

7/3/2013

**42--R-13**

**A RESOLUTION**

**Authorizing the City Manager to Execute a Gift Agreement with the Arrington Foundation for the Restoration of the Dawes Park Lagoon**

**WHEREAS**, the City intends to restore the lagoon at Dawes Park; and

**WHEREAS**, the Arrington Foundation has agreed to donate five hundred thousand dollars (\$500,000.00) to the City to defray the costs of said restoration, in return for the City re-naming the lagoon the "Arrington Lakefront Lagoon"; and

**WHEREAS**, the City and the Arrington Foundation seek to enter into an agreement providing for said donation and naming rights,

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:**

**SECTION 1:** The foregoing recitals are hereby found as fact and incorporated herein by reference.

**SECTION 2:** The City Manager is hereby authorized and directed to sign, and the City Clerk hereby authorized and directed to attest, on behalf of the City, the Gift Agreement set forth in Exhibit 1.

**SECTION 3:** The City Manager is hereby authorized and directed to negotiate any additional conditions or terms of the Agreement as may be determined to be in the best interest of the City.

**SECTION 4:** This resolution shall be in full force and effect from and after the date of its passage and approval in the manner provided by law.

  
Elizabeth B. Tisdahl, Mayor

Attest:  
  
Rodney Greene, City Clerk

Adopted: July 15, 2013

**EXHIBIT 1**

**Gift Agreement Between the City and the Arrington Foundation**

## THE ARRINGTON FOUNDATION GIFT AGREEMENT

This Gift Agreement (the "Agreement") is made this \_\_\_\_ day of \_\_\_\_\_, 2013 by and among THE ARRINGTON FOUNDATION, an Illinois not-for-profit corporation (hereinafter referred to as "the Donor"), and the CITY OF EVANSTON, an Illinois home rule municipal corporation (hereinafter referred to as "the City").

The Donor and the City agree as follows:

1. **Donor Commitment.** The Donor hereby pledges to the City the sum of Five Hundred Thousand and no/100 Dollars (\$500,000.00) ("Gift") which as provided for herein is designated for the benefit of the City of Evanston.
2. **Donor Purpose.** It is understood and agreed that the Gift will be used for the following purposes:
  - a. To fund, in part, the restoration and renovation of the City of Evanston Lagoon, located in Dawes Park (the "Project"). Attached as Exhibit "A" is the scope of work for the Project and the restoration shall be completed in conformance with this scope of work. Attached as Exhibit "B" are illustrative plans for the Project. Donor acknowledges and agrees that the City is managing the Project but he shall have the ability to participate in the Project specifications and management of the completion of the Project.
  - b. To pay for the signage and installation of said signage in recognition of William Russell Arrington ("Arrington") in his honor. The City of Evanston Lagoon in Dawes Park will be re-named, after City Council review and approval, as the "Arrington Lakefront Lagoon" in perpetuity. The Donor shall be involved in the design, location, and installation of the signage for the re-naming of the lagoon. Attached as Exhibit "C" are drawings depicting the intended design of this signage.

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3. **City Commitment.** The City committed a sum of Two Hundred and Seventy Thousand and no/100 Dollars (\$270,000.00) in Fiscal Year 2013 and intends to commit an additional Five Hundred Thousand and no/100 Dollars (\$500,000.00) in Fiscal Year 2014 for use in support of the design and construction of the Project.
4. **State of Illinois Commitment.** The State of Illinois has awarded the City an Open Space and Land Acquisition and Development ("OSLAD") Grant in the amount of Four Hundred Thousand and no/100 Dollars (\$400,000.00), the funding will be used for the design and construction costs of the Project.
5. **Gift Payment.** It is further understood and agreed that the Gift will be paid in accordance with the following payment schedule outlined in this section and upon sixty (60) days written notice to the Donor by the City. It is also understood and agreed that the Gift funds received may be invested at the discretion of the City pending distribution to the purpose(s) described herein:

- a. **Design Development Completion:** Upon completion of the design development documents, but in no event prior to October 1, 2013, the Donor shall issue a check to the City for one-third (1/3) of the total Gift amount, or One Hundred Sixty-Six Thousand Six Hundred Sixty-Seven and no/100 Dollars (\$166,667.00).
  - b. **Construction Document Completion:** Upon completion of the construction documents, but in no event prior to January 1, 2014, the Donor shall issue a second check to the City for one-third (1/3) of the total Gift amount, or One Hundred Sixty-Six Thousand Six Hundred Sixty-Seven and no/100 Dollars (\$166,667.00).
  - c. **Bid Award:** Upon City Council bid award, but in no event prior to May 1, 2014, the Donor shall issue a third and final check to the City for one-third (1/3) of the total Gift amount, or One Hundred Sixty-Six Thousand Six Hundred Sixty-Six and no/100 Dollars (\$166,666.00).
6. **Naming/Approvals.** The proposed naming of the Lagoon must be mutually acceptable to the Donor and the City and must be approved in writing by both the Donor and the City Manager. Nothing herein shall be interpreted as requiring the City to undertake construction or commence any capital project without all required approvals.
  7. **Intent.** It is the agreement of the parties and the intention and wish of the Donor that this Gift and any unpaid promised installment under this Agreement shall constitute the Donor's binding obligation and shall be enforceable at law and equity including, without limitation, against the Donor and the Donor's successors and assigns. The Donor acknowledges that the City is relying, and shall continue to rely, on the Donor's Gift being fully satisfied as set forth herein.
  8. **Recognition by the City.** To honor the Donor, and to express the appreciation of the City, publicity in the form of news announcements, both internal and external, will be made with the permission of the Donor. Donor grants the City permission to use its name and likeness and its President's name and likeness related to the publicity. All printed materials and press release publicizing City-sponsored events at Dawes Park shall make mention of the "Arrington Lakefront Lagoon at Dawes Park."
  9. **Notices.** All notices permitted or required hereunder must be in writing and shall be effected by (i) personal delivery, (ii) first class mail, registered or certified, postage fully prepaid, or (iii) reputable same-day or overnight delivery service that provides a receipt showing delivery date and time, addressed to the following parties, or to such other address as any party may, from time to time, designate in writing in the manner as provided herein:

To City:        PRCS Director  
                  City of Evanston  
                  2100 Ridge Avenue  
                  Evanston, IL 60201  
                  847-448-4311

To Donor: The Arrington Foundation  
929 Edgemere Court  
Evanston, IL 60201

Any written notice, demand or communication shall be deemed received immediately if personally delivered or delivered by delivery service to the addresses above, and shall be deemed received on the third day from the date of postmark if delivered by mail.

10. **Default.** In the event of failure by either party hereto substantially to perform any material term or provision of this Agreement, the non-defaulting party shall have those rights and remedies provided herein.
  - a. **Notice of Default:** In the event of an alleged default, the non-defaulting party shall provide to the defaulting party a written notice of default, identifying with specificity the nature of the alleged default and the manner in which said default may be satisfactorily be cured.
  - b. **Cure of Default:** Upon the receipt of the notice of default, the alleged defaulting party shall promptly commence to cure, correct, or remedy such default within ninety (90) days and shall continuously and diligently prosecute such cure, correction or remedy to completion.
  - c. **Remedy:** In the event of a default by either Party of the terms of this Agreement that has not been cured within the timeframe set forth herein, the non-defaulting Party, at its option, may terminate this Agreement or institute legal action in law or in equity to cure, correct, or remedy such default, enjoin any threatened or attempted violation, or enforce the terms of this Agreement.
11. **Governing Law.** The internal laws of the State of Illinois, without regard to principles of conflicts of law, shall govern the interpretation and enforcement of this Agreement.

