the home's interior, and the construction of a two-story rear addition and a covered screened porch, as well as plumbing, electrical, and hvac work. The reason for obtaining the Certificate of Appropriateness is that the addition is visible from a public way.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: Aluminum clad wood	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material: Stucco, brick	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Air Conditioning Unit	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.												
Existing	Proposed		Existing	Proposed		Existing	Proposed					
<input type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: <u>Hardie Panel</u>	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Fascias, Soffits, Rakeboards, Trim Wood Metal Synthetic Material, Type: <u>Hardie trim</u> Other: _____	<input type="checkbox"/>	<input type="checkbox"/>				
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			Fences Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____	<input type="checkbox"/>	<input type="checkbox"/>			
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	Terraces, Patios, Decks Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: <u>composite wood decking; hardie panel</u>			<input type="checkbox"/>	<input checked="" type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input checked="" type="checkbox"/>				Driveway Material Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>					Chimney Material Brick Stone Stucco Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>						Window Type Double Hung Casement Other: <u>Awning</u>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>							Window Material Wood Aluminum Steel Other: <u>Aluminum clad wood</u>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	Gutters/Downspouts Copper Aluminum Galvanized Sheet Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input checked="" type="checkbox"/>		Muntins Not existing True divided lights Simulated divided lights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): Air Conditioning Unit	<input type="checkbox"/>		<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>					
4) Applicant's Signature: <u>Thomas Ahleman</u>						Date: 5.31.22						
Print Name: Thomas Ahleman												
Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].												

Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS:

Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts (Briefly explain below/attach a separate sheet if necessary).

N/A

B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation (Briefly explain below/attach a separate sheet if necessary).

N/A

C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98). (Briefly explain below/attach a separate sheet if necessary).

N/A

4) Applicant's Signature: Thomas Ahleman

Print Name: Thomas Ahleman

Date:

5.31.22

NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

Adopted October 19, 2004/Updated March 30, 2021

Page 4 of 4

SUPPLEMENTAL INFORMATION
COA Application Checklist

Submit one (1) digital copy in PDF format of the same as follows:

- APPLICATION FOR PRESERVATION REVIEW** - To process your application,
- ELEVATIONS/SITE PLANS/DRAWINGS** to scale including dimensions (not to exceed 11" x 17" paper size).
- CHANGES TO THE EXTERIOR INCLUDING CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS - SEE ADDITIONAL INFORMATION REQUIRED FOR WINDOW CHANGES (BELOW)**
Provide an **exterior elevation** of each façade involved, showing the existing and proposed appearance (preferably on the same sheet for each façade) with the new items/areas clearly identified.
 - Site plan with the existing footprint of the primary structure(s) clearly showing the side(s) being altered.
 - If the changes also include a **change in the footprint**, provide a **site plan** clearly showing the location of proposed change, setback dimensions, existing and proposed lot coverage, existing and proposed setbacks, location and height of existing and proposed fences, parking, and landscape design (if any).

ADDITIONS, NEW CONSTRUCTION/DEMOLITION

- If a major alteration, construction or demolition is planned, City staff will notify neighbors within 250 feet of the subject property at least five (5) business days prior to the Preservation Commission hearing to allow neighbors to comment on the proposal at the meeting. The applicant is responsible for providing to City staff the filled out Certification and Notice along with the updated list of names and addresses of current owners/taxpayers in Excel format. City staff will provide the initial list (Excel file) of names and addresses to the applicant with the instructions.
- **Exterior elevations**, showing building materials, height and width of proposed structure in the context of existing primary structure and/or the immediate surroundings.
- **Site Plan** clearly showing the location of proposed structure, existing and proposed lot coverage, proposed setbacks and their dimensions, location and height of proposed fences, parking, and landscape design (if any).
- **Roof Plans** - Provide roof plans to scale including dimensions.
- **3D drawings, models** (for new construction and substantial additions)
- **Photos of existing building, structure, site, fence or object in context with the immediate structures on the block.**

LAND-ALTERING ACTIVITY - Full **description and illustrations** including berming, re-grading, excavation, walkways, patios, and alteration of seawalls, etc.

FENCES - Site plan with fence location(s) clearly identified. Also, **illustration(s)** of existing and or proposed fence indicating the material, the height, and length (to scale). If zoning variance or fence variance is required, see section immediately below.

ZONING VARIANCE FOR ADDITIONS, NEW CONSTRUCTIONS, FENCE VARIANCE

- Fully completed Part C of the COA application
- Zoning Analysis Summary as prepared by the Zoning Division
- Fully completed Zoning or Fence Variation Application as submitted to the Zoning Division

SPECIAL USE - Special Use Application as submitted to the Zoning Division

PLANNED DEVELOPMENT - Planned Development Application as submitted to the Zoning Division, including: Zoning Analysis, General Information Form, Special Use Application, Executive Summary and Aerial Photograph, Zoning Comparison, Number of Units, Unit Mix and Description, Statement in Support of Proposal Survey, Development Plan, Preliminary Civil Engineering Plan and Preliminary Landscape Plan

☐ **SUPPORTING INFORMATION** - Any information you feel would enhance your application (e.g., photos, letters of support from neighbors, scale models, material samples, etc.). Photos of elevations, proximity to neighbors and any other information must show significant detail and/or context to be replicated. Details must be visible on printouts of digital photos and black and white copies of photos.

