



AGENDA
Preservation Commission
Tuesday, September 13, 2022
Lorraine H. Morton Civic Center, Room 2800 7:00 PM

Page

1. CALL TO ORDER/DECLARATION OF A QUORUM

2. NEW BUSINESS

A. 1247 Ridge Avenue – Ridge Historic District – 22PRES-0165 3 - 35

Omar Gutierrez, architect, submits for a Certificate of Appropriateness to demolish an existing wood frame deck and stone retaining wall at the homes rear volume and construct a single-story frame addition and concrete retaining wall in the same footprint.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

[0. Title Page Separator](#)

[1. 1247 Ridge Staff Report](#)

[2. 1247 Ridge COA Application](#)

[3. 1247 Ridge Plat](#)

[4. 1247 Ridge Plans](#)

[5. 1247 Ridge Photos](#)

3. APPROVAL OF MEETING MINUTES

A. Minutes of July 12, 2022 36 - 38
[20220712 HPC Minutes DRAFT](#)

4. DISCUSSION

A. Preserve 2040 - Preservation Commission Long-Range Work Plan

39 - 74

Staff proposes review and discussion of the Preserve 2040 Work Plan. The document intends to be the Commission's principle policy document which outlines specific goals, policies, and strategies to guide and support preservation activities in the City across the next 20 years. The previous plan was developed in 1980 and has seen its associated initiatives and goals realized.

[Preserve2040 DRAFT](#)

B. Downtown Heritage Resource Survey

Staff shall provide an update on the Downtown Heritage Resource Survey to date, and outline next steps.

C. Legacy Business Pilot Program

Staff shall provide an update on the City's Legacy Business Pilot Program being developed in partnership with a subset of the Preservation Commission, the City's Planning and Zoning Division, Economic Development Division, and Councilmembers.

5. ADJOURNMENT

Order & Agenda Items are subject to change. Information about the Preservation Commission is available at: Preservation Commission Questions can be directed to Cade W. Sterling at 847-448-8231 or at csterling@cityofevanston.org. The city is committed to ensuring accessibility for all citizens; if an accommodation is needed to participate in this meeting, please contact the Planning and Zoning Division at (847-448-8687) 48 hours in advance so that arrangements can be made for the accommodation if possible.

Español - La ciudad de Evanston tiene la obligación de hacer accesibles todas las reuniones públicas a las personas minusválidas o a quienes no hablan inglés. Si usted necesita ayuda, favor contacte a Carlos D. Ruiz de la Oficina de Planificación y Zonificación llamando al (847/448-8687) o cruiz@cityofevanston.org con 48 horas de anticipación para acomodar su pedido en lo posible.

1247 Ridge Avenue – Ridge Historic District – 22PRES-0165

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STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, Planner
Subject: 1247 Ridge Avenue – 22PRES-0165
Date: September 1, 2022

Public Notice

1247 Ridge Avenue – Ridge Historic District – 22PRES-0165

Omar Gutierrez, architect, submits for a Certificate of Appropriateness to demolish an existing wood frame deck and stone retaining wall at the homes rear volume and construct a single-story frame addition and concrete retaining wall in the same footprint.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; Construction [1-5; 7-8; and, 10-15]

Construction Period:

1892; 1919 (additions and alterations)

Style:

Queen Anne; Free Classic Subtype

Architect of Record:

Original Architect Unknown; Substantial additions and alterations by Myron Hunt

Condition:

Excellent

Integrity:

Good (historic additions and alterations)

Status:

Contributing

Setting:

Located in the south central portion of the Ridge Historic District on the southeast corner of Ridge Avenue and Dempster Street, 1247 Ridge Avenue is a two-and-one-half story home constructed in 1892 with substantial additions and alterations undertaken in 1919. Surrounding properties are an eclectic mix of high-style and more vernacular structures of varying uses and densities.

Significance:

The form and detailing of the original 1890s home is unknown, and may have more closely followed the Queen Anne style and more specifically a Free Classic subtype. Later alterations and additions by Myron Hunt combine forms and detailing from the Queen Anne, Colonial Revival, and Craftsman with subtle Prairie influences. The home is handsome in its massing and proportions, and spare in ornament.

Myron Hubbard Hunt (1868-1952), like several architects who practiced in Evanston during the early 20th centuries, came to the Chicago area from the East Coast. Although Hunt lived in Chicago and was briefly educated at Northwestern University before receiving a degree in architecture from MIT, he would return to Evanston afterward, becoming the local representative of the Boston-based firm of Shepley, Rutan and Coolidge, the successor firm to Henry Hobson Richardson, the noted practitioner of the Romanesque Revival style. For a brief time, Hunt would study under Frank Lloyd Wright. While in Evanston, Hunt designed 39 homes that are largely characterized as an amalgamation of the Prairie, Shingle, Queen Anne, and Colonial Revival stylistic influences – all present in 1247 Ridge Avenue. In 1903 Hunt would relocate to Los Angeles and enter into a partnership with Elmer Grey to design several important residential, commercial, and institutional commissions including libraries, hotels, college campus plans, department stores, banks, and country clubs. One of his more notable projects during this period was the Rose Bowl football stadium, completed in 1922 in conjunction with Harold Chambers.

Proposal:

The applicant proposes to demolish the existing rear wood frame deck and stone retaining wall in order to construct a new single-story wood frame addition set on piers in the same footprint as the previous deck. The decision to construct on piers respects a below-grade entrance at the basement level. The demolished stone wall is proposed to be replaced with concrete. The addition is proposed to be clad in wood clapboard siding with exposure to match that of the principle structure. The proposed fenestration mimics the existing small addition to the north of the deck, double-hung with transom, also present on the homes circa 1920s four-seasons room. Detailing of the proposed parapet wall is minimal with simple cap, although the architect and homeowner have expressed a willingness to match the homes soffit, and fascia detailing including the dentil course, if necessary.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Demolition

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.

2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) **pdf format copy** of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- **3D drawings** of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 1247 Ridge Avenue	FOR STAFF USE ONLY Application Number:
2) Owner's Name: Thomas and Cathy Giella	Address: 1247 Ridge Avenue
City: Evanston State: IL Zip: 60202	Phone: (312) 375-0629 Email/Fax: tgiella@comcast.net
3) Architect's Name: Omar Gutiérrez	Address: 1209 Monroe St.
City: Evanston State: IL Zip: 60202	Phone: (847) 903-4067 Email/Fax: omar@ogutierrez.com
4) Contractor's Name: Kendall Meyer	Address: 7312 Lawndale Ave.
City: Skokie State: IL Zip: 60076	Phone: (224) 470-1224 Email/Fax: kendall@meyerguild.com
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;	
If yes, <input type="checkbox"/> Lakeshore <input checked="" type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires: <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only. Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

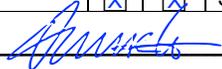
1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

We are proposing to convert a wood framed Deck into an enclosed 3 Seasons Room with matching architectural details and configuration to the existing adjacent area. The proposed improvements do not increase the amount of impervious surfaces on the lot since the existing Deck is located above a concrete slab to remain.

We are also proposing the replacement of a deteriorated stone retaining wall with a new concrete retaining wall.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input type="checkbox"/> Construction	<input type="checkbox"/> Residential <input type="checkbox"/> Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.									
Existing	Proposed		Existing	Proposed		Existing	Proposed		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Façades/Front Porch & Rear Porch Material Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material Copper Sheet Metal Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fences Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____	
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		Terraces, Patios, Decks Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: Composite decking
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Material Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
<input type="checkbox"/>	<input type="checkbox"/>	Roofing Material Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: Low slope membrane	<input type="checkbox"/>	<input type="checkbox"/>	Door Material Wood Metal Clad Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed): <input type="checkbox"/> <input type="checkbox"/> Air Conditioning Unit <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Chimney Material Brick Stone Stucco Other: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Window Type Double Hung Casement Other: Transom	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	Gutters/Downspouts Copper Aluminum Galvanized Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Window Material Wood Aluminum Steel Other: Aluminum clad/wood	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Muntins Not existing True divided lights Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
4) Applicant's Signature: 						Date:			
Print Name: Omar Gutiérrez						7/6/2022			
Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].									

Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS: Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts (Briefly explain below/attach a separate sheet if necessary).

B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation (Briefly explain below/attach a separate sheet if necessary).

C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98). (Briefly explain below/attach a separate sheet if necessary).

4) Applicant's Signature: _____
Print Name:

Date:

NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

SUPPLEMENTAL INFORMATION
COA Application Checklist

Submit one (1) digital copy in PDF format of the same as follows:

- APPLICATION FOR PRESERVATION REVIEW** - To process your application,
- ELEVATIONS/SITE PLANS/DRAWINGS** to scale including dimensions (not to exceed 11" x 17" paper size).
- CHANGES TO THE EXTERIOR INCLUDING CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS - SEE ADDITIONAL INFORMATION REQUIRED FOR WINDOW CHANGES (BELOW)**

Provide an **exterior elevation** of each façade involved, showing the existing and proposed appearance (preferably on the same sheet for each façade) with the new items/areas clearly identified.