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12. **Non-Liability of City Officials and Employees.** No member, official, agent, legal counsel or employee of the City shall be personally liable to the Donor, or any successor in interest in the event of any default or breach by the City under the terms of this Agreement.
13. **Binding Effect.** This Agreement, and the terms, provisions, promises, covenants and conditions herein, shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, legal representatives, successors and assigns.
14. **Authority to Sign.** The Parties hereby represents that the persons executing this Agreement on their behalf have full authority to do so and to bind the Parties to perform pursuant to the terms and conditions of this Agreement.

15. **Amendment.** By mutual consent of the City and the Donor or the Donor's legally or duly appointed agent or attorney-in-fact, any provision of this Agreement may be amended, modified, or deleted. Any such changes, deletions or additions shall be recorded in written signed addenda, which shall form part of this Agreement.
16. **Entire Agreement.** This Agreement contains the entire understanding of the parties with respect to the subject matter of the Agreement and is subject to the laws of the State of Illinois. This Agreement also supersedes all other agreements and understandings, both oral and written, between the parties relating to the subject matter of the Agreement.
17. **No Waiver.** The failure of any party to insist upon strict performance of any of the terms, covenants, or conditions hereof shall not be deemed a waiver of any rights or remedies which that party may have hereunder, at law or in equity and shall not be deemed a waiver of any subsequent breach or default in any of such terms, covenants, or conditions.
18. **Severability.** If any provision of this Agreement or any application thereof is held invalid, illegal or unenforceable, the remaining provisions of this Agreement and any other application of such provision shall remain unimpaired and shall continue in full force and effect.
19. **Counterparts.** This Agreement may be executed in two (2) or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. A facsimile copy of a signature shall be as binding as an original signature.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the day and year first written above by their respective officers thereunto duly authorized.

THE ARRINGTON FOUNDATION,  
an Illinois not-for-profit corporation

CITY OF EVANSTON,  
an Illinois home rule municipal corporation

By: \_\_\_\_\_  
Name: Michael Arrington  
Title: President

By: \_\_\_\_\_  
Name: Wally Bobkiewicz  
Title: City Manager

**EXHIBIT A**

**Scope of Work**

Arrington Lakefront Lagoon – Scope of Work

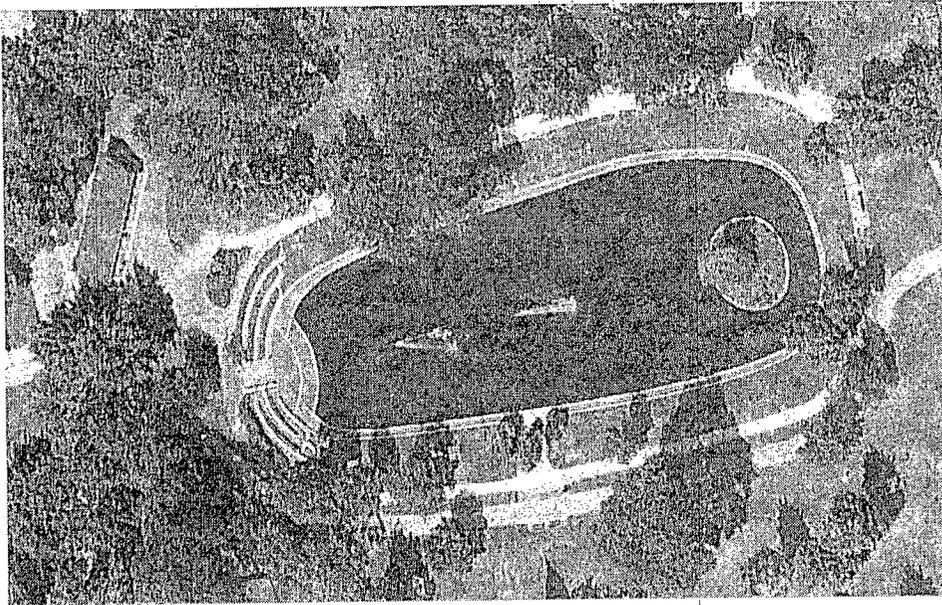
1. Reconstruct and widen the crushed stone pathway surrounding the lagoon.
2. Reconstruct and redesign the patio space surrounding and immediately south of the lagoon shelter. This work will also include pathway modifications at the approach walkways from the Sheridan/Church intersection to the northwest.
3. Repair and enhance existing stage and ramp pavements.
4. Enhance the lagoon with new site furnishings such as benches, café seating, trash receptacles, recycling receptacles and bike racks. Existing donor plaques currently on several of the benches will be salvaged and reinstalled in similar locations on new benches.
5. Enhance landscaping on the island and at the waterfall.
6. Construct a donor recognition sign and commemorative plaque to identify the site.
7. Provide repairs such as tuckpointing, cleaning and reconstruction to deteriorated masonry elements.
8. Provide code required Americans with Disabilities (ADA) improvements.
9. Reconstruct the lagoon's mechanical system including replacement of jets, water lines, electric lines, suction lines, suction pit, pumping equipment and accent lighting.
10. Repair/waterproof the lagoon's existing basin.
11. Reconstruct the stone waterfall.
12. Replace deteriorated security, stage and flood lighting and add accent lighting.

**EXHIBIT B**

**Project Plans**

# Application for Preservation Review of Proposed Landscape Improvements - Arrington Lakefront Lagoon

MARCH 2013



## Sheet Index:

- \* Cover Sheet
- \* Site History
- \* Current Public Use
- \* Existing Site Masonry Pictures & Masonry Key Plan
- \* Proposed Masonry Materials & Plaza Layout
- \* Proposed Masonry Restoration Details
- \* Proposed Restoration : WPA Steps
- \* Proposed Restoration : Waterfall
- \* Proposed Restoration : Site Furnishings
- \* Proposed Restoration : Fountain
- \* Proposed Renovation : Planting
- \* Proposed Restoration : Lighting



DURING THE LATE 19TH & EARLY 20TH C 1900'S THE LAKEFRONT LAND WAS CLEARED OF BRUSH; WITHIN DAWES PARK THE LAGOON WAS CREATED. PICTURE - 1910



POSTCARD FROM 1922 SHOWS MORE MATURE PLANTINGS, A PARK BENCH AND PATHS AND AN EARLY SHELTER.