☐ **ADDITIONAL INFORMATION REQUIRED FOR CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS (Use same example for windows found in the “sample of supplemental window drawings” document under additional resources on the Commission website.)**

- Clear photographs of existing windows. When windows are boarded over, remove boards from typical windows in order to take photographs.
- Drawings showing the elevation and horizontal and vertical sections of existing historic windows. Include muntins, mullions, transoms, and other window components (see examples below). For historic steel industrial windows that contain operable units, drawings must include this feature.
- Drawings showing the elevation and horizontal and vertical sections of proposed replacement windows. In the case of a hung window, provide section drawings of both the upper and lower sash, including meeting rail. For replacement steel windows, include sections of both operable and fixed units. See note below regarding manufacturers’ standard cut sheets.
- Drawings should be at the same scale and large enough to clearly show construction details. Scale should be provided, measurements noted, and materials indicated for the main components of the window.
- Drawings of the existing historic window should be accurate, based on field measurements. Examples of window drawings are shown below. Add the dimensions of existing windows and proposed windows.
- Replacement windows must accurately replicate the appearance of existing historic windows. Manufacturers’ standard cut sheets usually are not an adequate substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project. In small projects where windows are being replaced and the historic or existing window is simple in design, manufacturers’ standard cut sheets may be substituted for actual section drawings of the proposed window provided there is sufficient detail for review.
- Window sections must show the profiles of muntins, meeting rails, sash, frames, moldings, and other features. Construction details must be apparent, including joinery. For all projects, the window’s relationship to the existing wall plane must also be provided for both the existing historic windows, when present, and the proposed replacement window

NOTE: The deadline for submission of Certificate of Appropriateness applications is the **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of the month (except when marked with * on Page v below). However, dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

CERTIFICATE OF APPROPRIATENESS APPLICATION

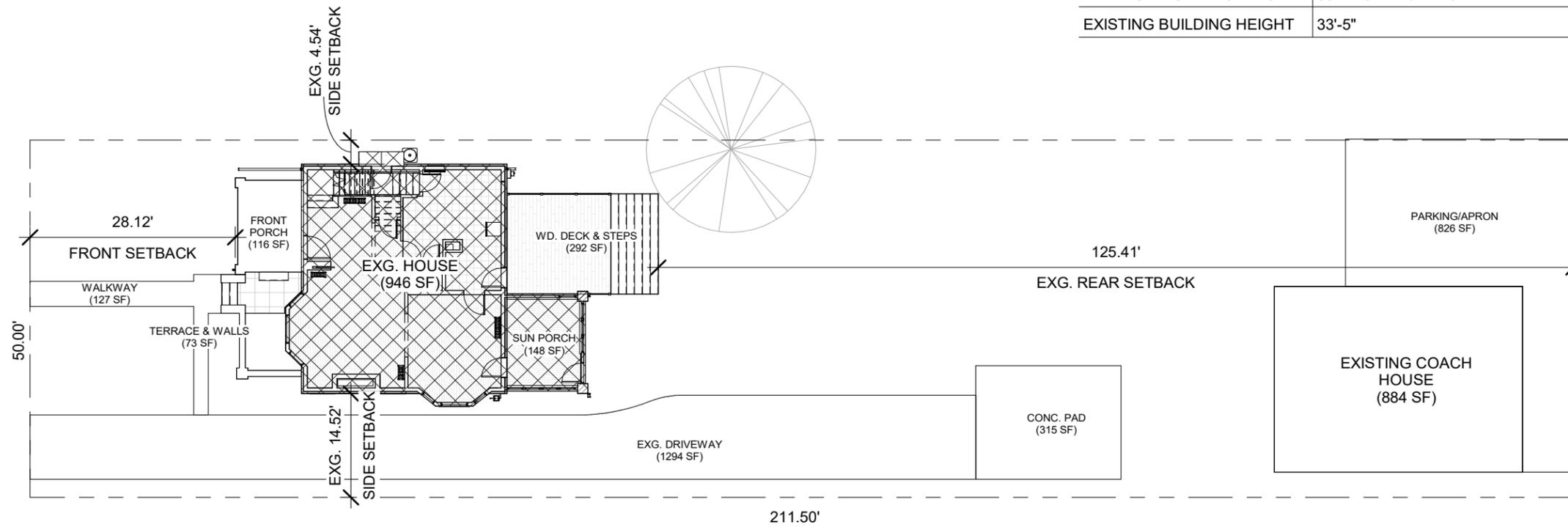
McGUIRE RESIDENCE
2241 SHERMAN AVENUE
EVANSTON, IL 60201

05/31/2022

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ZONING ANALYSIS (R-1)

LOT AREA	10,575 SF
BUILDING LOT COVERAGE	30% MAXIMUM / 3,173 SF
EXISTING BUILDING AREA	2,036 SF
ADDITION ALLOWED	1,137 SF
IMPERVIOUS COVERAGE	45% / 4,759 SF
EXISTING IMPERVIOUS	4963 SF
ADDITIONAL IMP. ALLOWED	-204 SF
MAXIMUM BUILDING HEIGHT	35 FT OR 2 1/2 STORIES
EXISTING BUILDING HEIGHT	33'-5"