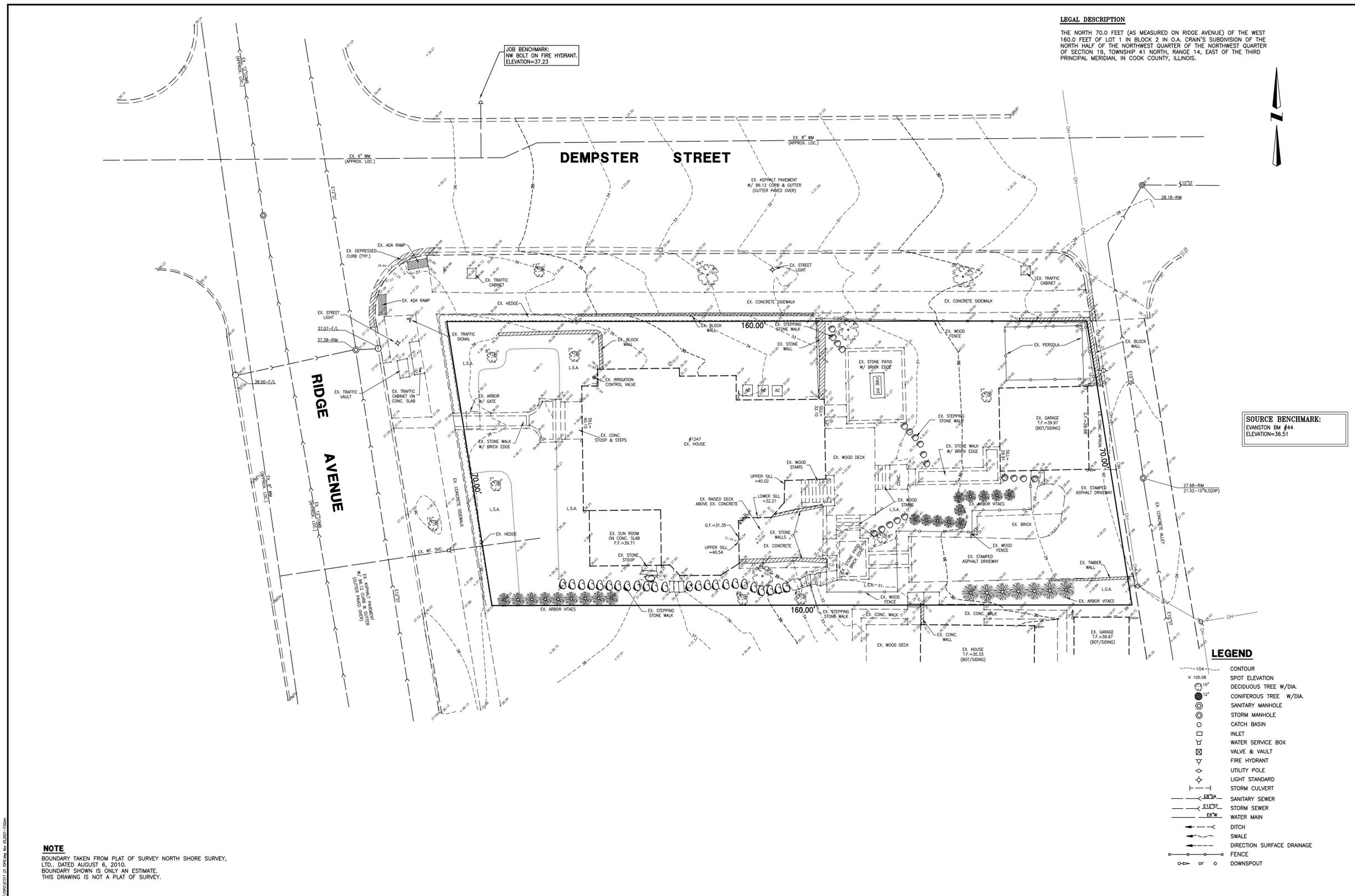
 - Site plan with the existing footprint of the primary structure(s) clearly showing the side(s) being altered.
 - If the changes also include a **change in the footprint**, provide a **site plan** clearly showing the location of proposed change, setback dimensions, existing and proposed lot coverage, existing and proposed setbacks, location and height of existing and proposed fences, parking, and landscape design (if any).
- ADDITIONS, NEW CONSTRUCTION/DEMOLITION**
 - If a major alteration, construction or demolition is planned, City staff will notify neighbors within 250 feet of the subject property at least five (5) business days prior to the Preservation Commission hearing to allow neighbors to comment on the proposal at the meeting. The applicant is responsible for providing to City staff the filled out Certification and Notice along with the updated list of names and addresses of current owners/taxpayers in Excel format. City staff will provide the initial list (Excel file) of names and addresses to the applicant with the instructions.
 - **Exterior elevations**, showing building materials, height and width of proposed structure in the context of existing primary structure and/or the immediate surroundings.
 - **Site Plan** clearly showing the location of proposed structure, existing and proposed lot coverage, proposed setbacks and their dimensions, location and height of proposed fences, parking, and landscape design (if any).
 - **Roof Plans** - Provide roof plans to scale including dimensions.
 - **3D drawings, models** (for new construction and substantial additions)
 - **Photos of existing building, structure, site, fence or object in context with the immediate structures on the block.**
- LAND-ALTERING ACTIVITY** - Full **description and illustrations** including berming, re-grading, excavation, walkways, patios, and alteration of seawalls, etc.
- FENCES** - **Site plan** with fence location(s) clearly identified. Also, **illustration(s)** of existing and or proposed fence indicating the material, the height, and length (to scale). If zoning variance or fence variance is required, see section immediately below.
- ZONING VARIANCE FOR ADDITIONS, NEW CONSTRUCTIONS, FENCE VARIANCE**
 - Fully completed Part C of the COA application
 - Zoning Analysis Summary as prepared by the Zoning Division
 - Fully completed Zoning or Fence Variation Application as submitted to the Zoning Division
- SPECIAL USE** - Special Use Application as submitted to the Zoning Division
- PLANNED DEVELOPMENT** - Planned Development Application as submitted to the Zoning Division, including: Zoning Analysis, General Information Form, Special Use Application, Executive Summary and Aerial Photograph, Zoning Comparison, Number of Units, Unit Mix and Description, Statement in Support of Proposal Survey, Development Plan, Preliminary Civil Engineering Plan and Preliminary Landscape Plan

☐ **SUPPORTING INFORMATION** - Any information you feel would enhance your application (e.g., photos, letters of support from neighbors, scale models, material samples, etc.). Photos of elevations, proximity to neighbors and any other information must show significant detail and/or context to be replicated. Details must be visible on printouts of digital photos and black and white copies of photos.

☐ **ADDITIONAL INFORMATION REQUIRED FOR CHANGES TO WINDOWS, DOORS, STORM WINDOWS AND STORM DOORS (Use same example for windows found in the “sample of supplemental window drawings” document under additional resources on the Commission website.)**

- Clear photographs of existing windows. When windows are boarded over, remove boards from typical windows in order to take photographs.
- Drawings showing the elevation and horizontal and vertical sections of existing historic windows. Include muntins, mullions, transoms, and other window components (see examples below). For historic steel industrial windows that contain operable units, drawings must include this feature.
- Drawings showing the elevation and horizontal and vertical sections of proposed replacement windows. In the case of a hung window, provide section drawings of both the upper and lower sash, including meeting rail. For replacement steel windows, include sections of both operable and fixed units. See note below regarding manufacturers’ standard cut sheets.
- Drawings should be at the same scale and large enough to clearly show construction details. Scale should be provided, measurements noted, and materials indicated for the main components of the window.
- Drawings of the existing historic window should be accurate, based on field measurements. Examples of window drawings are shown below. Add the dimensions of existing windows and proposed windows.
- Replacement windows must accurately replicate the appearance of existing historic windows. Manufacturers’ standard cut sheets usually are not an adequate substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project. In small projects where windows are being replaced and the historic or existing window is simple in design, manufacturers’ standard cut sheets may be substituted for actual section drawings of the proposed window provided there is sufficient detail for review.
- Window sections must show the profiles of muntins, meeting rails, sash, frames, moldings, and other features. Construction details must be apparent, including joinery. For all projects, the window’s relationship to the existing wall plane must also be provided for both the existing historic windows, when present, and the proposed replacement window

NOTE: The deadline for submission of Certificate of Appropriateness applications is the **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of the month (except when marked with * on Page v below). However, dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).



LEGAL DESCRIPTION
 THE NORTH 70.0 FEET (AS MEASURED ON RIDGE AVENUE) OF THE WEST 160.0 FEET OF LOT 1 IN BLOCK 2 IN O.A. CRAIN'S SUBDIVISION OF THE NORTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

JOB BENCHMARK:
 NW BOLT ON FIRE HYDRANT.
 ELEVATION=37.23

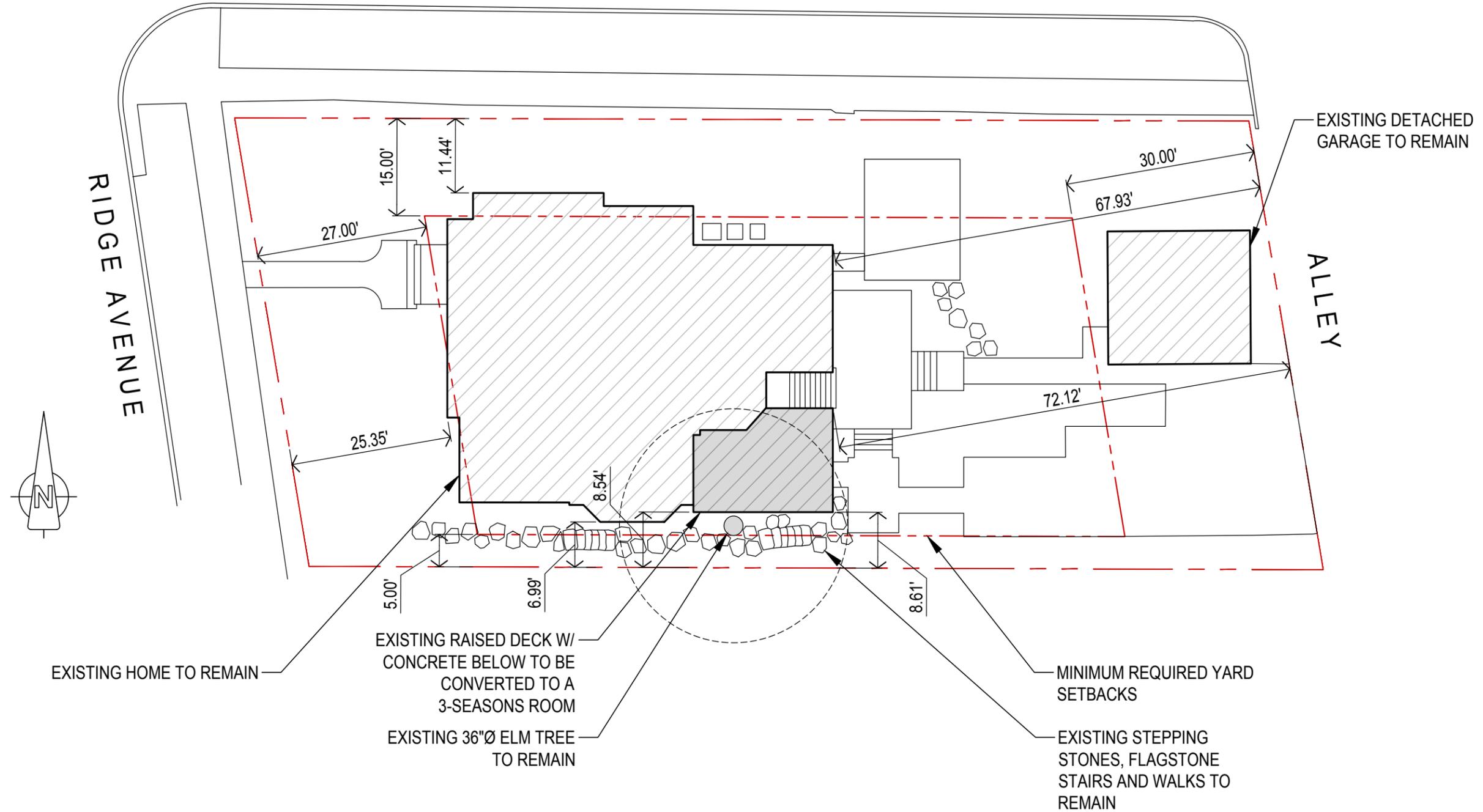
SOURCE BENCHMARK:
 EVANSTON BM #44
 ELEVATION=36.51

NOTE
 BOUNDARY TAKEN FROM PLAT OF SURVEY NORTH SHORE SURVEY, LTD., DATED AUGUST 6, 2010.
 BOUNDARY SHOWN IS ONLY AN ESTIMATE.
 THIS DRAWING IS NOT A PLAT OF SURVEY.

- LEGEND**
- 104 --- CONTOUR
 - x 105.08 SPOT ELEVATION
 - 10' DECIDUOUS TREE W/DIA.
 - 12' CONIFEROUS TREE W/DIA.
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - INLET
 - WATER SERVICE BOX
 - VALVE & VAULT
 - FIRE HYDRANT
 - UTILITY POLE
 - LIGHT STANDARD
 - STORM CULVERT
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - DITCH
 - SWALE
 - DIRECTION SURFACE DRAINAGE
 - FENCE
 - or ○ DOWNSPOUT