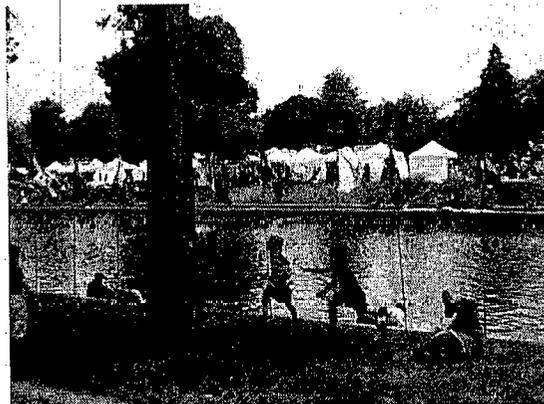
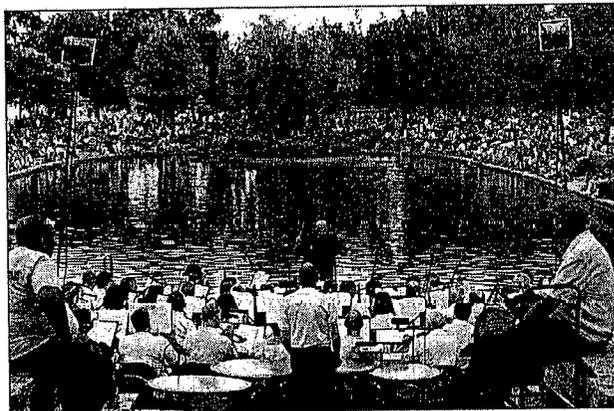


CURT TEICH POSTCARD C1950: VIEW OF PARK SHOWS THE WPA (WORKERS PROGRESS ADMINISTRATION) STEPS & WATERFALL BUILT IN 1933; A TIMBER RETAINED SHORELINE IS ALSO EVIDENT AS IS THE EXISTING SHELTER



RECENT PICTURE OF THE PARK IN ITS CURRENT CONDITIONS 2012: THE LAGOON WALLS FROM A 1980'S RESTORATION PROJECT ARE PRESENT AS ARE THE FOUNTAINS. A CENTURY ON THE USE HASN'T CHANGED





PLANNED PROGRAMS HELD AT THE LAGOON INCLUDE: MUSIC CONCERTS, ART FAIRS AND GROUP SPONSORED ACTIVITIES



THE SHELTER PROVIDES A LOCATION FOR CONCESSIONS; BATHROOM FACILITIES AND A RENTABLE WARMING SPACE FOR GROUP GATHERINGS.



PASSIVE FAMILY ACTIVITIES ARE POSSIBLE: FEEDING THE DUCKS OR RADIO CONTROLLED MODEL BOATING.

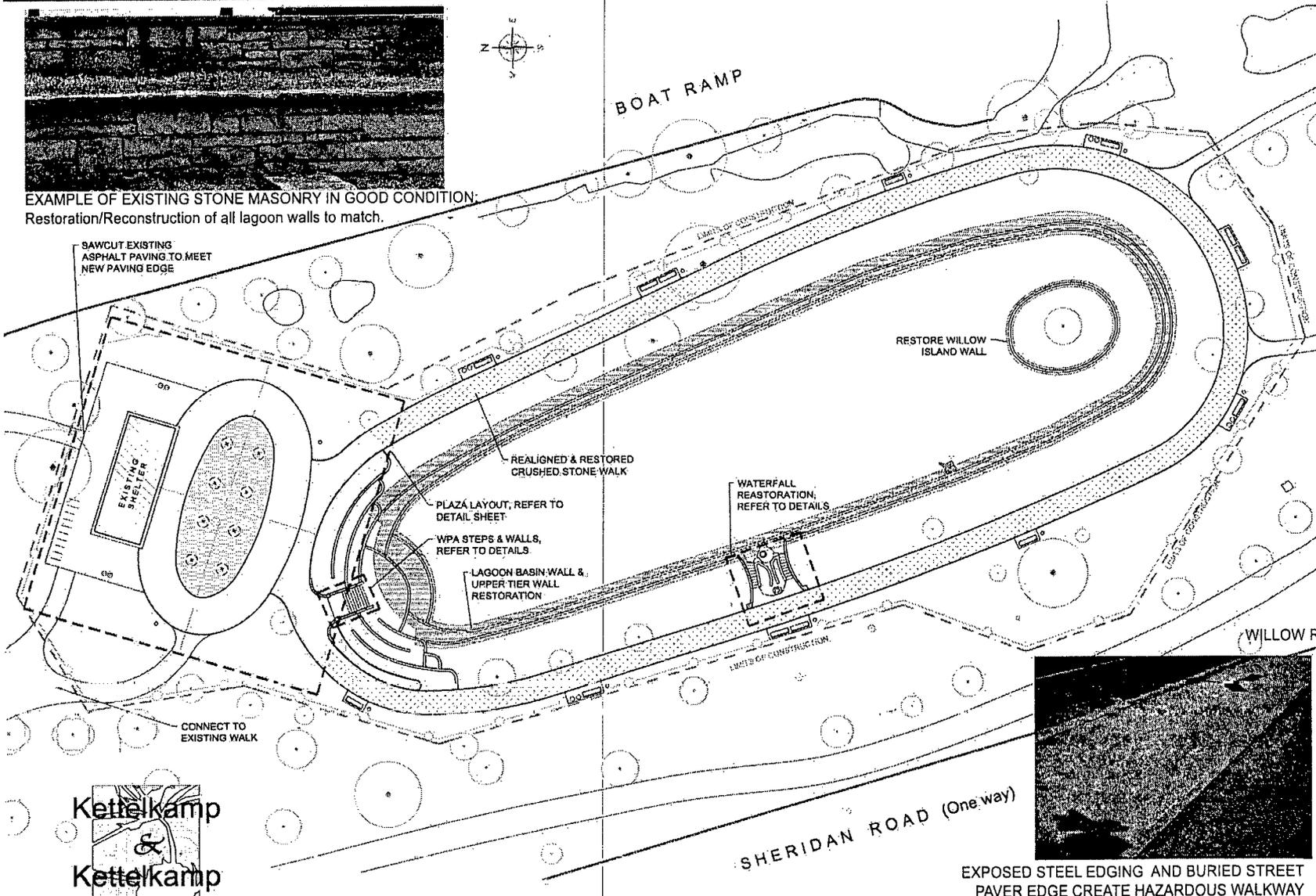
DURING THE WINTER MONTHS, WHEN WEATHER PERMITS, THE LAGOON BASIN IS FLOODED AND TURNED INTO A PUBLIC ICE SKATING RINK.



EXISTING MASONRY SITE PICTURES & PROPOSED MASONRY KEY PLAN



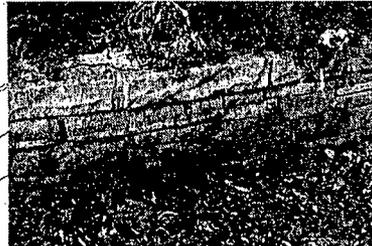
EXAMPLE OF EXISTING STONE MASONRY IN GOOD CONDITION:  
Restoration/Reconstruction of all lagoon walls to match.