1 SITE PLAN - EXISTING
1/16" = 1'-0"

SITE INFORMATION

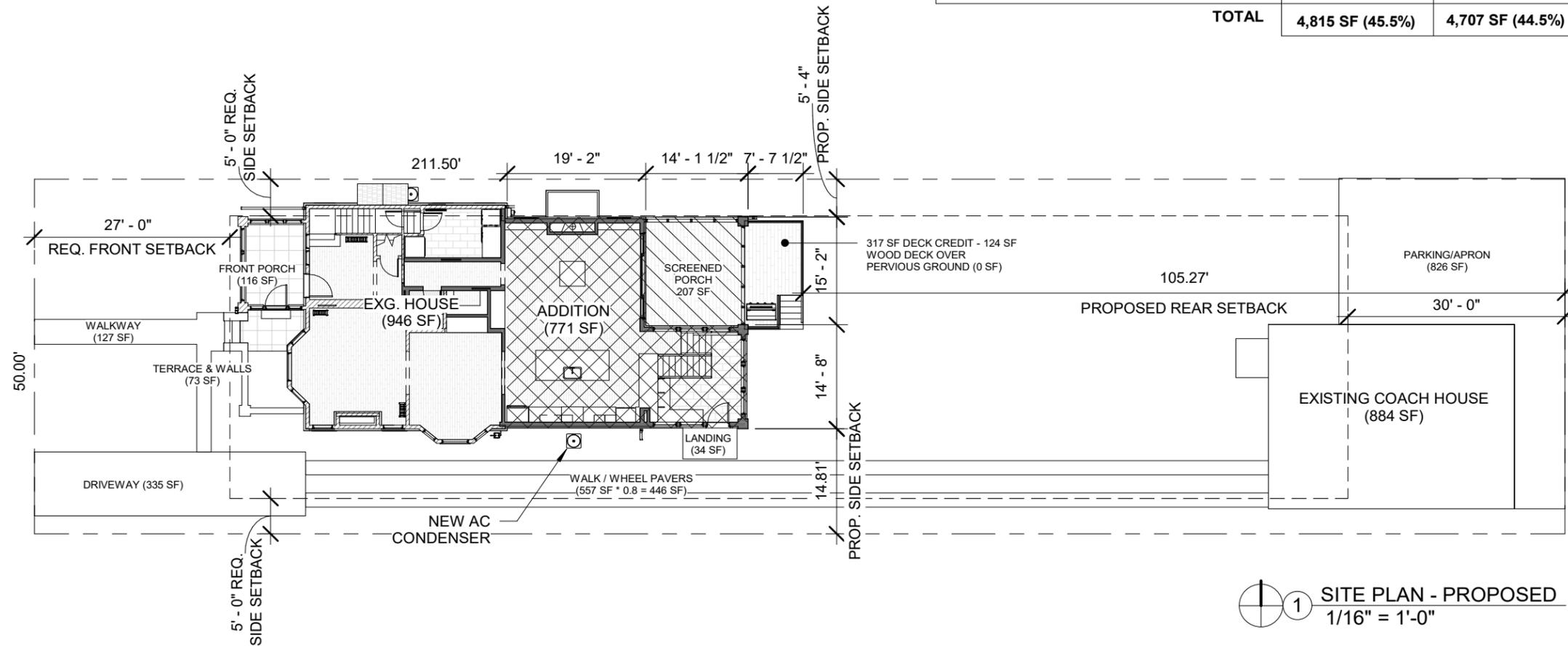
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	-	R-1	NO CHANGE
LOT AREA	7,200 SF MIN.	10,575 SF	NO CHANGE
FRONT SETBACK	27 FT	28.12 FT	NO CHANGE
SIDE SETBACK NORTH	5 FT	4.54 FT	5.33 FT
SIDE SETBACK SOUTH	5 FT	14.14 FT	14.81 FT
REAR SETBACK	30 FT	125.41 FT	105.27 FT

BUILDING COVERAGE
MAX = 30% = 3,173 SF

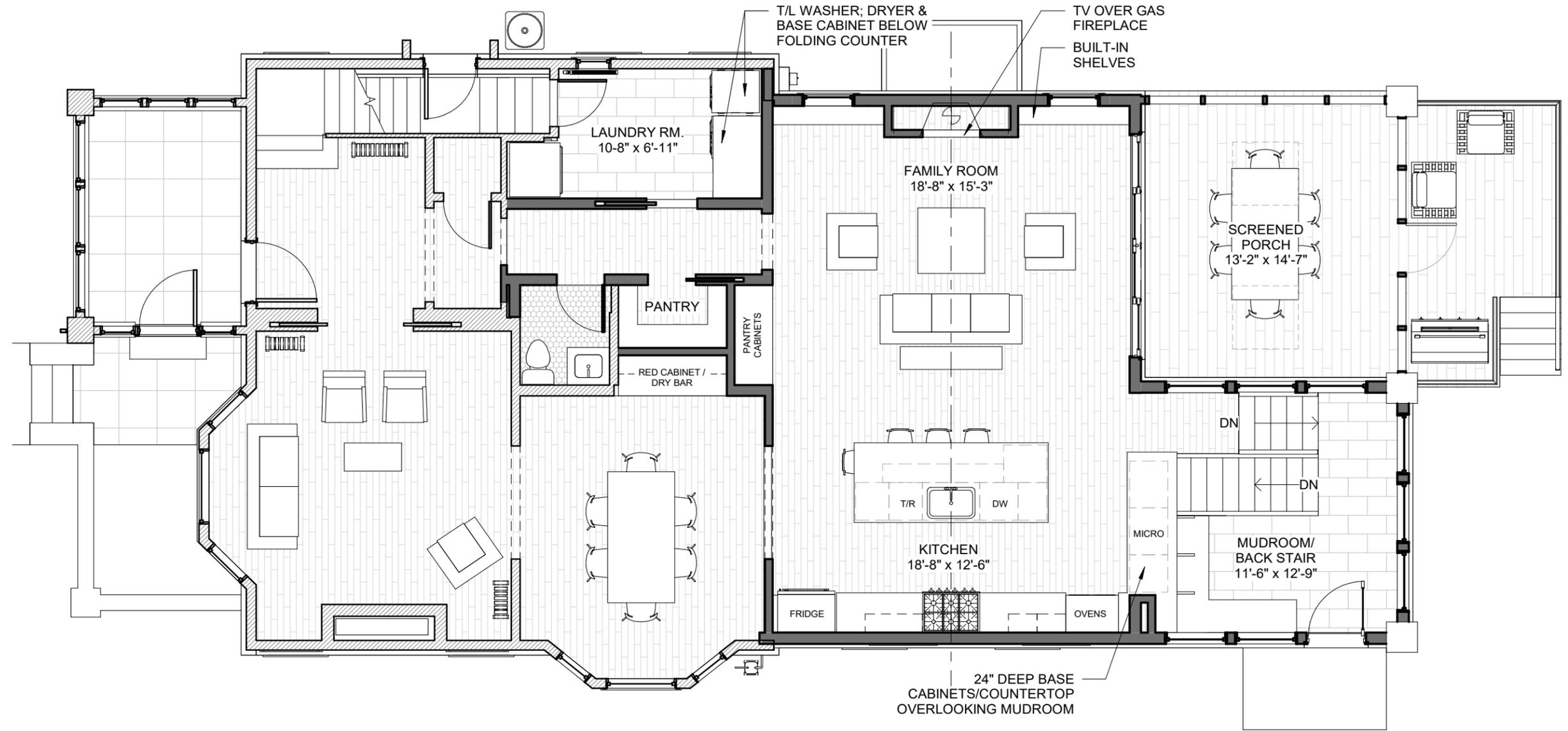
	EXISTING	PROPOSED
(A) EXISTING PRINCIPAL BUILDING	946 SF	946 SF
(B) PROPOSED ADDITION	-	771 SF
(C) DETACHED GARAGE	884 SF	884 SF
(D) ROOFED FRONT PORCH (50% CREDIT)	58 SF	58 SF
(E) SCREENED PORCH	-	207 SF
TOTAL	1,888 SF (17.9%)	2,866 SF (27.1%)