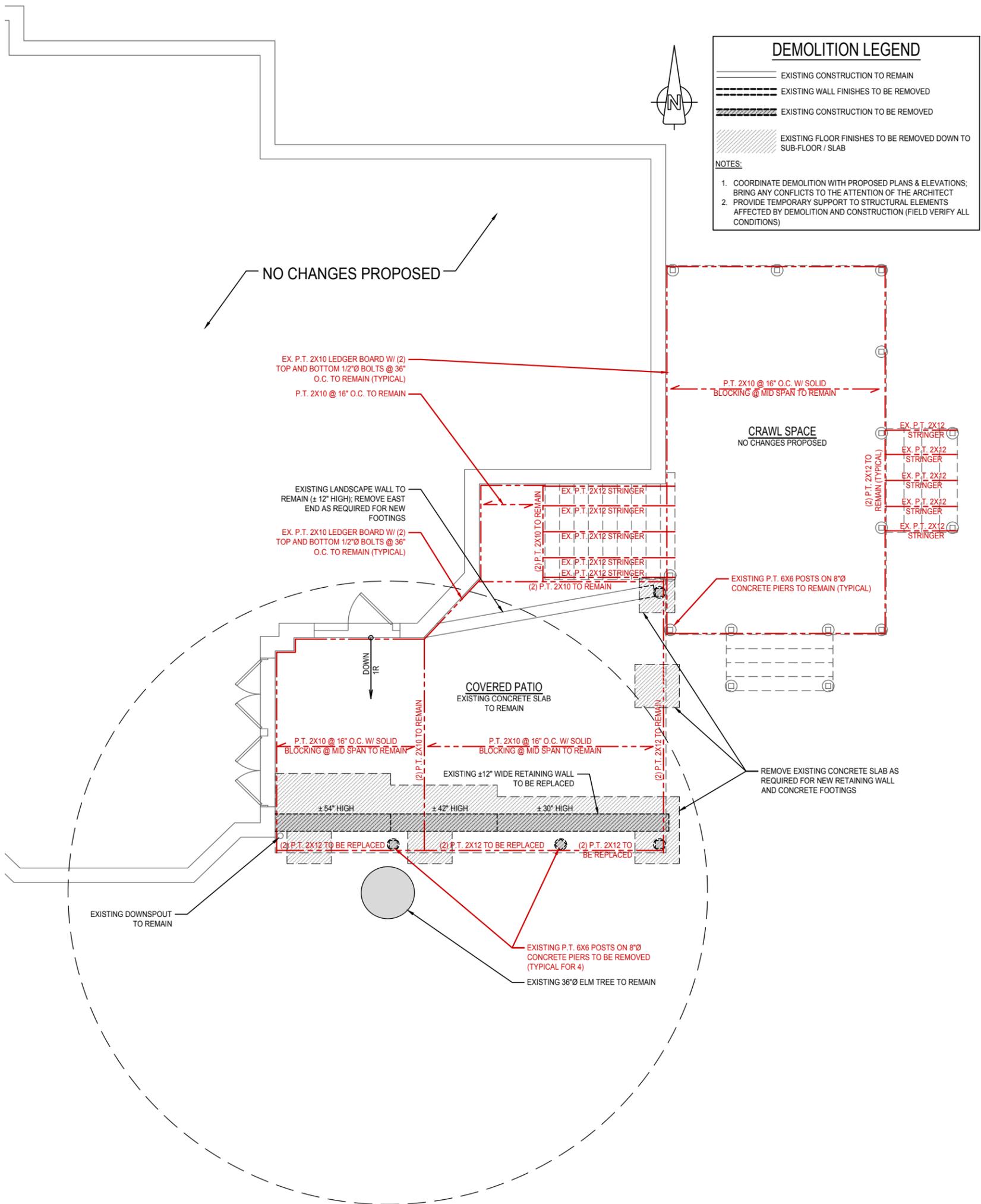
<p>SCALE IN FEET</p>	<p>DESIGNED BY: MRY DATE: 11-5-21</p> <p>CHECKED BY: DRF DATE: 11-5-21</p> <p>APPROVED BY: DRF DATE: 11-5-21</p>	<p>GREENGARD, INC. <i>Engineers • Surveyors • Planners</i></p> <p>111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623 PHONE: 847-634-3883 FAX: 847-634-0887 E-MAIL: 231@GREENGARDING.COM ILL. REGISTRATION NO. 184-000995</p>	<p>SCALE: 1"=10'</p> <p>DRAWING No: 67311</p> <p>SHEET 1 of 1</p>	<p>1247 RIDGE AVENUE - EVANSTON, ILLINOIS</p> <p>EXISTING TOPOGRAPHY</p>
<p>SOLE PROPERTY OF GREENGARD, INC. AND NO REPRODUCTION OR USE, IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF GREENGARD, INC.</p>	<p>DRAWN BY: DATE: REVISIONS: DRAWN BY: DATE: REVISIONS:</p>			

DEMPSTER STREET



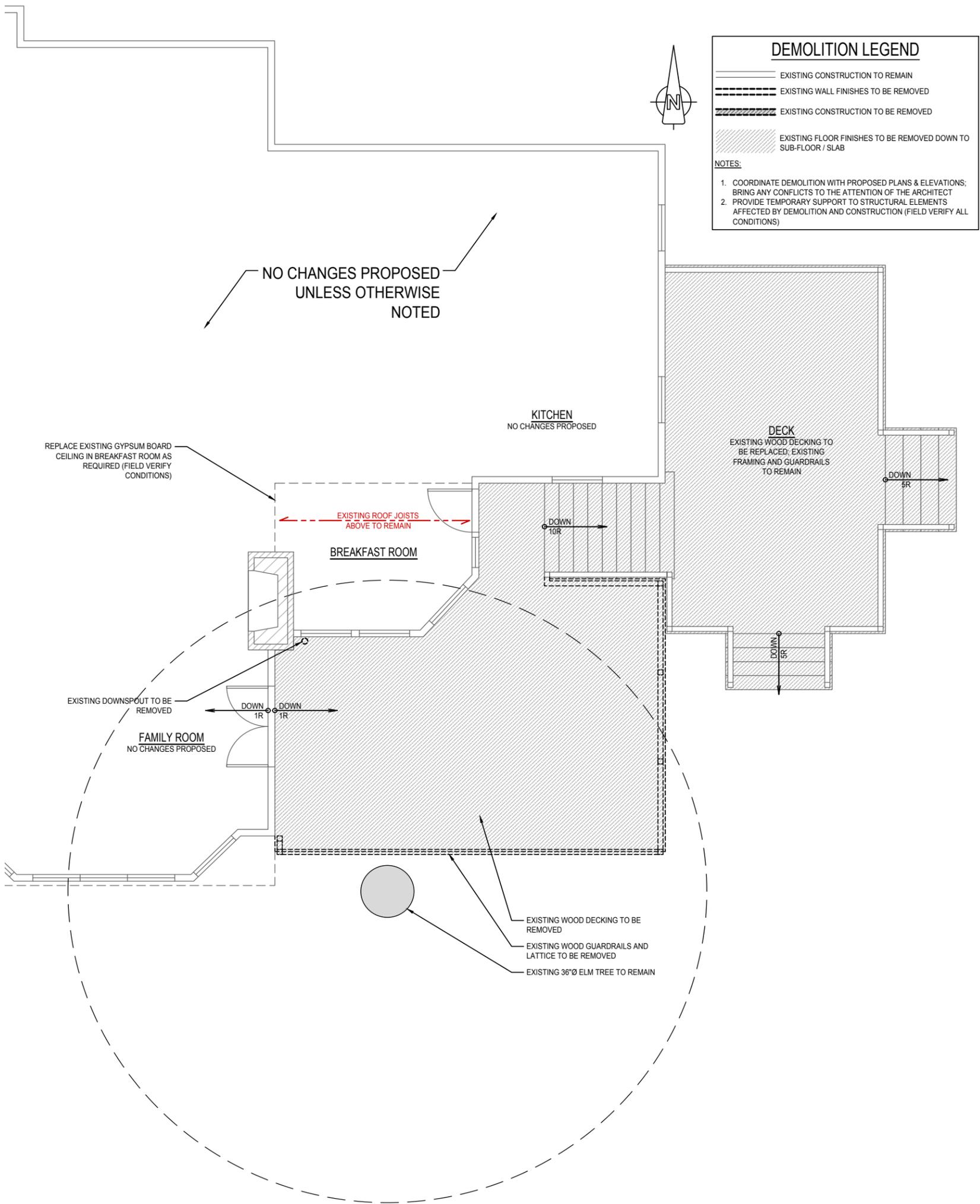
 <p>Omar Gutiérrez, NCARB architect</p>	<p>1209 Monroe St. Evanston, IL 60202 Ph: 847.903.4067 omar@ogutierrez.com www.ogutierrez.com</p>	<p>Sheet 1 of 13</p>
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THE GIELLA RESIDENCE
1247 RIDGE AVE. - EVANSTON, IL
SITE PLAN - SCALE: 1"=15'-0" - 07/06/2022
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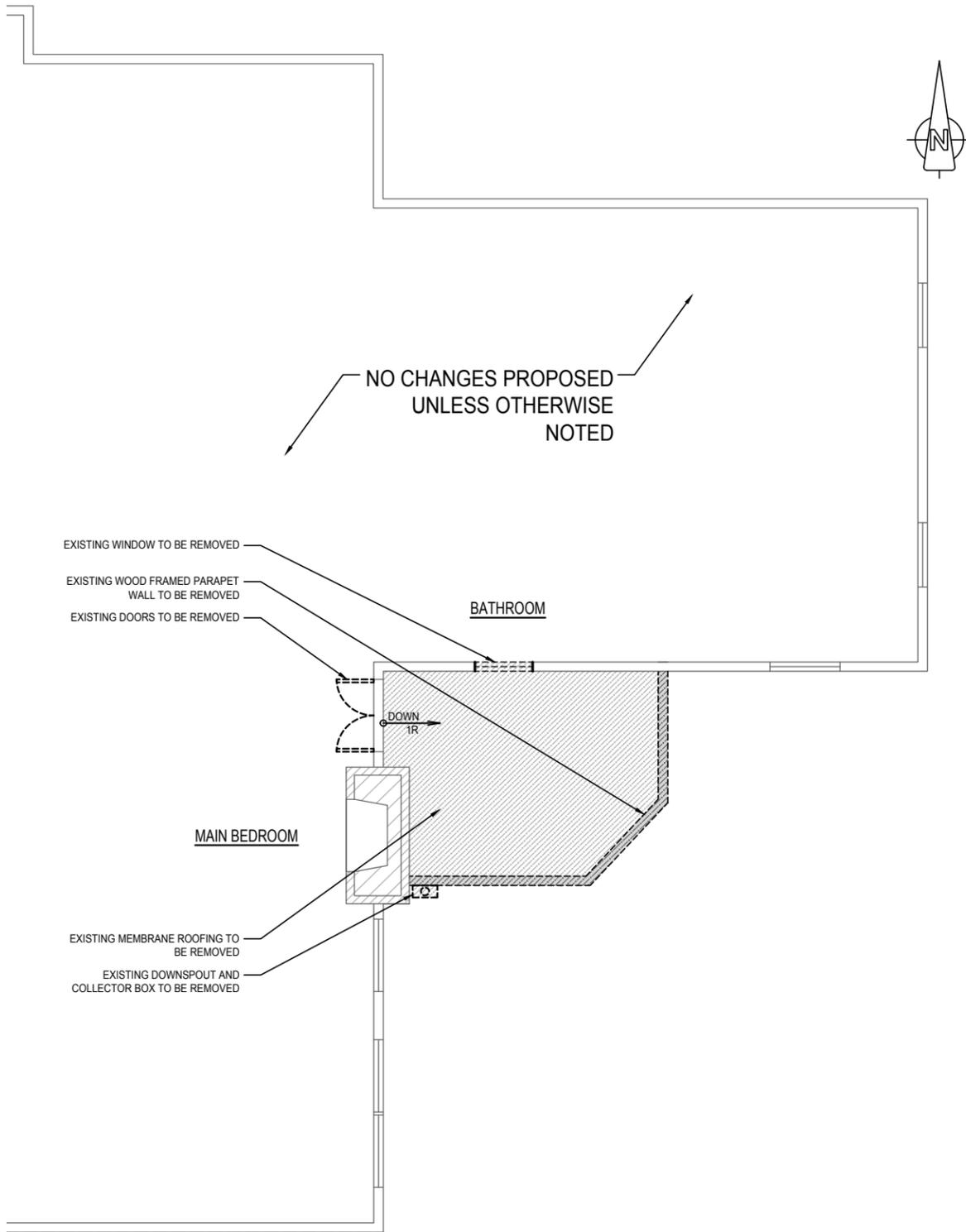
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DEMOLITION LEGEND