CRACKS IN LAGOON BASIN WALL



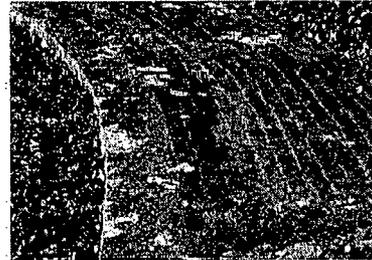
DAMAGED STONE AT UPPER TIER WALL



WILLOW ROOTS GROWING THROUGH ISLAND WALL



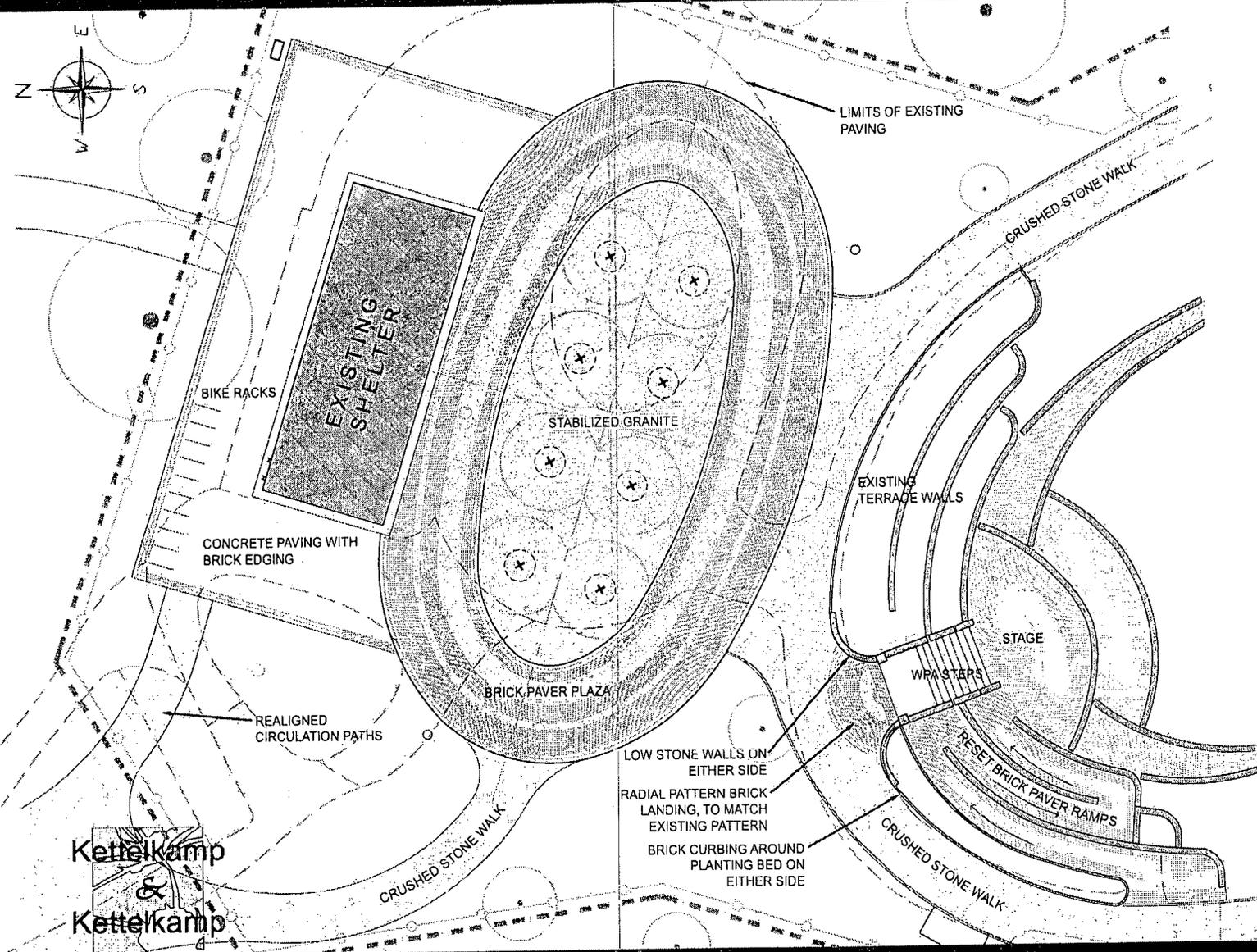
EXPOSED STEEL EDGING AND BURIED STREET PAVER EDGE CREATE HAZARDOUS WALKWAY



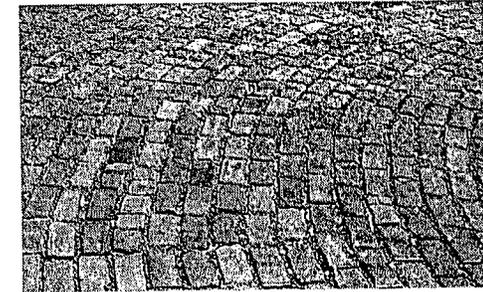
SETTLING OF BRICK WALKS & STAGE PAVING CREATE TRIPPING HAZARDS



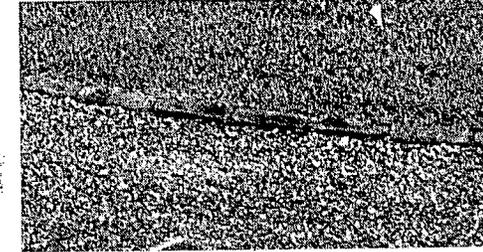
PROPOSED MASONRY: MATERIALS & PLAZA LAYOUT



**STABILIZED GRANITE PAVING:**  
Color of Granite to match Existing Brick Color



**EXISTING PAVERS:**  
Salvage and re-install existing Reclaimed brick pavers.



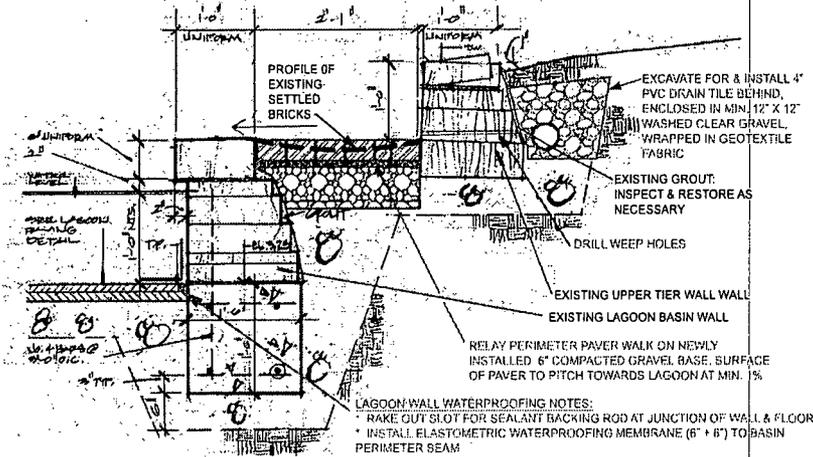
**CRUSHED STONE WALK WITH BRICK EDGING:**  
Brick edging to be set in reinforced mortar haunch



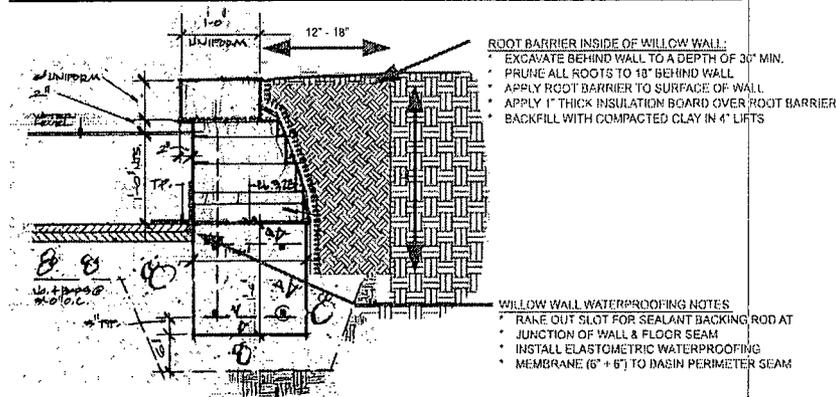
**PROPOSED MASONRY RESTORATION**

**EXISTING BASIN & UPPER TIER WALL RESTORATION NOTES:**

- DISMANTLE SETTLED WALL SECTIONS & REBUILD PER EXISTING CONSTRUCTION DETAILS & MASONRY
- RESET ALL LOOSE COPING STONES
- GRIND OUT & REPOINT CRACKED MORTAR JOINTS