IMPERVIOUS SURFACE COVERAGE
MAX = 45% = 3,520 SF

	EXISTING	PROPOSED
TOTAL BUILDING COVERAGE	1,888SF	2,866 SF
(F) STAIRS AND LANDINGS	-	34 SF
(G) EXISTING FRONT TERRACE	73 SF	73 SF
(H) EXISTING WALKWAYS	127 SF	127 SF
(I) DRIVEWAYS AND APRONS	2,435 SF	1,161 SF
(J) PROPOSED WALK/WHEEL PAVERS (20% PERVIOUS DEDUCTION)	-	557*.8= 446 SF
(J) REAR DECK	292 SF	0 SF
TOTAL	4,815 SF (45.5%)	4,707 SF (44.5%)



1 SITE PLAN - PROPOSED
1/16" = 1'-0"



1 FIRST FLOOR - PROPOSED
 3/16" = 1'-0"

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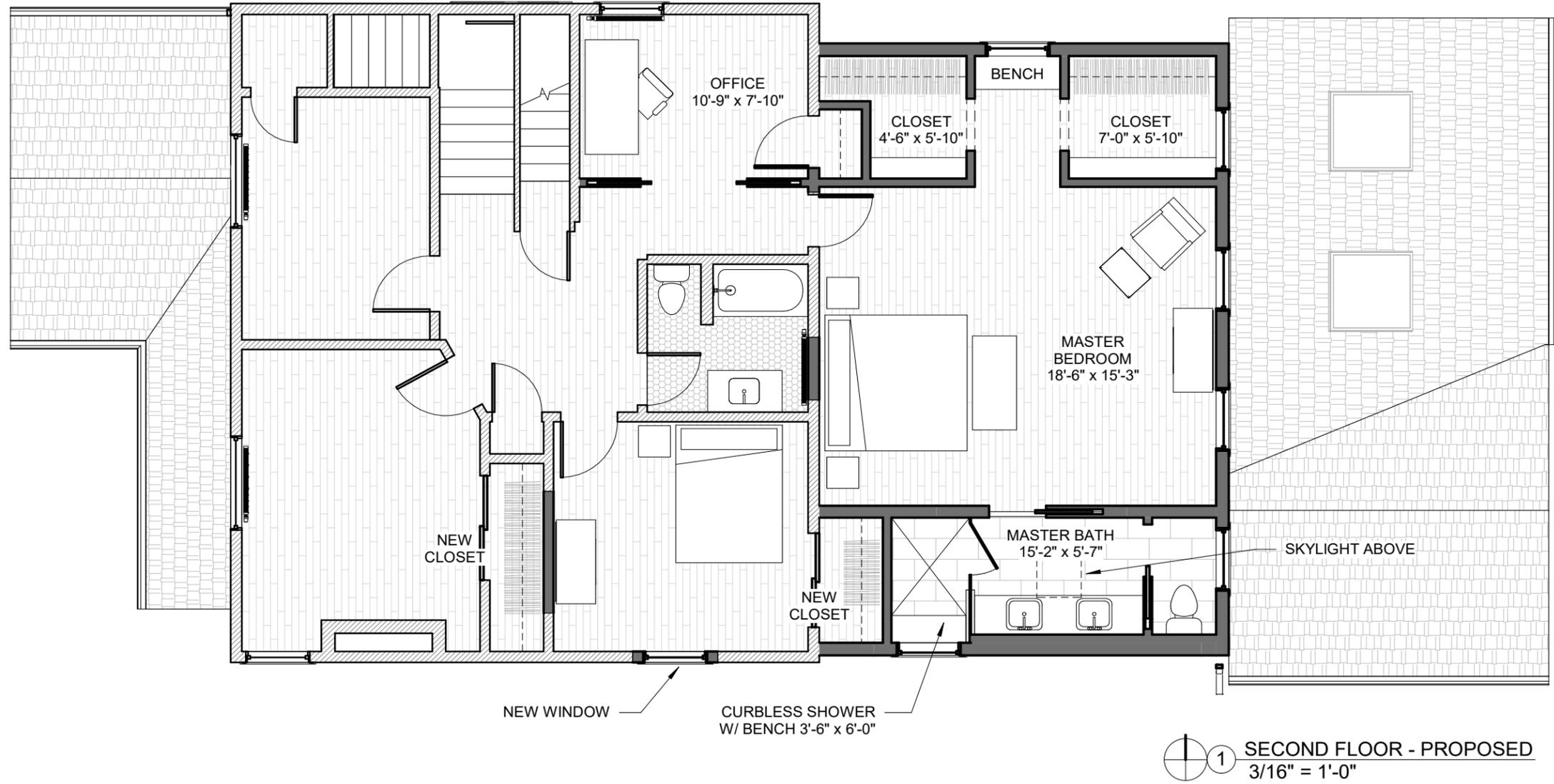
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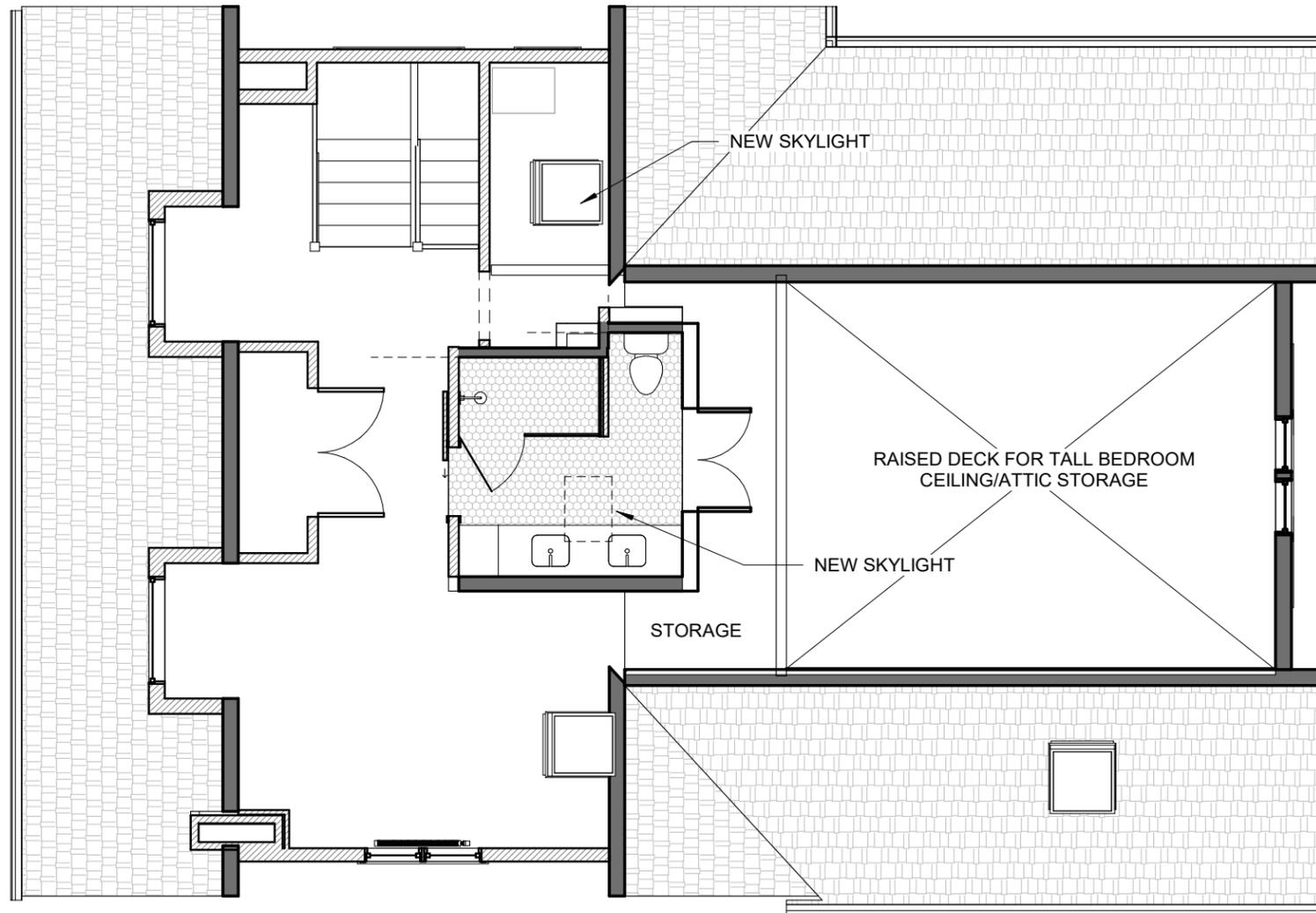
Project #2201