— EXISTING CONSTRUCTION TO REMAIN

--- EXISTING WALL FINISHES TO BE REMOVED

==== EXISTING CONSTRUCTION TO BE REMOVED

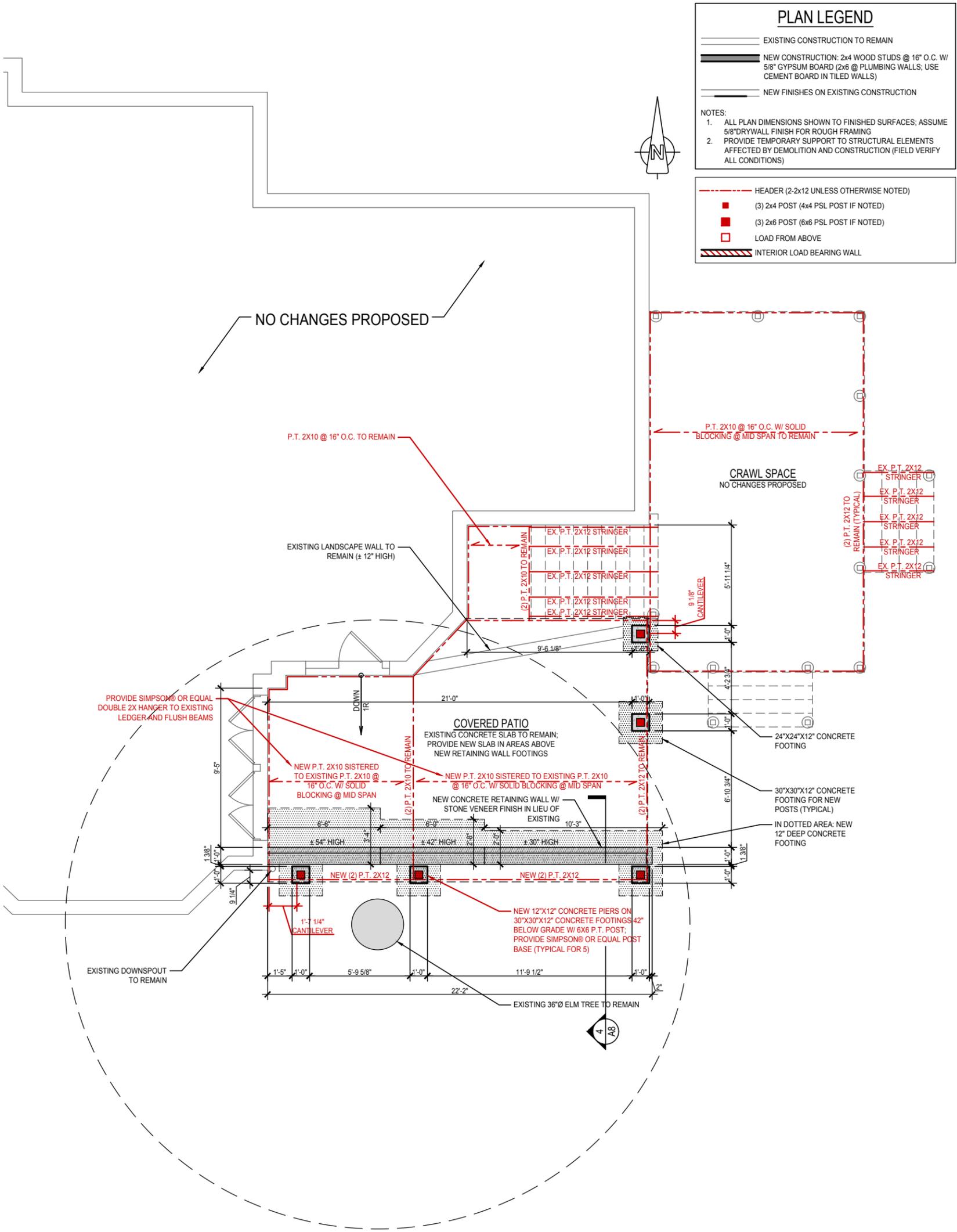
/// EXISTING FLOOR FINISHES TO BE REMOVED DOWN TO SUB-FLOOR / SLAB

NOTES:

1. COORDINATE DEMOLITION WITH PROPOSED PLANS & ELEVATIONS; BRING ANY CONFLICTS TO THE ATTENTION OF THE ARCHITECT
2. PROVIDE TEMPORARY SUPPORT TO STRUCTURAL ELEMENTS AFFECTED BY DEMOLITION AND CONSTRUCTION (FIELD VERIFY ALL CONDITIONS)

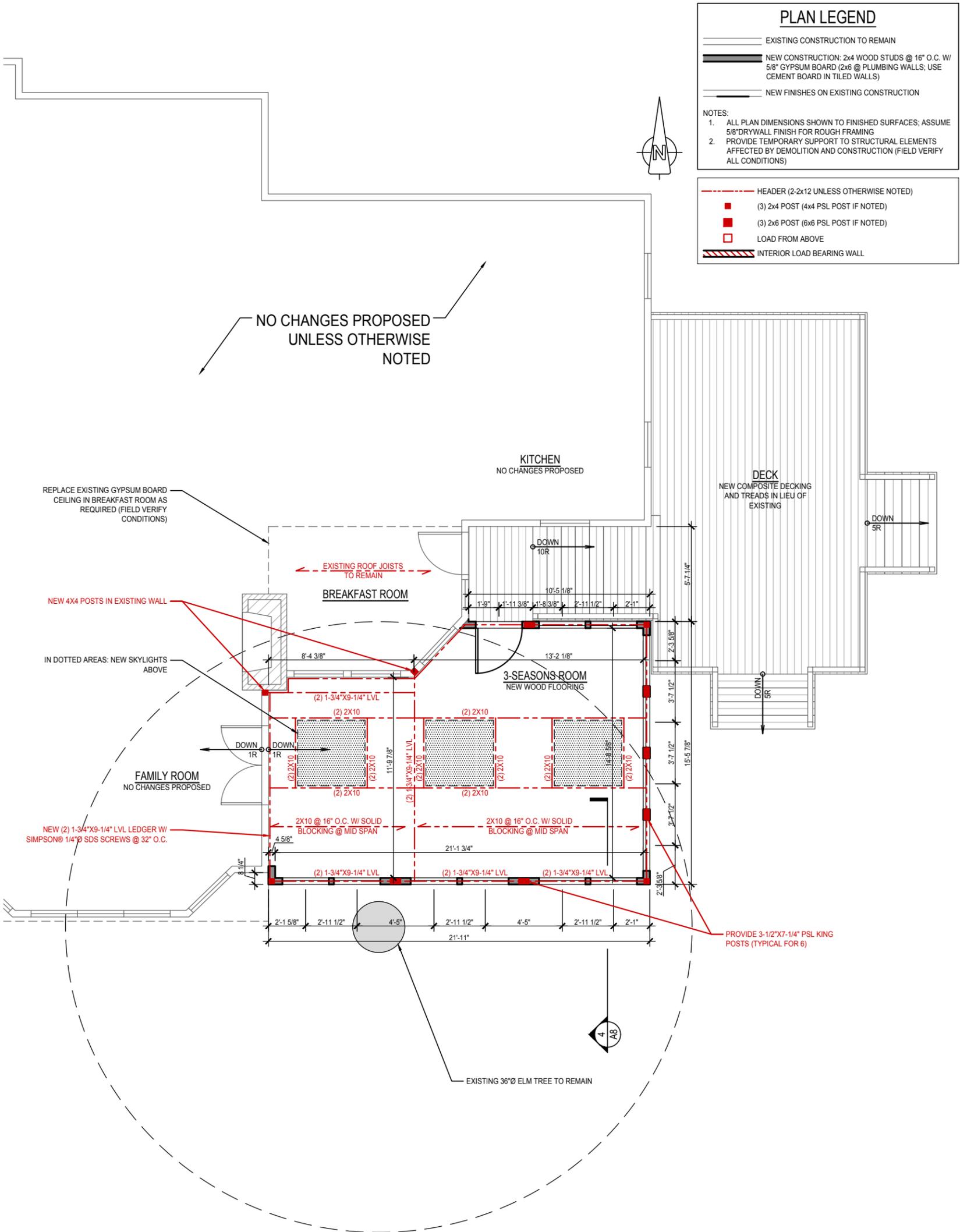
 Omar Gutiérrez, NCARB architect	1209 Monroe St. Evanston, IL 60202 Ph: 847.903.4067 omar@ogutierrez.com www.ogutierrez.com	Sheet <div style="font-size: 2em; font-weight: bold;">4</div> of 13
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THE GIELLA RESIDENCE
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 EXISTING SECOND FLOOR / ROOF PLAN - SCALE: 3/16"=1'-0" - 07/06/2022
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 PROPOSED FOUNDATION/BASEMENT FLOOR PLAN - SCALE: 3/16"=1'-0" - 07/06/2022
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PLAN LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION: 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD (2x6 @ PLUMBING WALLS; USE CEMENT BOARD IN TILED WALLS)
	NEW FINISHES ON EXISTING CONSTRUCTION

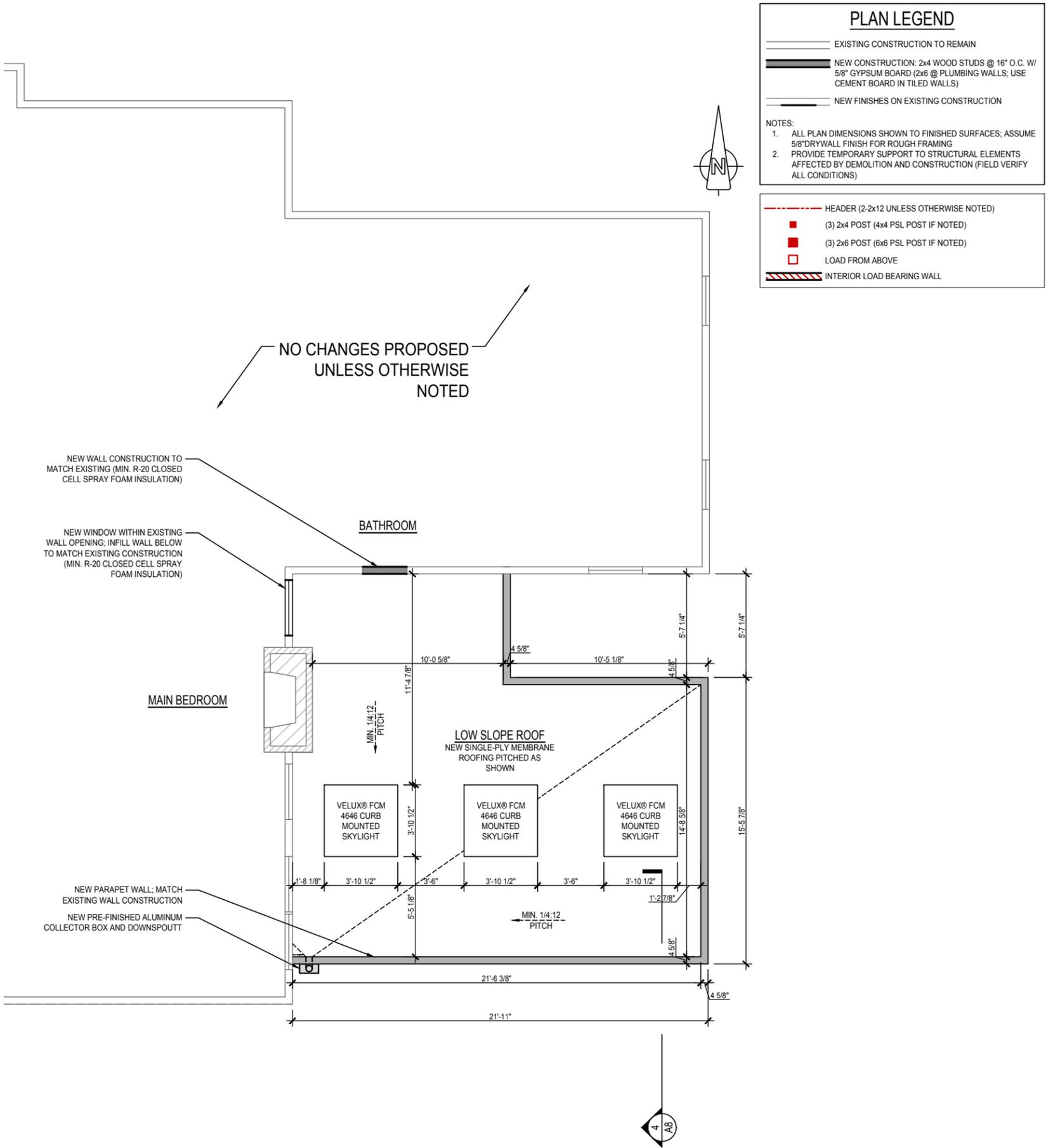
NOTES:

- ALL PLAN DIMENSIONS SHOWN TO FINISHED SURFACES; ASSUME 5/8" DRYWALL FINISH FOR ROUGH FRAMING
- PROVIDE TEMPORARY SUPPORT TO STRUCTURAL ELEMENTS AFFECTED BY DEMOLITION AND CONSTRUCTION (FIELD VERIFY ALL CONDITIONS)

	HEADER (2-2x12 UNLESS OTHERWISE NOTED)
	(3) 2x4 POST (4x4 PSL POST IF NOTED)
	(3) 2x6 POST (6x6 PSL POST IF NOTED)
	LOAD FROM ABOVE
	INTERIOR LOAD BEARING WALL

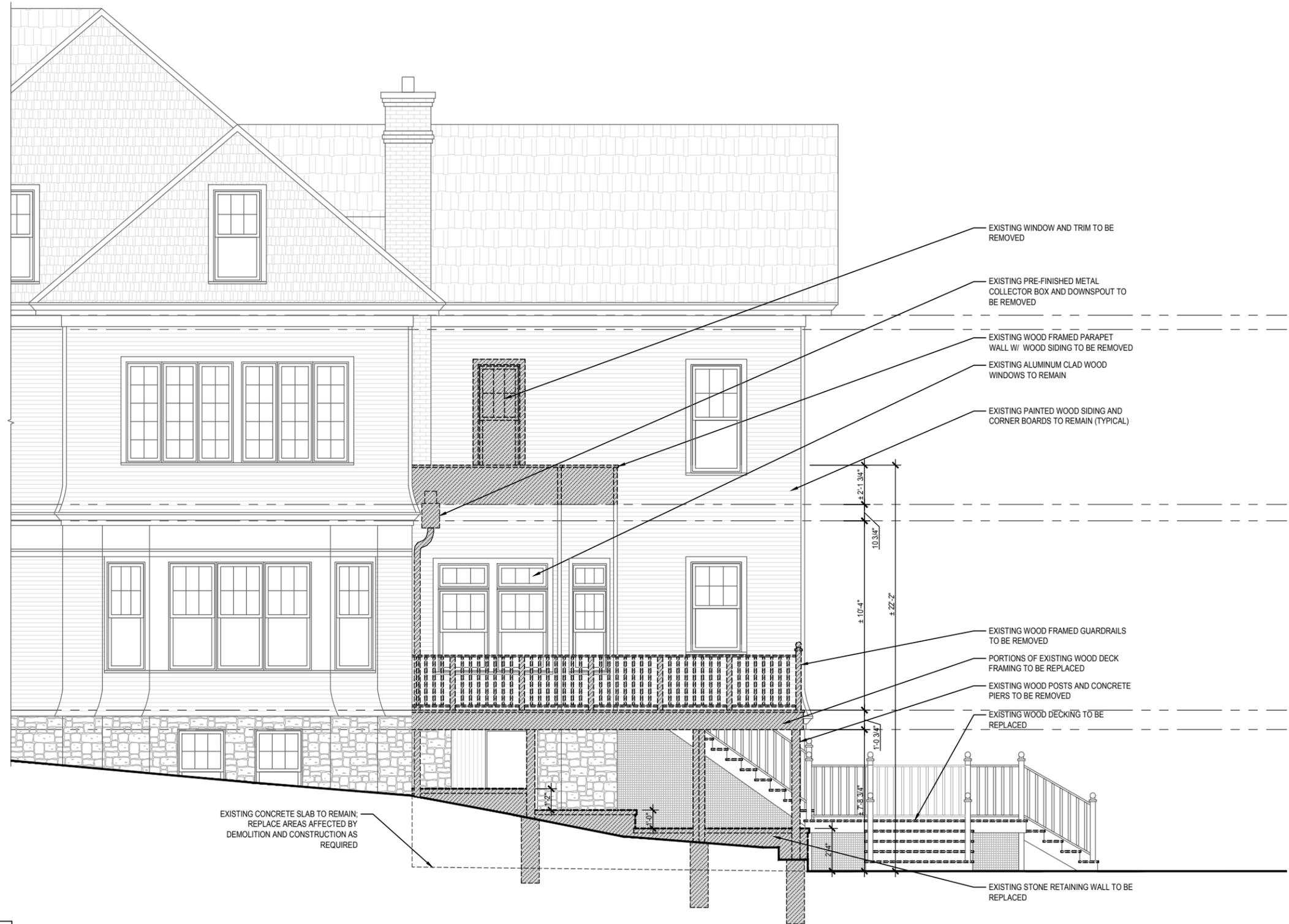
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EXISTING CONCRETE SLAB TO REMAIN:
REPLACE AREAS AFFECTED BY
DEMOLITION AND CONSTRUCTION AS
REQUIRED

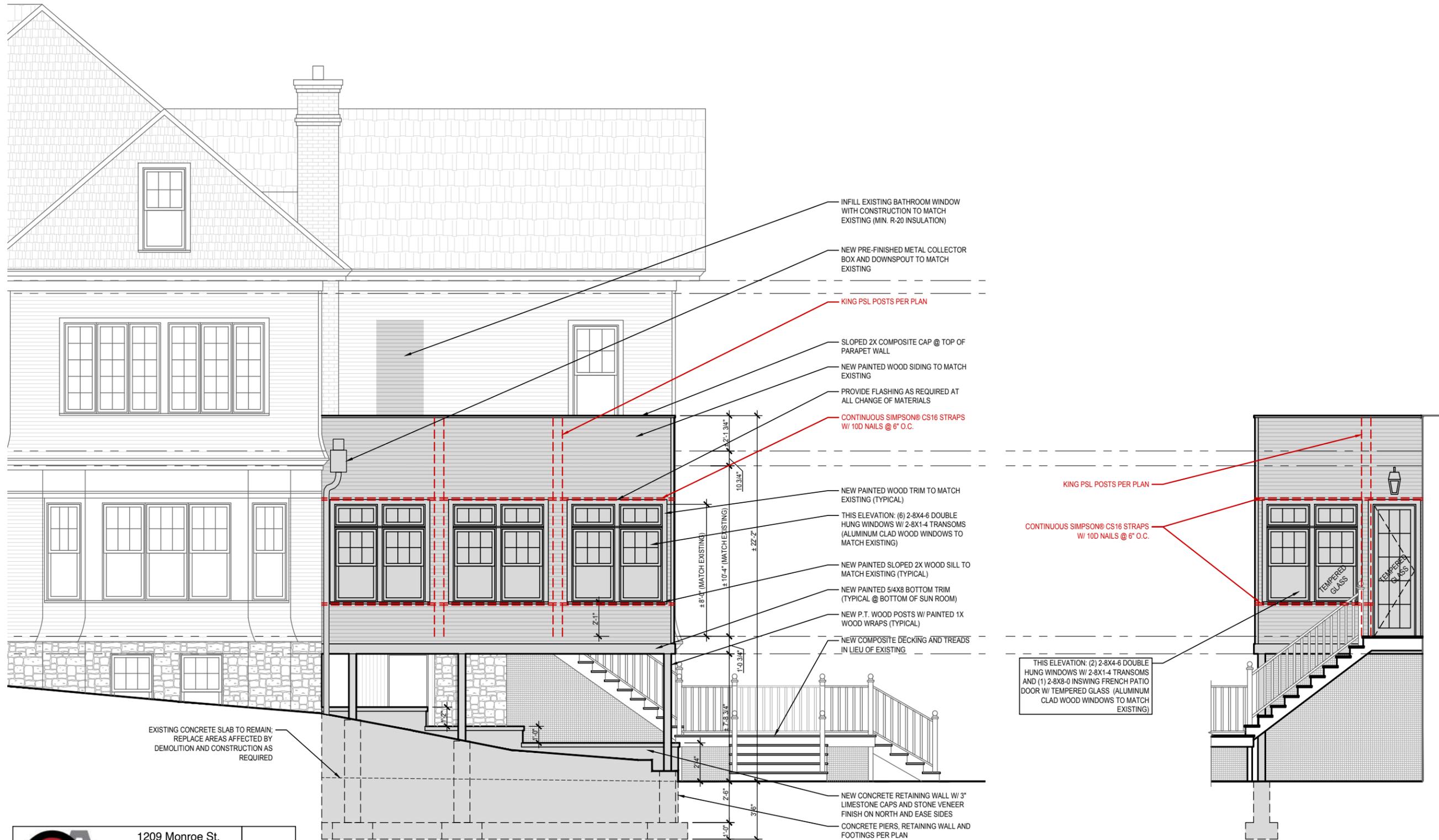
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EXISTING SOUTH ELEVATION - SCALE: 3/16"=1'-0" - 07/06/2022
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EXISTING EAST ELEVATION - SCALE: 3/16"=1'-0" - 07/06/2022
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EXISTING CONCRETE SLAB TO REMAIN;
REPLACE AREAS AFFECTED BY
DEMOLITION AND CONSTRUCTION AS
REQUIRED

THIS ELEVATION: (2) 2-8X4-8 DOUBLE
HUNG WINDOWS W/ 2-8X1-4 TRANSOMS
AND (1) 2-8X8-0 INSWING FRENCH PATIO
DOOR W/ TEMPERED GLASS (ALUMINUM
CLAD WOOD WINDOWS TO MATCH
EXISTING)

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PROPOSED SOUTH AND NORTH ELEVATIONS - SCALE: 3/16"=1'-0" - 07/06/2022
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PROPOSED EAST ELEVATION - SCALE: 3/16"=1'-0" - 07/06/2022
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VIEW FROM ALLEY (EAST SIDE)



SOUTH EAST VIEW



SOUTH EAST VIEW

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THE GIELLA RESIDENCE
1247 RIDGE AVE. - EVANSTON, IL
3D RENDERINGS OF PROPOSED ADDITION - NOT TO SCALE - 07/06/2022
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THE GIELLA RESIDENCE
1247 RIDGE AVE. - EVANSTON, IL
PHOTOS OF EXISTING HOME - NOT TO SCALE - 07/06/2022
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DRAFT

MEETING MINUTES

PRESERVATION COMMISSION

Tuesday July 12, 2022

7:00 P.M.

Members Present: Mark Simon, John Jacobs, Aleca Sullivan, Jamie Morris
Suzi Reinhold, Carl Klein, Sarah M. Dreler, Stuart Cohen, Amanda Ziehm

Members Absent: Beth Bodan

Staff Present: Cade W. Sterling; Carlos D. Ruiz

Presiding Member: Suzi Reinhold, Chair

Notes Taken by: Cade W. Sterling

Agenda

New Business

A. 1210 Maple Avenue - Ridge Historic District - 22PRES-0081

Nathan Kipnis, architect, submits for a Certificate of Appropriateness to construct a new two-story single-family residence and detached single-story two-car garage on a proposed subdivision of the parcel commonly known as 1214 Maple Avenue.

- Nate Kipnis, applicant, provided background on the revised plans which he believes address the primary concerns outlined at the previous meeting. These primarily included:
 - Introduction of a full, covered, front-porch
 - Modifications to the front façade to include a center rectangular bay which protrudes above the front roof face. The bay is clad in wood siding.
- Mr. Kipnis addressed each of the standards that were applicable during the previous meeting, and walked the Commission through a revised 3D proportion study which incorporated greater context and detail.
- Commissioners asked Mr. Kipnis about the front rectangular bay, noting some discomfort with it projecting above the roofline as well as the location of the bay and second story windows which seemed out of character without surrounding vocabularies and positioning (typically located under the eave). The positioning of the windows on the bay and it extending above the roof line create discomfort in relation to the solids and voids in the front façade.
- Mr. Kipnis noted that they had studied the bay and second-story windows extensively and this was the best solution they could offer. The smaller size of

window related to keeping the building as energy efficient as possible. Reducing the area of solids in the bay would require even larger windows, which would create discomfort with the rest of the second-story windows.