**1. LAGOON BASIN WALL & UPPER TIER WALL RESTORATION - DETAIL**



**2. WILLOW ISLAND WALL RESTORATION - DETAIL**

**RESTORATION NOTES:**

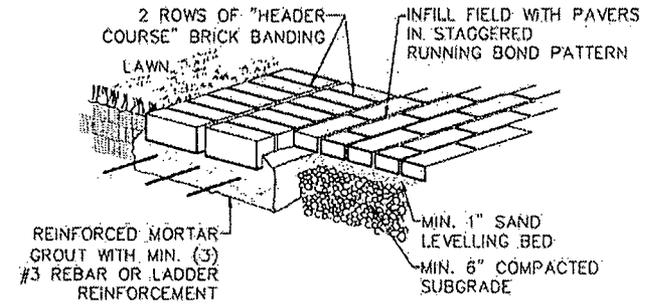
- DETAILS 1 & 2 SHOWN ARE CONSTRUCTION DETAILS OF ORIGINAL CONSTRUCTION METHODS
- INDICATED IN RED ARE RECOMMENDATIONS FOR RESTORATION OF MASONRY ELEMENTS TO THEIR ORIGINAL APPEARANCE & INTEGRITY

**MAIN CONCERNS:**

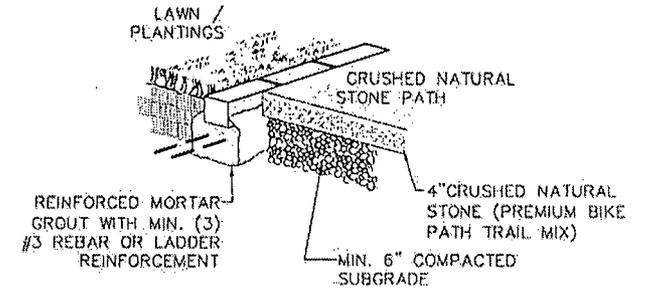
- UPPER TIER WALLS ARE TIPPING AND CAUSING WALLS TO CRACK. THIS IS DUE TO ABSENCE OF DRAINAGE BEHIND WALL
- LAGOON BASIN WALLS ARE LEAKING
- WILLOW TREE ROOTS ARE PENETRATING THROUGH ISLAND WALL
- BRICK PAVER WALKS ARE SETTLING
- EDGE RESTRAINT OF CRUSHED STONE WALKS ARE FAILING.

**NEW CONSTRUCTION DETAILS:**

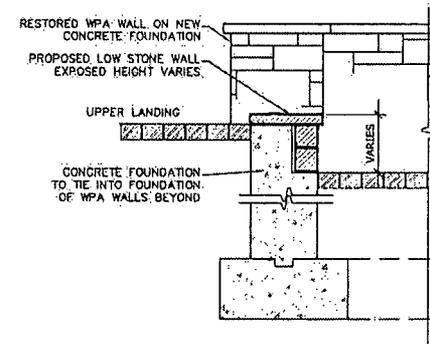
- PROPOSED CONSTRUCTION DETAILS ARE TO MATCH EXISTING DETAILS ON SITE.
- WHERE NECESSARY THE STRUCTURAL CONSTRUCTION ARE TO BE FURTHER STRENGTHENED WITH CONCRETE FOOTINGS AND MORTAR HAUNCHES



**4. SALVAGED PAVER AT PLAZA - DETAIL**



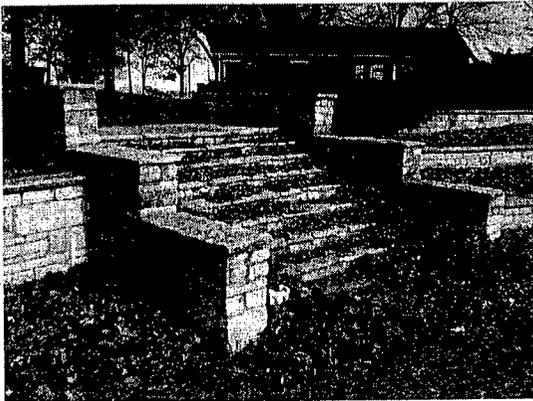
**3. PAVER EDGING & CRUSHED STONE WALK - DETAIL**



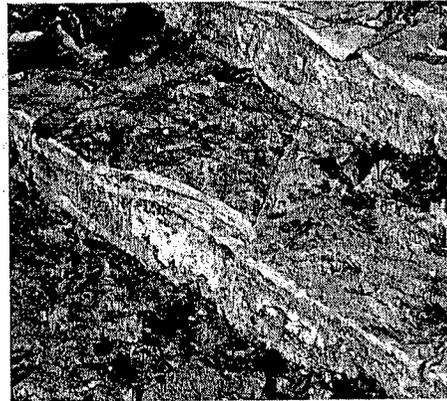
**5. PROPOSED LOW STONE WALL AT WPA WALLS**



**PROPOSED RESTORATION: WPA (Works Progress Administration) STEPS**



EXISTING WPA STEPS WITH WING WALLS



EXISTING STAIR TREADS THIN, CHIPPED & LOOSE

**EXISTING CONDITIONS**

**STEPS:**

- ORIGINAL STEPS HAVE THIN TREADS WITH LOOSE NOSING & CRACKED STONES.
- APPARENT SIGNS OF HAPHAZARD REPAIR OVER TIME WITH FAILING MORTAR.
- ADA HANDRAIL REQUIRED ON EITHER SIDE OF STEPS.

**WPA WING WALLS:**

- MASONRY WALLS HAVE DEEPLY CRACKED JOINTS AND SLIGHT OUTWARD LEAN DUE TO LACK OF PROPER CONCRETE FOOTINGS.
- STONE VENEER REPAIRS THAT HAVE OCCURED OVER TIME DO NOT MATCH EXISTING ORIGINAL MASONRY.
- SOME COPING PIECES ARE SIGNIFICANTLY CHIPPED AND MISSING.

**RECOMMENDATIONS**

**STEPS:**

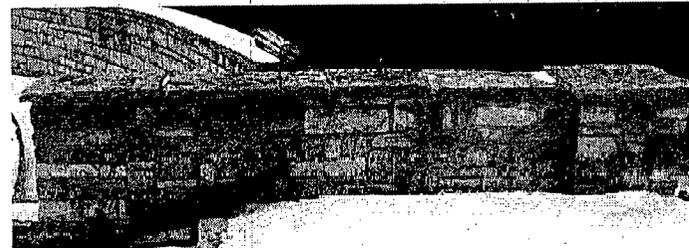
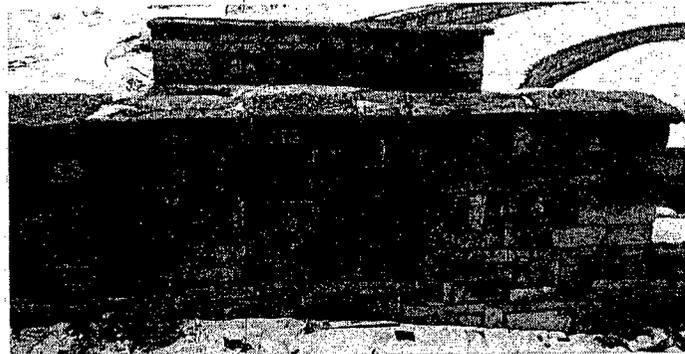
- LIFT RISER AND TREAD STONES ON STEPS AND DISPOSE OF PROPERLY OFF-SITE.
- CLEAN CONCRETE FOOTING AND INSTALL NEW LANNONSTONE RISERS AND TREADS WITH MORTAR TO MATCH TYPICAL WPA TECHNIQUE & APPEARANCE.
- FABRICATE & INSTALL NEW BLACK IRONWORK HANDRAIL ON EITHER SIDE OF STEPS