SD1.1

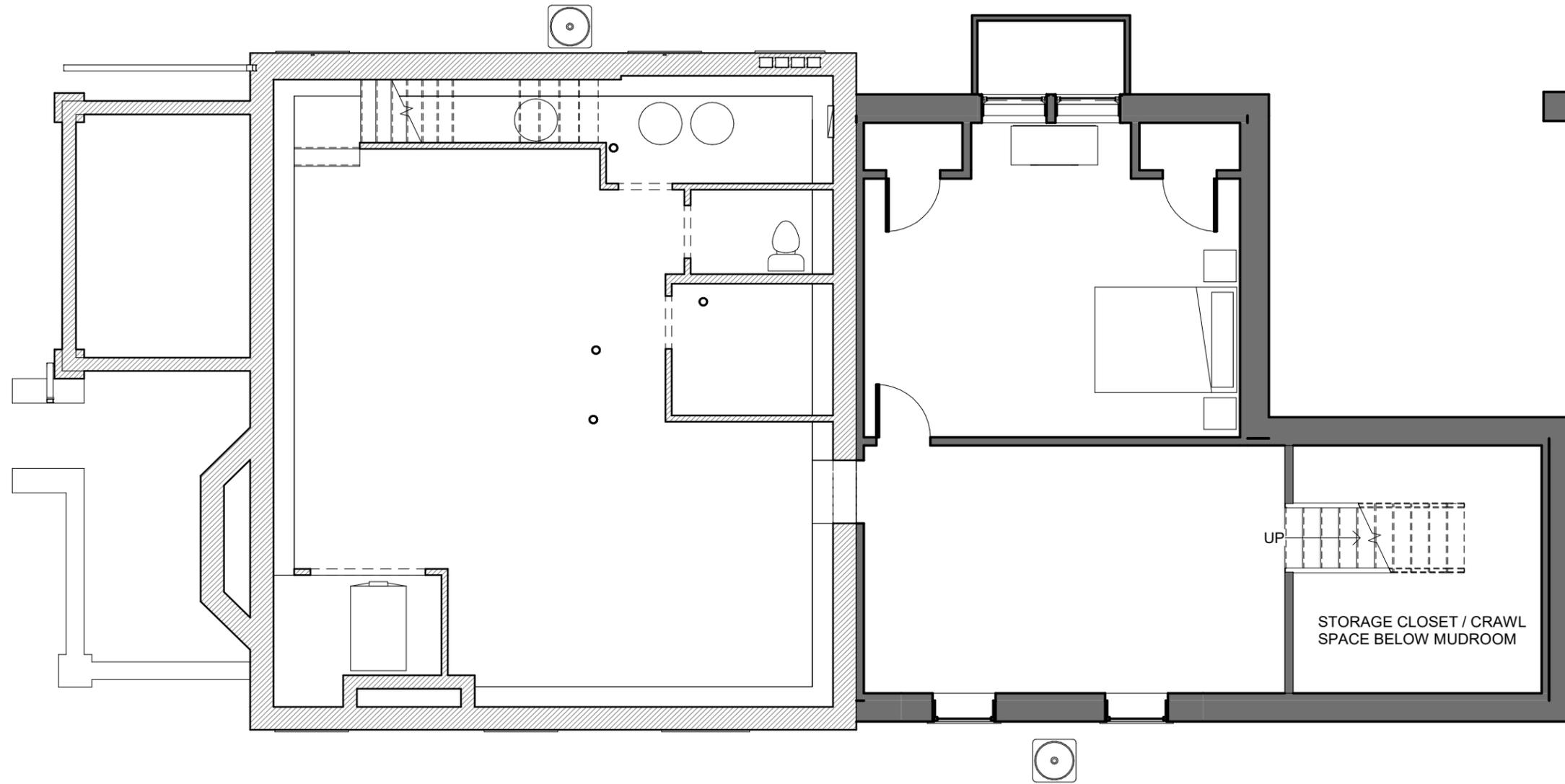
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1 ATTIC PLAN - PROPOSED
3/16" = 1'-0"