- The Commissioners offered if the bay not extending above the roofline was a better solution which would reduce the solids in the façade and create more balance.
- Mr. Kipnis disagreed, noting that they explored many options and felt it was important to have the bay extend above the roofline, as it present on a majority of homes on the block. Although more contemporary than other homes, the general form and positioning remains similar.
- Commissioners asked about the roof form of the front-porch, and whether a sloped roof would be more aligned with surrounding vocabularies.
- Mr. Kipnis noted that they explored different roof forms for the porch as well as different roof forms for the center bay. However, they all felt inauthentic and contrived.
- Commissioners questioned the front-porch being canted, noting that columns or pillars were not necessary since it was anchored into the floor joists, but it seems visually unsupported as currently proposed.
- Mr. Kipnis noted that this feature was important for the authenticity of the contemporary home, and is indicative of the contemporary style. They avoided other typical elements such as ribbon windows etc... but felt it was important to have this feature. The home is a new intervention in the District and its features should relate to its surroundings, ie: having a full front porch which aligns in positioning with its surroundings, but it should be represented in a way reflective of modern design and engineering. Columns and posts were necessary for the porches built in the 1880s, they aren't now.
- Some members of the Commission expressed frustration with the decisions being made, noting there were other ways to create an authentic expression of contemporary design while being more visually compatible with ones surroundings.
- **Public Comment**
 - Two members of the public spoke against the proposal, noting that the changes that were made did make the home more contextual than it was previously, but they agreed that changes to the roof form and front-porch were still necessary.
 - Additional members of the public who had previously opposed the project spoke in support, noting that the changes made did make the home more appealing and they believed the architect had done what was necessary to meet the Commissions expectations.
- **Deliberation**
 - Commissioners debated the proposal as revised and whether it met the applicable standards or not.
 - Commissioners noted that it was important to react to what is being proposed and whether that proposal meets the standards. There are

- certainly numerous ways that could make this project better, but they may not be necessary if the standards are met.
- Commissioners further noted that the term compatibility is essential to understanding this project, and that compatibility does not mean replication, but rather that what is being proposed does not detract from the character and integrity of the block and the surrounding homes.
 - The proposal was found by a majority of Commissioners to be compatible in its mass and bulk, form, and materials.
 - A minority of Commissioners expressed concern with the center bay and front-porch and asked if the case could be continued to allow the applicant to study these. The applicant preferred a vote be taken.
 - **After deliberation, a motion to approve by Commissioner Simon was seconded by Commissioner Morris and carried on a vote of 6-3.**
 - Following action, the applicant Mr. Kipnis provided some closing remarks and his belief that this project will be an excellent addition to the neighborhood and that he, and his client, were committed to that.

Approval of Meeting Minutes

A. Minutes of June 14, 2022

A motion to approve the June 14 minutes as presented was carried unanimously with one abstention (Dreller).

Discussion

- Mr. Sterling provided updates on the downtown architectural survey, noting that three teams were formed, and in the process of being scheduled to perform the work with an anticipated completion date of the end of September.
- Mr. Sterling provided an update on the long-range work plan. The subcommittee continues to finalize the document and is looking at the implementation section where initiatives will be prioritized. Mr. Sterling anticipated bringing the full document to the Commission at the regularly scheduled September meeting.
- Mr. Sterling noted that the Law Department offered to provide a training for the Commission which would focus on Roberts rules of order, the open meetings act, and interpretation of standards.

Adjournment:

The meeting was adjourned at 8:10pm

DRAFT

PRESERVE 2040

Preservation Commission Long-Range Work Plan

City of Evanston
Historic Preservation Program
Division of Planning & Zoning
September, 2022

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Acknowledgments

Evanston Preservation Commission

Susan Reinhold, Chair
Stuart Cohen, Vice-Chair
Beth Bodan, Secretary
Sarah M. Dreller
John Jacobs
Carl Klein
Jamie Morris
Mark Simon, Chair Emeritus
Amanda Ziehm

Special Acknowledgments

Mary McWilliams, Associate Commissioner
Dino Robinson, Shorefront Legacy Center
Eden Juron Pearlman, Evanston History Center
Lori Osborne, Francis Willard House Museum and Archives
Emily Guthrie, Evanston Preservation League
Paul Janicki, Evanston Preservation League
Sarah Chodera, Resident

City of Evanston

Sarah Flax, Interim Director of Community Development
Elizabeth Williams, Planning Manager
Cade W. Sterling, Preservation Planner
Carlos D. Ruiz, Preservation Planner

Why plan?

The long-range work plan shall be viewed as the Commission's principal policy document regarding the identification, documentation and stewardship of Evanston's significant heritage resources -- buildings, sites, structures, people, stories and objects -- and a guide for the oversight and administration of the community's historic preservation program, principally facilitated through the City's Planning & Zoning Division with support from the Preservation Commission as well as other partner organizations.

Evanston's historic resources are vitally important and define Evanston's built character and identity. However, additional resources neither landmarked nor within districts but contributing to Evanston's heritage and vibrancy are consistently under threat from improper alterations, neglect, and demolition. To preserve these resources while accommodating the City's growth, economic development, and revitalization, a clear, forward-thinking understanding of Evanston's preservation priorities needs to be established. This document outlines specific goals, policies, and strategies for the Preservation Commission to follow to achieve short and long-term community heritage preservation goals across the next 20 years.

Utilization

The Preservation Commission, and Evanston's preservation partners and advocates, will utilize this long-term work plan to guide future preservation efforts outside of resource management and binding design review activities. This plan should also be used to monitor and create accountable benchmarks for the implementation of short and long-term preservation initiatives, advocate for adjusting municipal preservation policy when needed and warranted, and integrate preservation policies and strategies into other plans and studies the City may undertake in the future.



Key Objectives

1. **Educate:** Review previous preservation-based education and advocacy efforts and propose an engaging and ongoing program of outreach, education and advocacy efforts that builds community awareness and stewardship.
2. **Prioritize:** Determine future survey and documentation priorities in order to safeguard Evanston's evolving cultural identity and values embodied in its built environment..
3. **Include:** Consider historic and cultural contexts and their associated heritage resources. Include and prioritize Evanston's settlement by different ethnic and racial groups.
4. **Review:** Assess the effectiveness of the Preservation Ordinance as well as Commission operations and administration, and the viability of partner organizations by evaluating the type and frequency of poor outcomes and capacity for implementation.
5. **Align:** Explore opportunities for developing and integrating preservation-based policies and initiatives within the City's Climate Action and Resilience Plan, Affordable Housing Program, and Economic Development goals.
6. **Incentivize:** Determine the barriers to implementing effective preservation programs and explore the creation of incentives for both residents and developers.
7. **Engage:** Create new organizational approaches to facilitating preservation - approaches that build local capacity and involve private and community stakeholder participation.
8. **Organize:** Create an action-oriented work plan that prioritizes specific initiatives, identifies potential partners, as well as funding sources if applicable.

Mission

To enhance the quality of life for all Evanston residents and visitors through the ongoing work and benefits of historic preservation.

Vision

A vision is an aspirational statement regarding the future state of preservation in Evanston. Based on the feedback provided by subcommittee members and members of the broader preservation community, the following draft vision statement was created.

“In 2040 Evanston, Illinois is one of Midwestern America’s most vibrant places - a city known for its **rich historic, cultural, architectural, and environmental legacy**.

The Evanston Preservation Commission and community at-large has fostered that legacy through **careful planning and stewardship** of Evanston’s historic, cultural, architectural, and environmental resources, by **engaging a diverse group of residents, local stakeholders, and policy makers** on the benefits of historic preservation.

In turn, these efforts have **enhanced sustainability and accessibility**, identified endangered resources - and registered new resources especially those not previously acknowledged as significant; **celebrated and stabilized neighborhood character**; solidified **preservation as an economic development tool**; and promoted the increased appreciation of Evanston’s **diverse cultural heritage**.

The Evanston Preservation Commission, City of Evanston, School Districts, Northwestern University, and other private-sector and nonprofit organizations **maintain ongoing partnerships** through meaningful advocacy efforts, preservation planning initiatives and **expanded educational resources and financial incentives.**”

Values

Value statements are intended to describe the Preservation Commission and municipal preservation programs core beliefs and act as broad guiding principles.

1. Evanston's cultural and architectural resources are tangible links to its current and past identities. Future Landmark and District designations keep pace with evolving preservation trends and aspirations for future identities.
2. Preservation embodies inherent sustainability and is essential to climate resilience.
3. A Preservation Commission membership that reflects Evanston's demographics supports a more representative, equitable, diverse, and inclusive program.
4. Enhancing public-private partnerships and capacities promotes broad community involvement, advocacy, and educational outreach.
5. Effective municipal leadership supports positive preservation outcomes.
6. An effective, well-managed, and well-staffed municipal preservation program facilitates positive community outcomes.
7. A commitment to equity, diversity, and inclusion within municipal preservation programming facilitates positive community outcomes.
8. Preservation promotes Evanston as a residential city of choice in the Chicago Region.
9. Preservation contributes to vibrant, human-scaled environments.
10. Preservation is a revitalization and economic development tool for small businesses and neighborhood business districts.
11. Evanston's historic resources are integral to community identity and placemaking and bind its residents to their physical environments.
12. Effective community partnerships and ongoing technical assistance advance a preservation advocacy ethic in Evanston.
13. Annual reporting of performance trends and benchmarks promotes transparency and trust with the public the Commission serves.



Plan Organization

A successful preservation program, and this work plan, is organized around four key elements.

1. Survey and Documentation;
2. Program Administration and Resource Management;
3. Community Revitalization, and;
4. Education and Advocacy

Survey and Documentation

Survey and documentation efforts require in-field assessment and background research into the historical, cultural, and architectural significance of Evanston's buildings, sites, structures, and objects as well as their eligibility as Landmarks or as part of a Local District. These efforts include preparation of survey reports, Local District and Landmark nominations, undertaking local history projects, and creating interpretive exhibits. Maintaining an active program in survey and documentation forms the foundation for effective community preservation planning. Effective survey and documentation provides the basis for identifying and understanding the community's historic resources, what resources are high value and significant as well as what resources are threatened.

Goal #1: Identify and Preserve Resources Significant to Evanston's Identity, Heritage, and Vibrancy.

Policy 1.1: Support initiatives that continue to identify and document Evanston's heritage resources.

Initiative 1.1: Re-Survey the Ridge Historic District

Initiative 1.2: Re-Survey the Northeast Historic District

Initiative 1.3: Prioritize new areas in Evanston for survey and documentation.

Initiative 1.4: Conduct a citywide reconnaissance survey of Evanston's historic downtown and neighborhood business district resources.

Initiative 1.5: Conduct a cultural landscape survey of Evanston including its park system.

Initiative 1.6: Conduct a citywide survey of Evanston's mid-century, international style, brutalist, and other contemporary resources.

Initiative 1.7: Document and include the built resources that identify and embody historic, social, and cultural periods and events, and the groups and people who have contributed to Evanston's unique character and identity. Prioritize resources associated with identity groups not adequately represented currently.

Initiative 1.8: Integrate survey and documentation efforts as part of future City planning efforts.

Policy 1.2: Support designation of significant resources as Landmarks and Historic Districts as recommended through survey and documentation activities

Initiative 1.9: Advocate for designation of the Oakton National Register District as a Local Historic or Conservation District

Initiative 1.10: Nominate Evanston's historic downtown resources and other business district resources to the National Register as a multi-property thematic resource listing..

Initiative 1.11: Prepare an annual list of endangered resources in Evanston.

Initiative 1.12: Advocate for expansion of the boundaries of the Northeast Historic District to overlay its National Register Counterpart

Initiative 1.13: Prepare Neighborhood Conservation District Plans and support neighborhood planning efforts in areas where residents have expressed interest in enhancing and stabilizing neighborhood character, identity, and affordability.



Program Administration and Resource Management

Program Administration includes the operations and management of the preservation program at the City level, principally the mechanisms for designating Landmarks and Local Districts as well as conducting resource management or design review over those resources already registered both administratively and by the Preservation Commission. The regulatory frameworks are primarily outlined in the Preservation Ordinance but also the Commission's Rules and Procedures, Design Guidelines, and the Comprehensive General Plan.

Goal #2: Enhance the ability to protect and promote significant heritage and cultural resources through updated ordinances and additional preservation-based tools.

Policy 2.1: Maintain an up-to-date Preservation Ordinance which reflects nationwide best practices.