**WPA WING WALLS:**

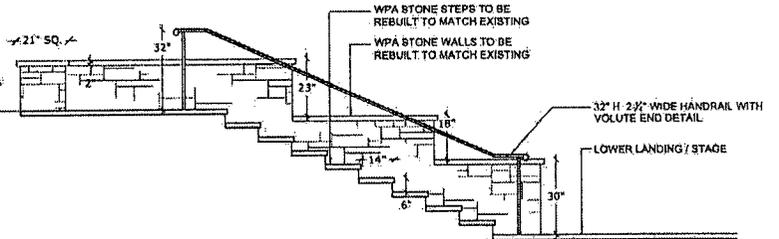
- DOCUMENT WALL FACE APPEARANCE FOR STONE PATTERN AND MORTAR SPECIFICATION.
- EXISTING WALLS TO BE DISMANTLED, PRESERVING STONE THAT CAN BE REUSED.
- EXCAVATE FOR AND POUR A NEW CONCRETE FOOTING.
- WALLS TO BE REBUILT TO MATCH EXISTING WPA APPEARANCE.



EXISTING 1933 WPA STONE SIGN ON UPPER WEST PIER: TO BE SALVAGED AND RESET



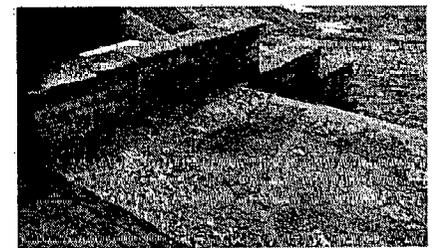
EXISTING WPA STONEMWORK STYLE: ASHLAR WITH BLEND OF HORIZONTAL & VERTICALS. NUMEROUS OPEN MORTAR JOINTS EVIDENCE OF FOUNDATION FAILURE.



SECTION THROUGH REBUILT WPA STEPS AND WING WALLS - 1/8" = 1'-0" SCALE



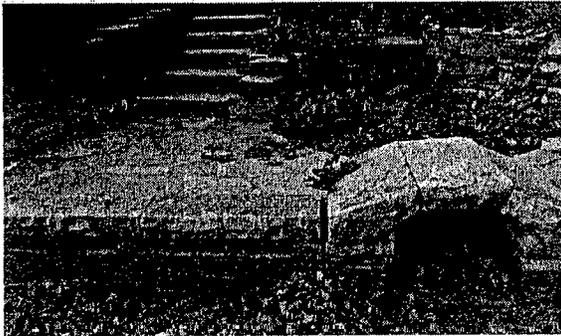
CHIPPED COPING; & LOOSE MORTAR



EXISTING UPPER FLAGSTONE LANDING



**PROPOSED RESTORATION: WATERFALL**



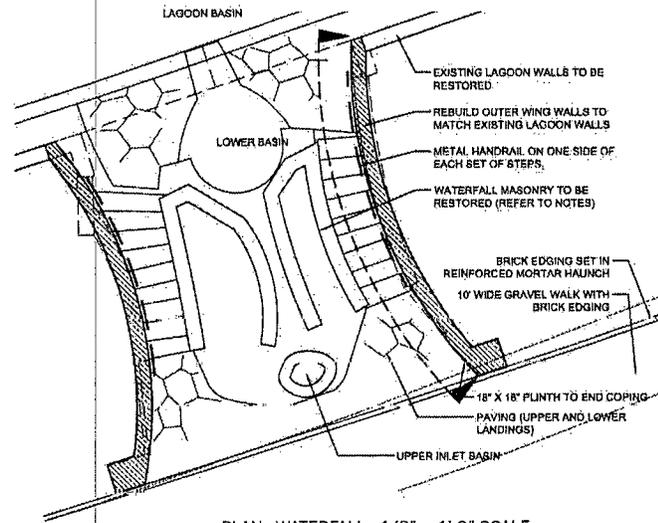
EXISTING WATERFALL BRIDGE:  
LOOSE SPAN STONES & OPEN JOINTS IN ABUTMENT.



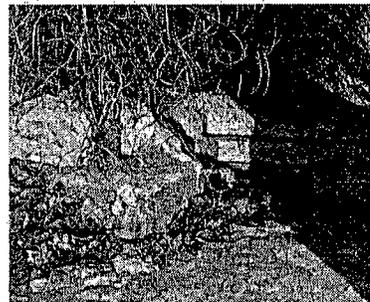
CRACKED PAVING AT LANDINGS



EXISTING WATERFALL STEPS



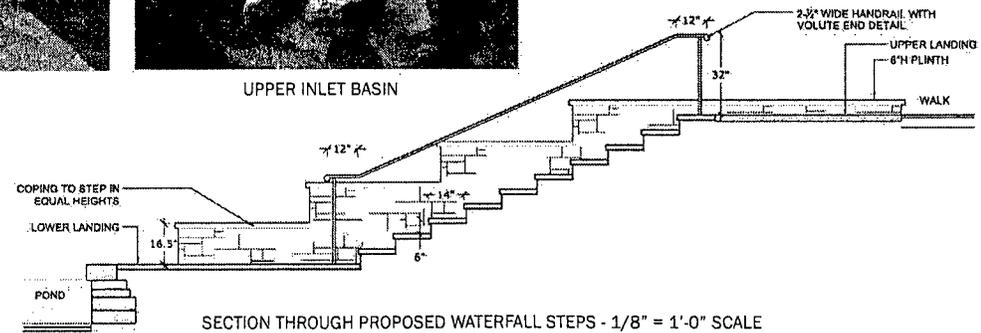
PLAN - WATERFALL - 1/8" = 1'-0" SCALE



OPEN WALLING JOINTS



UPPER INLET BASIN



SECTION THROUGH PROPOSED WATERFALL STEPS - 1/8" = 1'-0" SCALE

**EXISTING CONDITIONS**

- THE STEPS HAVE LOOSE & CHIPPED TREADS AND ARE HAZARDOUS.
- NO HANDRAIL AT STAIRS.
- PREVIOUS REPAIRS TO STONEMWORK OF WATERFALL AND WING WALLS HAVE MISMATCHED, LARGE AND LOOSE MORTAR JOINTS.
- SMALL FOOTBRIDGE AT LAGOON EDGE HAS LOOSE SPAN STONES.
- THE WATERFALL CHUTE & BACKWALL HAS LOOSE & CRACKED STONES.
- LANNONSTONE PAVING AT LANDINGS IS CRACKED & LOOSE IN SECTIONS.