 1 BASEMENT PLAN -PROPOSED
 3/16" = 1'-0"

McGUIRE RESIDENCE

Date: 05/31/2022

Project #2201

SD1.4

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① EXISTING WEST ELEVATION
3/16" = 1'-0"

NO PROPOSED CHANGE

McGUIRE RESIDENCE

Date: 05/31/2022

Project #2201

SD2.0



① EXISTING SOUTH ELEVATION
3/16" = 1'-0"



① PROPOSED SOUTH ELEVATION
3/16" = 1'-0"



① EXISTING EAST ELEVATION
3/16" = 1'-0"



② PROPOSED EAST ELEVATION
3/16" = 1'-0"



① EXISTING NORTH ELEVATION
3/16" = 1'-0"



① PROPOSED NORTH ELEVATION
3/16" = 1'-0"

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 Date: 05/31/2022
 Project #2201

SD2.5



① VIEW FROM STREET



② VIEW FROM REAR YARD



① BIRD'S EYE VIEW SOUTHEAST



② BIRD'S EYE VIEW NORTHEAST

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McGUIRE RESIDENCE

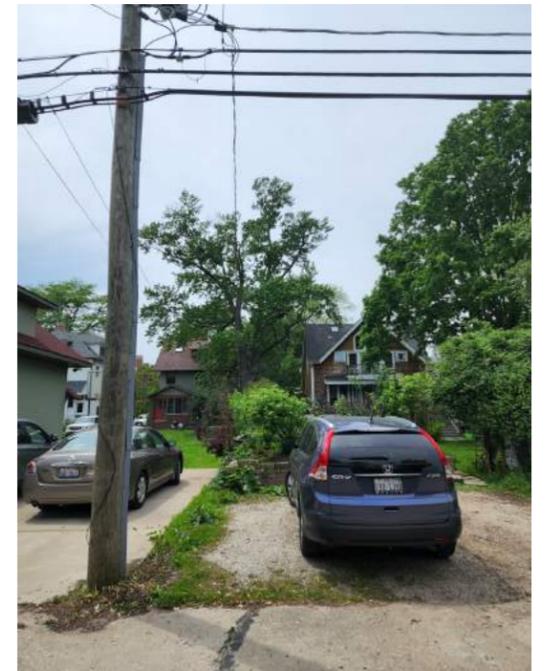
Date: 05/31/2022

Project #2201

SD3.1



VIEW FROM SHERMAN AVENUE



VIEW FROM ALLEY

McGUIRE RESIDENCE

Date: 05/31/2022

Project #2201

SD4.0



**Zoning Analysis
Summary**

Case Number:

Case Status/Determination:

22ZONA-0114 – 2241 Sherman Avenue R1 Single-Family Residential District Northeast Historic District Contributing	Compliant
--	-----------

Proposal:

Removal of rear volume sunroom; construct new two-story frame addition and single-story screen porch and wood deck at rear-volume.
--

Zoning Section:

Comments:

6-8-2-5	The existing lot size is 10,575 square feet
6-8-2-7	The proposed building lot coverage is 27% where 30% is the maximum permitted.
6-8-2-8	The proposed side-yard setbacks to the north and south are greater than the minimum 5' required (14.75' south; and, 5.33' north). The proposed rear-yard setback is 105.25' where a minimum of 30' is required.
6-8-2-9	The proposed addition is two-stories and 33'H and matches the existing ridge height where the lesser of 2.5 stories or 35' is the maximum permitted. The rear sunroom is ~15.5'H.
6-8-2-10	The proposed impervious surface ratio is 44.5% where 46% is the maximum legally non-conforming condition which could remain.
6-4-6-3 (B) Table 4-A	The wooden deck is permitted in the rear yard and maintains the minimum 3' setback from all rear-yard lot lines.
6-4-6-3	The separation between principle structure and the detached existing coach house is greater than the 10' required.

Additional Comments:

- Review and issuance of COA by the HPC is required.