Initiative 2.1: Review and update the Historic Preservation Ordinance and consider the following changes:

1. Include designation criteria and design review procedures for future cultural resource designations.
2. Require identification of character-defining features in a resource's statement of significance.
3. Eliminate criteria for integrity when reviewing nominations as cultural resource designations.
4. Include a section on procedures for establishing Neighborhood or Commercial Conservation Districts.
5. Include standards for the Commission when providing recommendations on proposed zoning relief.
6. Amend the standards for new construction to include retention of landscape features which contribute to a Landmark or Districts setting.

7. Advocate for appeals of the Commission's decisions to be determined in Circuit Court rather than by City Council to align with other Boards and Commissions.
8. Permit former members of the Commission to serve additional terms after a period of absence and permit future members that work in the City but lack residency..
9. Incorporate a more expansive purpose statement in line with current preservation best-practices and trends.
10. Require rescission of Landmark designation prior to proposed demolition.
11. Require testimony by a representative of the Commission or the Commissions Administrative Officer for all matters sent before the Planning and Development Committee and/or City Council.
12. Incorporate a demolition delay provision for identified but non-registered resources.

Initiative 2.2: Prepare and formally adopt a set of design guidelines or guiding principles for facilitating binding design review activities.

Policy 2.2: Adopt new preservation tools and incentives.

Initiative 2.3: Work with the Building and Inspection Services Division to create a framework for permit fee waivers if recommended by the Commission.

Initiative 2.4: Work with the Planning and Zoning Division to amend the zoning code to include an adaptive use section for more flexible use of historic properties. Study the potential for additional permitted uses, relaxed parking requirements, and increased density for proposed residential uses to help offset rehabilitation costs.

Initiative 2.5: Explore implementation of form-based zoning overlays in areas of significant redevelopment potential adjacent to historic districts or where high concentrations of Landmarks exist

Initiative 2.6: Advocate for creation of and donation into a preservation-based fund as a public benefit for Planned Developments.

Initiative 2.7: Reinstate incentive programs for maintaining the character defining features of commercial historic or legacy buildings and businesses.

Initiative 2.8: Work with the Economic Development Division to enact a legacy or heritage business program.

Initiative 2.9: Establish a Neighborhood Conservation District Program

Initiative 2.10: Organize a Preservation Consortium or Preservation Advisory Sub-Committee to support and help implement aspects of this plan. Consider including members from the City's Parks and Recreation Department, Public Works Agency, Evanston History Center, Preservation League of Evanston, Mitchell Museum, Shorefront Legacy Center, Design Evanston, Frances Willard House Museum, Landmarks Illinois, Northwestern University, and Districts 65 and 202.

Initiative 2.11: Benchmark Commission accomplishments and performance trends in an annual public report given to the Planning and Development Committee.

Initiative 2.12: Actively recruit and solicit potential candidates for future Commissioners with a focus on building a membership reflective of Evanston's diverse demographics.



Community Revitalization

Preservation in Evanston should extend to more than its registered Landmarks and Local Districts. For example, historic buildings provide affordable housing and lower rent structures for local and start-up businesses, maintain housing opportunities for working and young families, and can help revitalize business districts and stabilize older neighborhoods threatened by development pressure. Additionally, historic buildings contain significant embodied energy and help to achieve the City's Climate Action and Resilience goals. At the local level, community development and revitalization initiatives should integrate preservation policies and initiatives that work to attract investment, generate jobs, enhance sustainability, and maintain affordable rent and ownership structures. Some initiatives may include preservation based economic development, neighborhood planning, and incentive programs to attract investor interest in adaptive use projects or facade rehabilitation.

Goal #3: Encourage adaptive use and rehabilitation projects which spur preservation-based economic development and retain vibrant and contextual built fabric.

Policy 3.1: Support planning and development that advance preservation and community revitalization priorities.

Initiative 3.1: Explore creation of a downtown revolving loan or venture fund.

Initiative 3.2: Collaborate with Evanston Special Service Areas, Chamber of Commerce, and broader business community to identify and advance preservation priorities.

Initiative 3.3: Collaborate with the Economic Development Division to assist in marketing and buyer recruitment for historic commercial, industrial, and institutional properties.

Initiative 3.4: Target Community Development Block Grant (CDBG) funds in areas of newly created Neighborhood Conservation Districts.

Policy 3.2: Coordinate and expand heritage tourism activities and programming.

Initiative 3.5: Support the creation of a heritage tourism advisory group.

Policy 3.3: Integrate and expand preservation priorities which align with Climate Action and Resilience goals

Initiative 3.6: Advocate for adoption of a citywide deconstruction ordinance.

Initiative 3.7: Utilize incentives for historic property owners for salvaging materials that contain significant embodied energy or high craftsmanship.

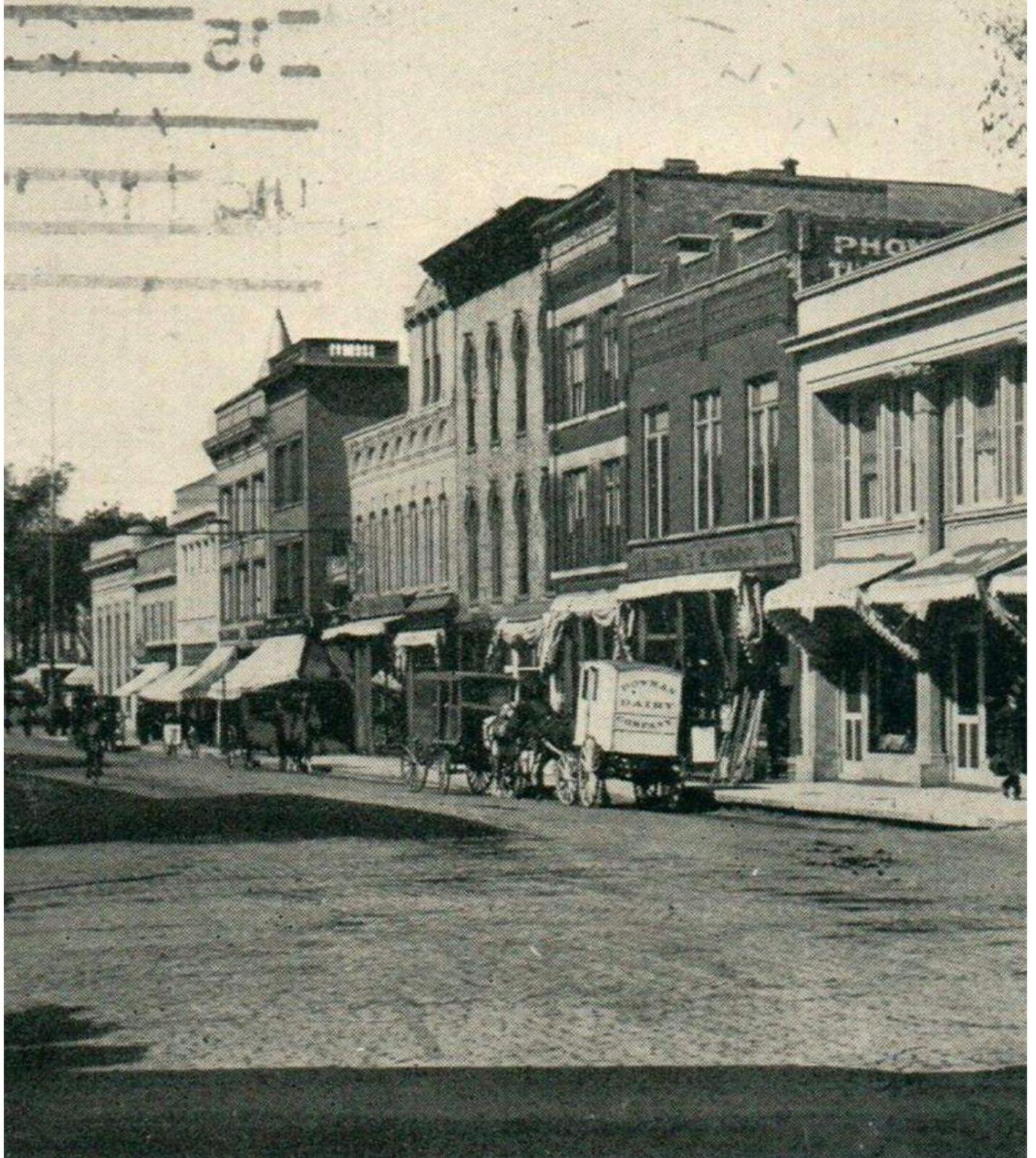
Initiative 3.8: Conduct annual reconnaissance surveys of historic properties to identify materials and finishes in poor condition before replacement is necessary and provide technical assistance for their proper repair.

Initiative 3.9: Compile and publish a list of restoration professionals who perform work in Evanston

Initiative 3.10: Invite professionals to speak on the appropriateness of various composite and synthetic materials which accurately mimic historic building materials that are either non-sustainable or cost prohibitive.

Initiative 3.11: Support the retention of significant landscape features which offer citywide environmental and cultural benefits.

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Education and Advocacy

Proactive educational and advocacy efforts are critical to maintaining stakeholder participation and support for heritage preservation. Evanston's community stakeholders, homeowners, merchants, and investors and developers need to understand the tools and resources available to participate in our preservation program and help rehabilitate, adapt, and protect the City's historic resources. Elected leaders need to understand the role preservation plays in maintaining Evanston's vibrancy and sense of place, in neighborhood stabilization, and the economic impact and rate of return on its investments and participation in City-supported preservation initiatives as well as heritage tourism activities. Often education and advocacy is most effective as part of an established and nurtured institutional framework between the Commission, neighborhood leaders, preservation thought leaders (architects, planners, designers) the City, and partner organizations such as the Preservation League, and Evanston History Center.

Goal #4: Advocate for the power of preservation and its ability to sustain and enhance a high quality of life for all Evanston residents.

Policy 4.1: Create new educational tools that inform design professionals, contractors, developers, residents, and civic leaders on the benefits of preserving and adapting historic structures.

Initiative 4.1: Reinstate a quarterly preservation and design oriented newsletter and make it available online and on social media.

Initiative 4.2: Prepare educational publications and videos such as those describing incentive programs, proper routine and seasonal maintenance and other treatment procedures, nomination and designation procedures, and the overall benefit of preservation to the Evanston community.

Initiative 4.3: Support an annual endangered properties list

Initiative 4.4: Prepare a preservation training publication and offer one-on-one orientations for elected officials.

Initiative 4.5: Support the creation of a network of current Landmark owners and a welcome program for new homeowners.

Initiative 4.6: Develop a pipeline for bringing youth into the local preservation community - such as inviting groups of ETHS students to Commission meetings, an internship program for regional college students, and teacher professional development and curriculum opportunities with District 65 and ETHS.

Initiative 4.7: Compile and publish a list of restoration professionals who perform work in Evanston.

Policy 4.2: Continue to disseminate and publicize educational content utilizing the internet and other digital platforms

Initiative 4.8: Expand outreach to the City's various social media platforms to reach a wider audience. Connect with various Evanston based social media influencers

Initiative 4.9: Continue to digitize and make available early publications of the Commission.

Initiative 4.10: Update existing heritage tourism publications, such as the early Commissions self-guided walking tours, and make them available online.

Policy 4.3: Conduct annual fundraising events, educational programs, and training opportunities

Initiative 4.11: Support partner organizations in the creation of preservation oriented lectures and/or workshops.

Initiative 4.12: Provide annual preservation-based training for local realtors and financial professionals and consider a certification program.

Initiative 4.13: Facilitate additional regular historic district guided and app-based walking tours

Initiative 4.14: Establish an annual program of brief guest lectures at the start of monthly Commission meetings.

Initiative 4.15: Stop the annual Design Awards Program, and support a new Awards Program administered by a larger consortium of preservation, cultural, social, and design oriented partner organizations to reach a wider audience, expand categories for consideration, and elevate publicity and visibility of the event.

Initiative 4.16: Create new fundraising events and opportunities to promote preservation and heritage tourism priorities and activities.

Initiative 4.17: Support ongoing oral history projects.