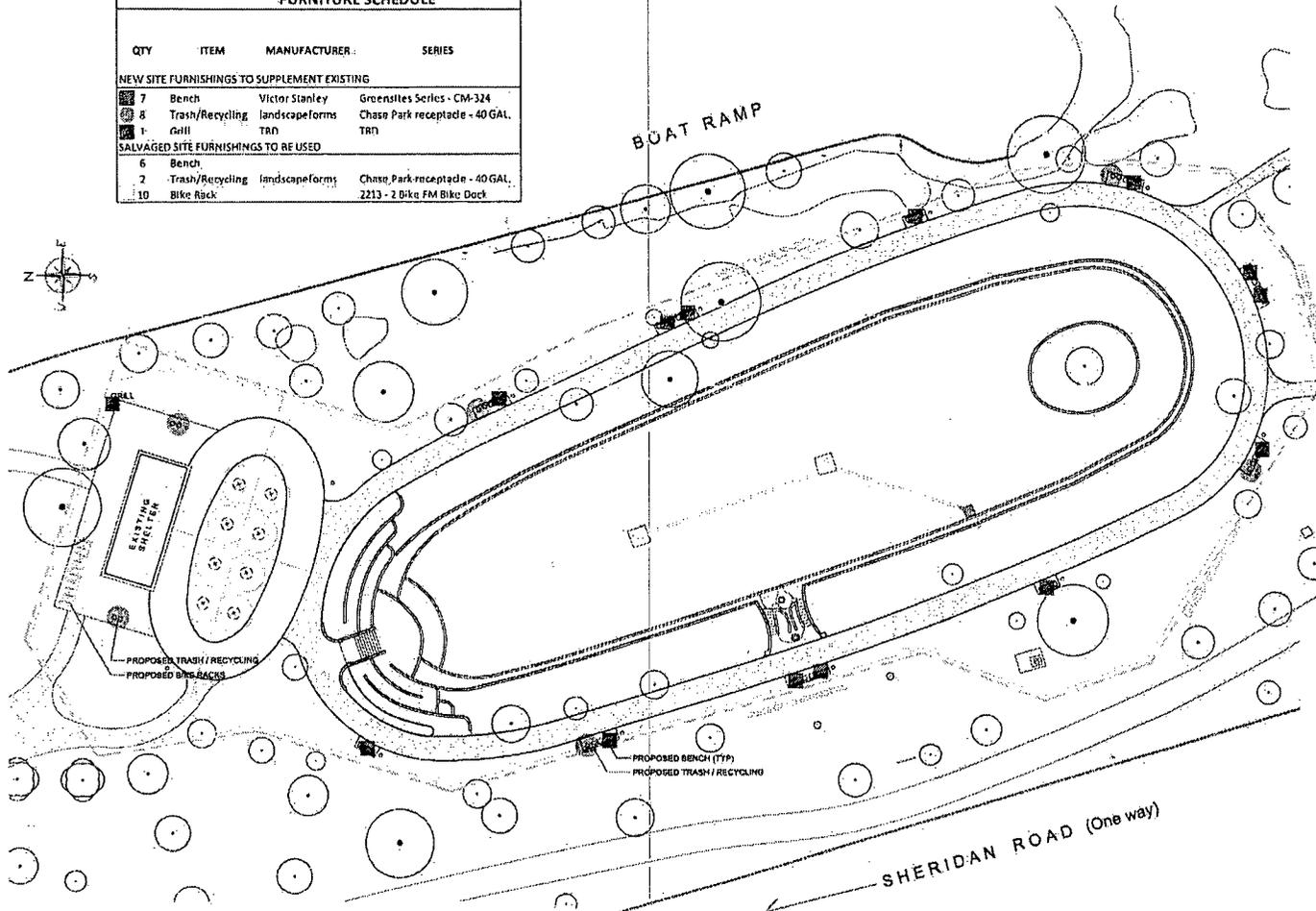
**RECOMMENDATIONS**

- THE OUTER STAIR WING WALLS ARE TO BE DISMANTLED.
- SALVAGED STONE FROM THE WING WALLS IS TO BE USED TO SUPPLEMENT RESTORATION TO THE WATERFALL STONEMWORK.
- THE WING WALLS WILL BE REBUILT WITH LANNONSTONE WITH AN APPEARANCE TO MATCH THE LAGOON WALLS.
- THE EXISTING STEP STONEMWORK WILL BE REMOVED AND THE EXISTING CONCRETE FOOTINGS WILL BE CLEANED ALLOWING NEW LANNONSTONE RISERS AND FLAGSTONE TREADS TO BE MORTAR LAID.
- THE BRIDGE STONE SPANS ARE TO BE RESET FOR ORIGINAL ARCH APPEARANCE.
- DISMANTLE PAVING AT THE LANDINGS SAVING SUITABLE STONE PAVERS FOR REUSE.
- RELAY UPPER AND LOWER STONE LANDING WITH SALVAGED STONE, SUPPLEMENTING WITH NEW OAKFIELD FLAGSTONE AS NECESSARY.

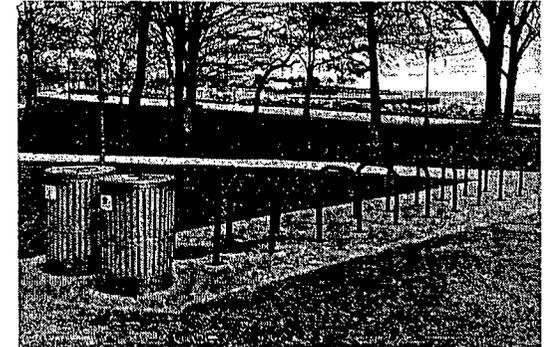


PROPOSED RESTORATION: SITE FURNISHINGS

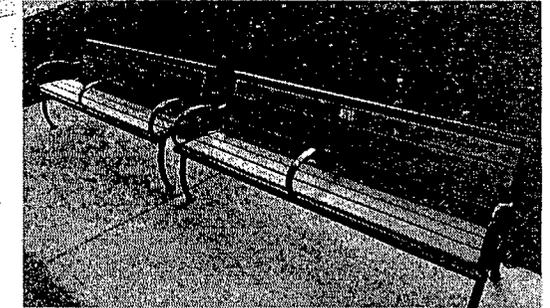
FURNITURE SCHEDULE			
QTY	ITEM	MANUFACTURER	SERIES
<b>NEW SITE FURNISHINGS TO SUPPLEMENT EXISTING</b>			
7	Bench	Victor Stanley	Greensites Series - CM-324
8	Trash/Recycling	landscapeforms	Chase Park receptacle - 40 GAL. TRN
1	Gill	TRN	TRN
<b>SALVAGED SITE FURNISHINGS TO BE USED</b>			
6	Bench		
2	Trash/Recycling	landscapeforms	Chase Park receptacle - 40 GAL. TRN
10	Bike Rack		2213 - 2 Dike FM Bike Dock



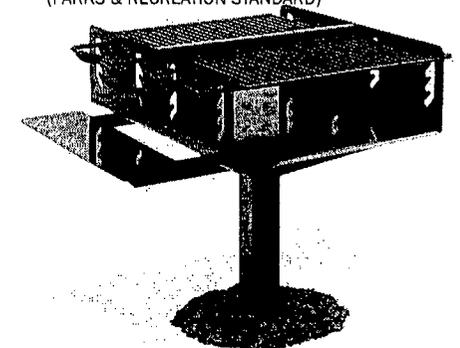
SITE FURNISHINGS LAYOUT PLAN - NOT TO SCALE