DRAFT

MEETING MINUTES

PRESERVATION COMMISSION

Tuesday May 10, 2022

7:00 P.M.

Via Virtual Meeting

Members Present: Mark Simon, John Jacobs, Sarah M. Dreller
Suzi Reinhold, Carl Klein, Beth Bodan, Stuart Cohen

Members Absent: Aleca Sullivan, Jamie Morris

Staff Present: Cade W. Sterling; Carlos D. Ruiz

Presiding Member: Suzi Reinhold, Chair

Notes Taken by: Cade W. Sterling

Agenda

Old Business

A. 1018 Greenwood Street - Ridge Historic District - 22PRES-0032

David Salzman, owner, submits for a Certificate of Appropriateness to construct a second-story addition atop an existing single-story rear addition, construct a single-story attached garage addition with rooftop deck, and alter the structures front elevation portico.

Applicable Standards: Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

- Continued unanimously to June 14, 2022 to allow the applicant additional time to incorporate comments and provide revisions.

New Business

A. 2330 Orrington Avenue - Northeast Historic District - 22PRES-0051

Michael Hauser, architect, submits for a Certificate of Appropriateness to demolish a rear volume wooden stoop, alter the fenestration on a single-story circa 1990s rear addition and construct a single-story bay addition at the principle structures rear volume.

Applicable Standards: Alteration [1-10]; Construction [1-8; and, 10-15].

- Michael Hauser, provided an overview of the proposed project including the intent to provide a mudroom and create more efficient interior circulation. The alterations proposed are on a circa 1990s rear addition and are minimal in scope although visible from the Street.
- Commissioner Jacobs asked about the window manufacturer and type. Michael Hauser noted the windows were Marvin Ultimate, aluminum clad wood with SDL. The existing home has an amalgam of window types and materials currently including some that are original and some replacements. The proposed windows more-closely mimic the original window qualities.
- A motion to approve by Commissioner Bodan was made and seconded by Commissioner Simon. The proposal was approved as presented on a unanimous vote.

B. **1217 Michigan Avenue - Landmark - Lakeshore Historic District - 22PRES-0049**

Garry Shumaker, architect, submits for a Certificate of Appropriateness to construct a two-story, detached frame garage in the rear-yard.

Applicable Standards: Construction [1-8; and, 10-16].

- Garry Shumaker provided an overview of the proposed project including the differences between this proposal and a recently approved proposal his client wished to no longer pursue.
- Mr. Shumaker noted the proposals zoning compliance as well as the building to the south being a zero-lot-line building
- Other than the new detached coach house and associated pergola structure, the additional elements of the proposal remain the same as previously reviewed and approved by the Commission including demolition of the existing garage
- The associated wall between principle and accessory structure mimics the stonework on the front of the homes porch piers while providing privacy
- Proportions, massing, fenestration, and materials are all similar and complimentary to the principle structure
- Mr. Shumaker noted one drafting error on the proposed drawing set, a primary elevation second-story window, which is actually a proposed wooden panel to match a similar condition on the principle structure
- Mr. Shumaker noted the subordination of the garage, being detached and located ~100 feet from the street
- Mr. Shumaker noted the relationship between the proposed structure and the north fenestration of the adjacent zero-lot-line building. One window is obscured while the remaining windows remain unobstructed.
- Commissioner Simon asked if the applicant could explain the

discussions that occurred that led to locating the building on the setback rather than supply more room between the proposed structure and its adjacent neighbor. The Commission has received a lot of public comment to this effect and it would help address those concerns and give context.

- Mr. Shumaker explained the rationale being that it was zoning compliant as presented, provided the most efficient use of his clients rear-yard, and provided privacy and security. Pushing the garage further to the rear of the property would negate his clients vision for their property, and would result in the need for a zoning variation which was previously denied.
- Commissioners asked to better understand why the new proposal was being made since a previous proposal was already approved by the Commission.
- Mr. Shumaker stated it was two-fold, that his client preferred this concept after further consideration, and that they had not received approval for their request for minor zoning relief. The alternative to appeal that decision, or move forward with a preferred proposal that was zoning compliant is what led to this decision.

Public Comment:

- Polly Nandiko, neighbor to the south, gave testimony against the proposed project, noting that it would block her light and view through her kitchen window. She believed alternatives existed which would achieve the clients vision while not impacting her quality of life.
- Steve Denenberg, neighbor to the south, gave testimony against the proposed project noting the unnecessary loss of quality of life for the residents in the apartment building, an unnecessary change to the harmonious and symbiotic relationship between that structure and the existing detached garage, fears of inability for maintenance of their north façade, as well as limited access to that elevation for emergency purposes. The loss of light to the kitchen window is avoidable, and the decisions being made are not neighborly.

Deliberation:

- The Commission deliberated, with some questions regarding application of various standards. A Commissioner asked if the standard related to orientation of facades was applicable to which Mr. Sterling stated he did not believe it was. The standard relating to the relationship between structures as seen from the street was ultimately believed to be met as the detached garage was pushed so far from the street, that the existing rhythm of spacing of structures at the street frontage, or perceived from the street

- was unchanged.
- Several Commissioners commended the design of the structure itself and the attention to detail while also acknowledging that there may be multiple alternatives which could reduce the impact to the neighbor, but that is not the role of the Commission with powers limited [the role is to review what is presented through the lens of the standards].
- A motion to approve was made by Commissioner Cohen, Seconded by Commissioner Jacobs, and carried unanimously.

C. **2418 Park Place - Landmark - 22PRES-0050**

Patrick Jean-Jacques, owner, submits for a Certificate of Appropriateness to demolish a single-story greenhouse addition and two-story circular stair at the rear of the property, alter the principle structures rear volume fenestration, construct a two-story rear-porch addition and stairway, and construct a wrought-iron railing at the existing front stoop.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-8; and, 10-15].