Initiative 4.18: Create and promote a citywide Century Home program for homes that may not meet the eligibility criteria but are 100 years or older.



Implementation

Survey and Documentation

Goal #1: Identify and Preserve Resources Significant to Evanston’s Identity, Heritage, and Vibrancy.

Policy 1.1: Support initiatives that continue to identify and document Evanston’s heritage resources.

Initiative	Priority/ Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Achieves Objectives
HPC: Historic Preservation Commission; COE: City of Evanston; CON: Consultant; POR: Partner Organizations; VOL: Volunteers					
1.1: Re-Survey the Ridge Historic District	Medium 1-3 Yrs	CON; COE	HPC; VOL	1; 3	2
1.2: Re-Survey the Northeast Historic District	Medium 3-5 Yrs	CON; COE	HPC; VOL	1; 3	2
1.3: Prioritize new areas in Evanston for surveys.	High Ongoing	CON; COE	HPC; POR	1	2; 3
1.4: Conduct a city-wide survey of Evanston’s downtown and neighborhood business district resources.	High 1-3 Yrs	COE; HPC	VOL	1	2; 3; 5
1.5: Conduct a cultural landscape survey of Evanston.	Low 10+ Yrs	CON; COE	HPC; VOL	1	2; 3
1.6: Conduct a citywide survey of Evanston’s mid-century, international style, brutalist, and other contemporary resources	Medium 3-5 Yrs	COE; HPC	VOL; POR	1	2
1.7: Document and include the built resources that embody historic, social, and cultural periods and events, and the groups and people who have contributed to Evanston’s unique character and identity.	Pressing Ongoing	HPC; POR	VOL; COE; CON	1	2; 3

1.8: Integrate preservation survey and documentation as part of future City planning efforts.	High Ongoing	COE	HPC; CON	22; 30	2; 3; 7
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Policy 1.2: Support designation of significant resources as Landmarks and Historic Districts as recommended through survey and documentation activities

Initiative	Priority/Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
HPC: Historic Preservation Commission; COE: City of Evanston; CON: Consultant; POR: Partner Organizations; VOL: Volunteers					
1.9: Advocate for designation of the Oakton National Register District as a Local Historic or Neighborhood Conservation District	High 3-5 Yrs	COE; POR	HPC	2; 6; 8; 30	2
1.10: Nominate Evanston's historic downtown resources and other business district resources to the National Register as a multi-property thematic resource listing. Provide access to tax credits for income producing properties.	High 5-10 Yrs	POR	HPC; COE	2; 5	2; 5
1.11: Prepare an annual list of endangered resources in Evanston.	Medium Ongoing	POR; VOL	HPC	26; 30	2
1.12: Advocate for expansion of the boundaries of the Northeast Historic District to overlay its National Register Counterpart	Low; 10+ Yrs	HPC; POR	COE	2; 6; 8; 30	2
1.13: Prepare Neighborhood Conservation District plans and support neighborhood planning efforts in areas where residents have expressed interest in enhancing and stabilizing neighborhood character, identity, and affordability.	Medium 5-10 Yrs	CON; COE	HPC; POR; VOL	6. 30	3; 5; 7; 8



Program Administration and Resource Management

Goal #2: Enhance the ability to protect and promote significant heritage and cultural resources through updated ordinances and additional preservation-based tools.

Policy 2.1: Maintain an up-to-date Preservation Ordinance which reflects nationwide best practices.

Initiative	Priority/Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
HPC: Historic Preservation Commission; COE: City of Evanston; CON: Consultant; POR: Partner Organizations; VOL: Volunteers					
2.1: Review and update the Historic Preservation Ordinance	High 1-3 Yrs	HPC; COE	POR; CON	30	4; 6
2.2: Prepare and formally adopt a set of design guidelines or guiding principles for facilitating binding design review activities.	Low 10+ Yrs	CON	COE; HPC	5; 14; 30	5; 6

Policy 2.2: Adopt new preservation tools and incentives.

Initiative	Priority/Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
2.3: Work with the Building and Inspection Services Division to create a framework for permit fee waivers if recommended by the Commission.	High 1-3 Yrs	COE	HPC	30	7; 8
2.4: Work with the Planning and Zoning Division to amend the zoning code to include a section for the adaptive use	Medium 3-5 Yrs	COE	CON; HPC	23; 30	5; 6; 7; 8

of historic properties. Study the potential for additional permitted uses, relaxed parking requirements, and increased density for proposed residential uses to help offset rehabilitation costs.					
2.5: Explore implementation of form-based overlays in areas of significant redevelopment potential adjacent to historic districts or where high concentrations of Landmarks exist	Low 10+ Yrs	COE	HPC; CON	23; 30	5
2.6: Advocate for creation of and donation into a preservation-based fund as a public benefit for Planned Developments.	Medium 3-5 Yrs	HPC; COE	POR	18; 30	4; 6
2.7: Reinstate incentive programs for maintaining the character defining features of commercial historic or legacy buildings and businesses	High 1-3 Yrs	COE	HPC	30	5; 6
2.8: Work with the Economic Development Division to enact a legacy or heritage business program.	Pressing 1-3 Yrs	COE	HPC; POR	30	5; 6
2.9: Establish a Neighborhood Conservation District Program	High 3-5 Yrs	COE	HPC; POR	30	3; 5; 7
2.10: Organize a Preservation Consortium or Preservation Advisory Sub-Committee	Pressing Ongoing	COE	POR	30	7; 8
2.11: Benchmark Commission accomplishments and performance trends in an annual public report	Pressing Ongoing	COE	HPC	30	4; 6
2.12: Actively recruit future Commissioners with a focus on building a membership reflective of Evanston's diverse demographics.	High Ongoing	COE	HPC	30	3; 7



Community Revitalization

Goal #3: Encourage adaptive use and rehabilitation projects which spur preservation-based economic development and retain vibrant and contextual built fabric.

Policy 3.1: Support planning and development that advance preservation and community revitalization priorities.

Initiative	Priority/ Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
HPC: Historic Preservation Commission; COE: City of Evanston; CON: Consultant; POR: Partner Organizations; VOL: Volunteers					
3.1: Explore creation of a downtown revolving loan or venture fund.	High 3-5 Yrs	COE	HPC; POR	30	5; 6; 7; 8
3.2: Collaborate with Evanston Special Service Areas, Chamber of Commerce, and broader business community to identify and advance preservation priorities.	High Ongoing	COE	POR; HPC	30	5; 8
3.3: Collaborate with the Economic Development Division to assist in marketing and buyer recruitment for historic commercial, industrial, and institutional properties.	Medium Ongoing	COE	HPC; POR	30	5; 7
3.4: Target Community Development Block Grant (CDBG) funds in areas of newly created Neighborhood Conservation Districts.	High 3-5 Yrs	COE	HPC	30	5

Policy 3.2: Coordinate and expand heritage tourism activities and programming.

Initiative	Priority/ Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
HPC: Historic Preservation Commission; COE: City of Evanston; CON: Consultant; POR: Partner Organizations; VOL: Volunteers					
3.5: Support the creation of a heritage tourism advisory group.	Low 5-10 Yrs	POR; VOL	HPC; COE	8; 30	1; 5; 7; 8

Policy 3.3: Integrate and expand preservation priorities which align with Climate Action and Resilience goals

Initiative	Priority/ Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
3.6: Advocate for adoption of a citywide deconstruction ordinance.	Pressing 1-3 Yrs	HPC; COE	POR	30	5
3.7: Utilize incentives for historic property owners for salvaging materials that contain significant embodied energy or high craftsmanship.	Pressing 1-3 Yrs	HPC; COE	POR	8; 9; 30	5
3.8: Conduct annual reconnaissance of historic properties to identify materials and finishes in poor condition before replacement is necessary and provide technical assistance for their proper repair.	Medium Ongoing	COE	N/A	8; 30	1; 5
3.9: Invite professionals to speak on the appropriateness of various composite and synthetic materials which accurately mimic historic building materials that are non-sustainable.	High Ongoing	COE; HPC	POR; VOL	8; 14	1; 5; 6
3.10: Support the retention of significant landscape features which offer citywide environmental benefits	High Ongoing	HPC	COE; POR	14; 30	5



Education and Advocacy

Goal #4: Advocate for the power of preservation and its ability to sustain and enhance a high quality of life for all Evanston residents.

Policy 4.1: Create new educational tools that inform design professionals, contractors, developers, residents, and civic leaders on the benefits of preserving and adapting historic structures.

Initiative	Priority/ Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
HPC: Historic Preservation Commission; COE: City of Evanston; CON: Consultant; POR: Partner Organizations; VOL: Volunteers					
4.1: Reinstate a quarterly preservation and design oriented newsletter and make it available on social media.	Pressing 1-3 Yrs	COE	HPC; POR; VOL	8	1
4.2: Prepare educational publications and videos such as those describing incentive programs, proper routine and seasonal maintenance and other treatment procedures, nomination and designation procedures, and the overall benefit of preservation to the Evanston community.	Medium Ongoing 5-10 Yrs	COE; HPC	VOL; POR	8	1
4.3: Support an annual endangered properties list	Low Ongoing	POR	HPC	8; 30	1; 3
4.4: Prepare a preservation training publication and one-on-one orientation for elected officials.	Pressing 1-3 Yrs	COE	HPC	8	1
4.5: Support the creation of a network of current Landmark owners and a welcome program for new homeowners.	Medium 3-5 Yrs	POR; VOL	HPC; COE	8; 30	1; 7; 8

4.6: Develop a pipeline for bringing youth into the local preservation community - such as inviting groups of ETHS students to Commission meetings, an internship program for regional college students, and teacher professional development and curriculum opportunities with District 65 and ETHS.	Medium 5-10 Yrs	COE; EPC	POR	8; 30	1; 7; 8
4.7: Compile and publish a list of restoration professionals who perform work in Evanston.	Pressing 1-3 Yrs	COE	HPC	8;30	1; 5; 7; 8

Policy 4.2: Continue to disseminate and publicize educational content utilizing the internet and other digital platforms

Initiative	Priority/ Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
HPC: Historic Preservation Commission; COE: City of Evanston; CON: Consultant; POR: Partner Organizations; VOL: Volunteers					
4.8: Expand outreach to the City's various social media platforms to reach a wider audience. Connect with various Evanston based social media influencers	Medium 3-5 Yrs	COE	POR; VOL	8; 30	1; 7; 8
4.9: Continue to digitize and make available early publications of the Commission.	Medium Ongoing	COE	N/A	8	1
4.10: Update existing heritage tourism publications and make them available online.	Medium 5-10 Yrs	COE	HPC; POR	8	1

Policy 4.3: Conduct annual fundraising events, educational programs, and training opportunities

Initiative	Priority/ Timeline	Responsible Party	Potential Partners	Relevant Powers and Duties	Relevant Objectives
HPC: Historic Preservation Commission; COE: City of Evanston; CON: Consultant; POR: Partner Organizations; VOL: Volunteers					
4.11: Support partner organizations in the creation of preservation oriented lectures and/or workshops	Medium 5-10 Yrs	POR; VOL	EPC; COE	8	1; 7; 8
4.12: Continue annual training for local realtors, insurance, and financial professionals and consider a certification program.	Medium Ongoing	POR; COE	HPC	8	1; 7; 8
4.13: Establish brief guest lectures at monthly Commission meetings	High Ongoing	COE; POR	HPC	8; 30	1
4.14: Support additional regular historic district guided and app-based walking tours	Low 5-10 Yrs	POR;	HPC	8	1; 5; 7; 8
4.15: Stop the annual Design Awards Program, and support a new Design Awards Program, administered by a larger consortium of preservation and design partner organizations to reach a wider audience, expand categories for consideration, and elevates publicity of the event.	Low 1-3 Yrs	POR; COE	HPC	8	7; 8
4.16: Create new fundraising events and opportunities to promote preservation and heritage tourism priorities and activities.	Low 10+ Yrs	POR	HPC	8	1; 7; 8
4.17: Support ongoing oral history projects	Medium Ongoing	POR;	HPC	8; 30	1; 3; 7; 8
4.18: Create and promote a citywide Century Home program	Medium 5-10 Yrs	COE	HPC	30	