- Patrick Jean-Jacques, owner, gave a detailed overview of the proposed project including some background on the passing of the architect who designed the proposal.
- Mr. Jean-Jacques provided background on the decision to hire a preservation architect for the proposal, and described the attention to detail and decisions that were made which created a composition which he believed complimented the architecture and significance of the home.
- Mr. Jean-Jacques noted proposed areas for infill of existing windows, including two windows on the east elevation enclosed stair addition which were not included in the plans. These are proposed to be filled for use as closet space. The proposed window enclosure on the west elevation would be slightly inset and the sill retained so future owners could reopen or install windows in the original opening if desired.
- Commissioners asked questions related to the proposed railing system at the front of the home, noting what was proposed did not meet current building code requirements.
- Commissioners and the applicant discussed the value and likelihood of approve for asking for a waiver from the railing requirement. It was suggested that the railing proposed for the rear porch could be replicated for the front railing as well, or something which preserved the ornate newel posts, but introduced additional vertical or horizontal rails/pickets in order to meet code.

- Commissioners discussed the proposed bracketing and filigree at the rear porch including its appropriateness, detailing, and proportion. It was asked that it, and it appears that it did, mimic the existing bracketing, and that the filigree helped to reduce the scale of the porch openings.
- Mr. Ruiz stated the Commission should keep in mind that what they are discussing only had to be compatible with the existing structure.
- A motion to approve with conditions was made by Commissioner Dreler, Seconded by Commissioner Cohen, and approved unanimously.
- Conditions included the applicant revising the porch railing in consultation with staff, and providing additional documentation of the bracketing to be used.

D. **548 Judson Avenue - Lakeshore Historic District - 19PRES-0262**

Maria Nanos, owner, seeks approval of substantial modifications to a previously approved Certificate of Appropriateness, 19PRES-0262, for construction of a new two-story single-family residence and detached two-story coach house and garage. Alterations primarily include changes to the structures roof form, pattern of fenestration including window locations, sizes, and operating style, exterior cladding, and front-porch dimension and detailing.

Applicable Standards: Construction [1-8; and, 10-16]

- Maria Nanos, owner, provided background on the changes made since the project was approved nearly two years previously as well as a detailed explanation of the changes, which predominately related to the roof form, front porch, exterior cladding, and window location and type.
- Commissioners asked questions related to the proposed windows, noting inconsistencies with the drawings provided, the testimony, as well as the window order form that was submitted. For example, the windows in the drawings have no lite divisions, but the order form says they do, the drawings say wood clad windows but the windows in the order form are fiberglass, etc.
- Commissioners stated it was difficult to review what was in front of them if it was not an accurate depiction of what was being proposed and stated it was unfortunate the clients architect was not in attendance to answer questions and clarify
- The applicant noted that the windows do have lite divisions and she believed they were wood clad windows. They changed to casement windows for energy efficiency, and altered locations of windows to align with interior modifications made
- Commissioners stated no preference for wither wood clad or fiberglass since they have approved fiberglass windows for new

- construction previously. They did however want to ensure the use of a SDL as well as verify the correct lite divisions proposed.
- Commissioners expressed concern with the relationship of materials and textures, particularly for the proposed board and batten cladding. As drawn, the size of the batten strips and the space between, create an imbalance in the weight and proportion of the massing.
 - Commissioners noted the improvement and simplification to the roof form.
 - Commissioners asked about the front-porch and front door, which seemed out of proportion as well, noting the previous approval was more appropriate.
 - The applicant noted that the door as drawn was not accurate and that it was proposed to be larger.
 - After some deliberation on the appropriateness of a continuance vs approval with conditions, Commissioner Jacobs moved approval, seconded by Commissioner Klein and carried unanimously.
 - Conditions included submission of revised elevation drawings with show the accurate lite division for the windows, additional window details, clarification on the window material and use of a SDL, revising the front door to reflect the correct proportion of that opening, and revising the board and batten cladding to have tighter spacing, particularly in the gable end, but also on the accessory structure (coach house).

Approval of Meeting Minutes

- A. **Minutes from March 15, 2022**
- Approved as presented with one abstention (Commissioner Dreler)
- B. **Minutes from April 12, 2022**
- Approved as presented with one abstention (Commissioner Cohen).

Staff Reports

- A. **Long-Range Work Plan**
- Revisions to the plan are being incorporated and a final draft of the document will be reviewed by the subcommittee prior to review by the Commission.
- B. **Preservation Month Activities**
- Staff provided information on preservation month activities

planned throughout the community including dedication of the first African-American heritage markers which the Commission was heavily involved with.

Discussion

A. Downtown Heritage Resources

Staff recommends discussion around the potential for and value of an intensive survey of the downtown area. Survey and documentation efforts comprise in-field assessment and background research into the historical, cultural, and architectural significance of Evanston's heritage resources. Maintaining an active program in survey and documentation forms the foundation for effective community preservation planning.

- Mr. Sterling provided information on the proposal to survey the downtown, an effort which was intended to help aid in its economic recovery and support more appropriate redevelopment, adaptive use, and rehabilitation efforts.
- Mr. Sterling stated this effort would also supplement the work done by the Commission previously in 2007 as part of creation of the 2008-2009 Downtown Plan
- Mr. Sterling stated various potential and valuable components of the survey which could go beyond the architectural significance and include legacy businesses, incentives, cultural resources, and historical resources and stories.
- Commissioners discussed the significant effort being described and the potential to use CLG funding to hire a consultant. They also described uncertainty about the scope being proposed and the likelihood that it be narrowed.
- Mr. Sterling stated the effort could be narrowed in scope to the existing traditional zones in the downtown, or evaluating the list of supplemental resources prepared by the prior Planning Manager in 2019.
- Commissioners discussed available apps and other resources meant to help facilitate volunteer and Commission survey work
- Chair Rheinhold suggested a good first step would be walking tours of the downtown, which could focus on the traditional zones, to orient the Commissioners and get preliminary feedback before moving forward with next steps.

Adjournment:

The meeting was adjourned at 9:40pm