LF TRASH/RECYCLING RECEPTACLES  
BIKE RACKS



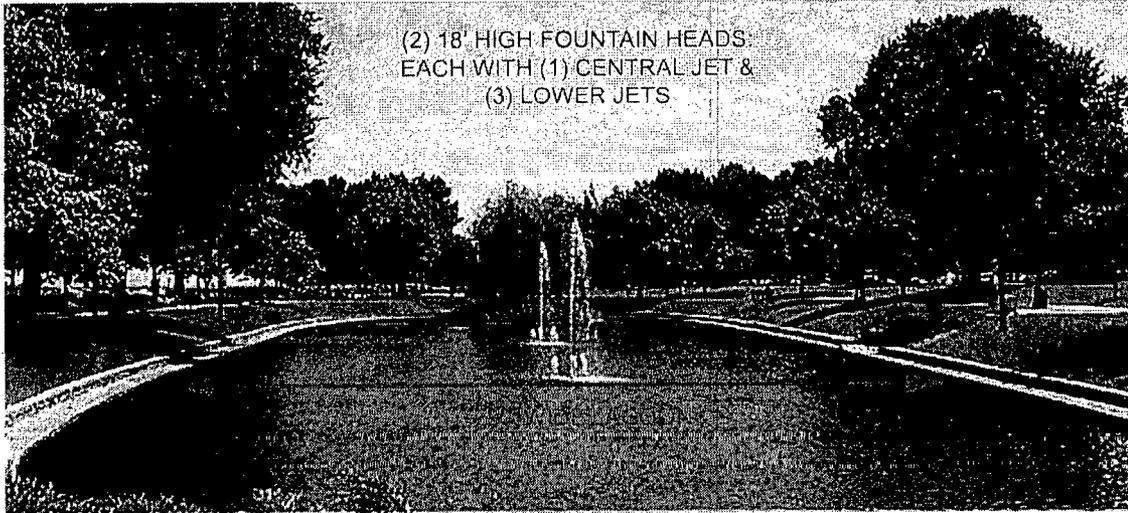
6' COMPOSITE & METAL VICTOR STANLEY BENCHES  
(PARKS & RECREATION STANDARD)



PARK GRILL



PROPOSED RESTORATION: FOUNTAIN



(2) 18' HIGH FOUNTAIN HEADS.  
EACH WITH (1) CENTRAL JET &  
(3) LOWER JETS



APPEARANCE OF PROPOSED  
NOZZLES AND WATER COLUMN  
SHOWING SUITABILITY FOR  
LED LIGHTING.

EXISTING FOUNTAINS:  
LOCATED AXIALLY IN LAGOON.  
SUBMERGED LIGHT FIXTURES  
INOPERABLE

PROPOSED FOUNTAIN TO HAVE  
UPDATED/ UPGRADED  
EQUIPMENT: PUMPS, NOZZLES,  
PIPING, CONTROLS, & VALVES.

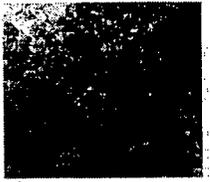


(2) 20' HIGH  
FOUNTAIN HEADS

HISTORIC FOUNTAIN JET LOCATIONS MAINTAINED. ADDITIONAL VOLUME AND HEIGH PROPOSED FOR WATER COLUMN.



PROPOSED RENOVATIONS PLANTING



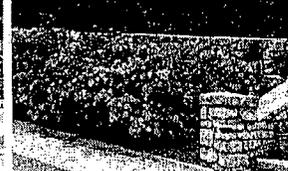
STONECROP *Sedum telephium* 'Red Cauli'



HYBRID SYCAMORE (LONDON PLANTTREE) *Platanus 'Exclamafiori'*



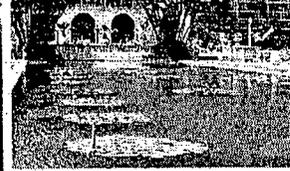
JUNIPER *Juniperus chinensis 'Kallaya Compacta'*



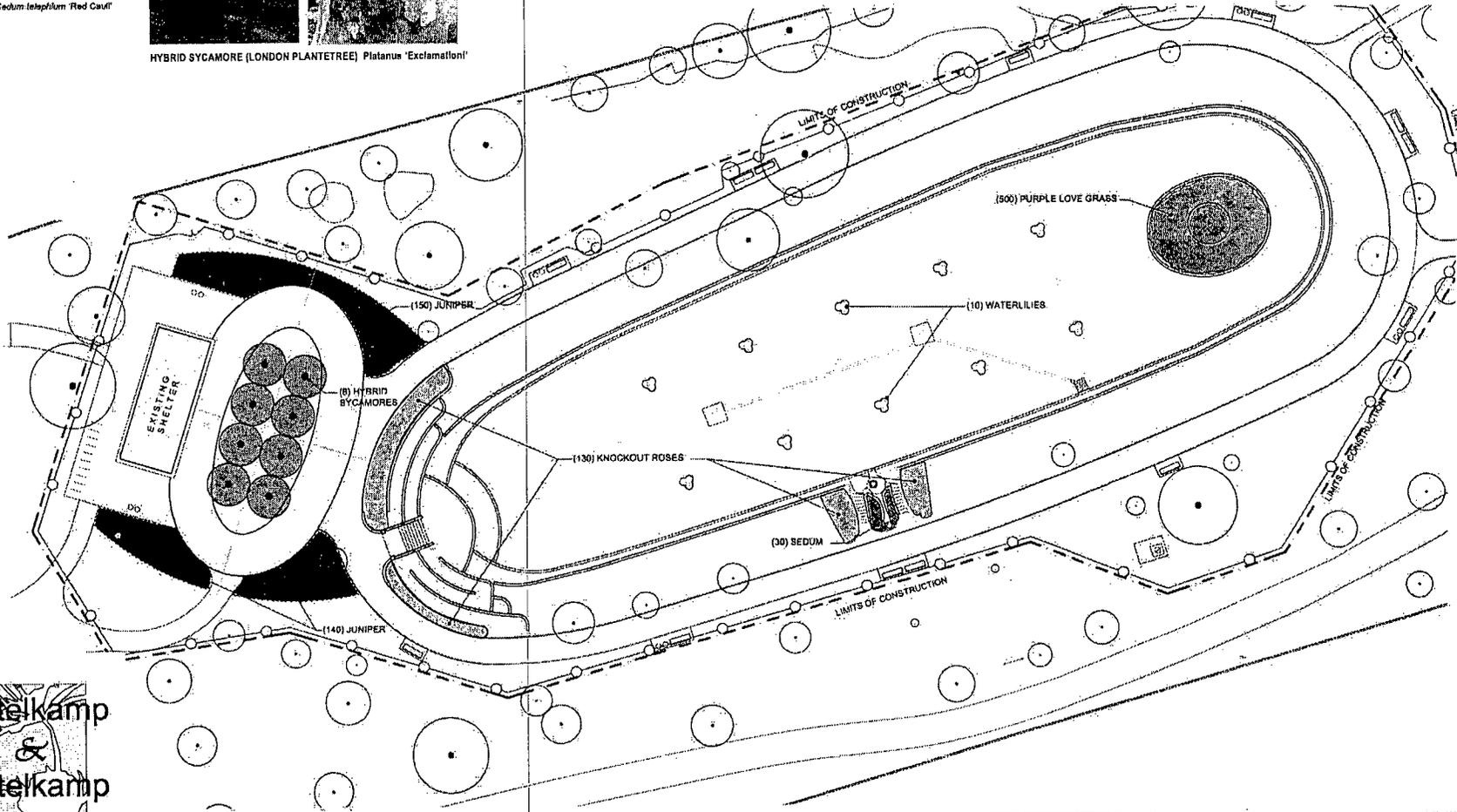
KNOCKOUT ROSE *Rosa 'Knockout'*



PURPLE LOVE GRASS *Eragrostis spectabilis*

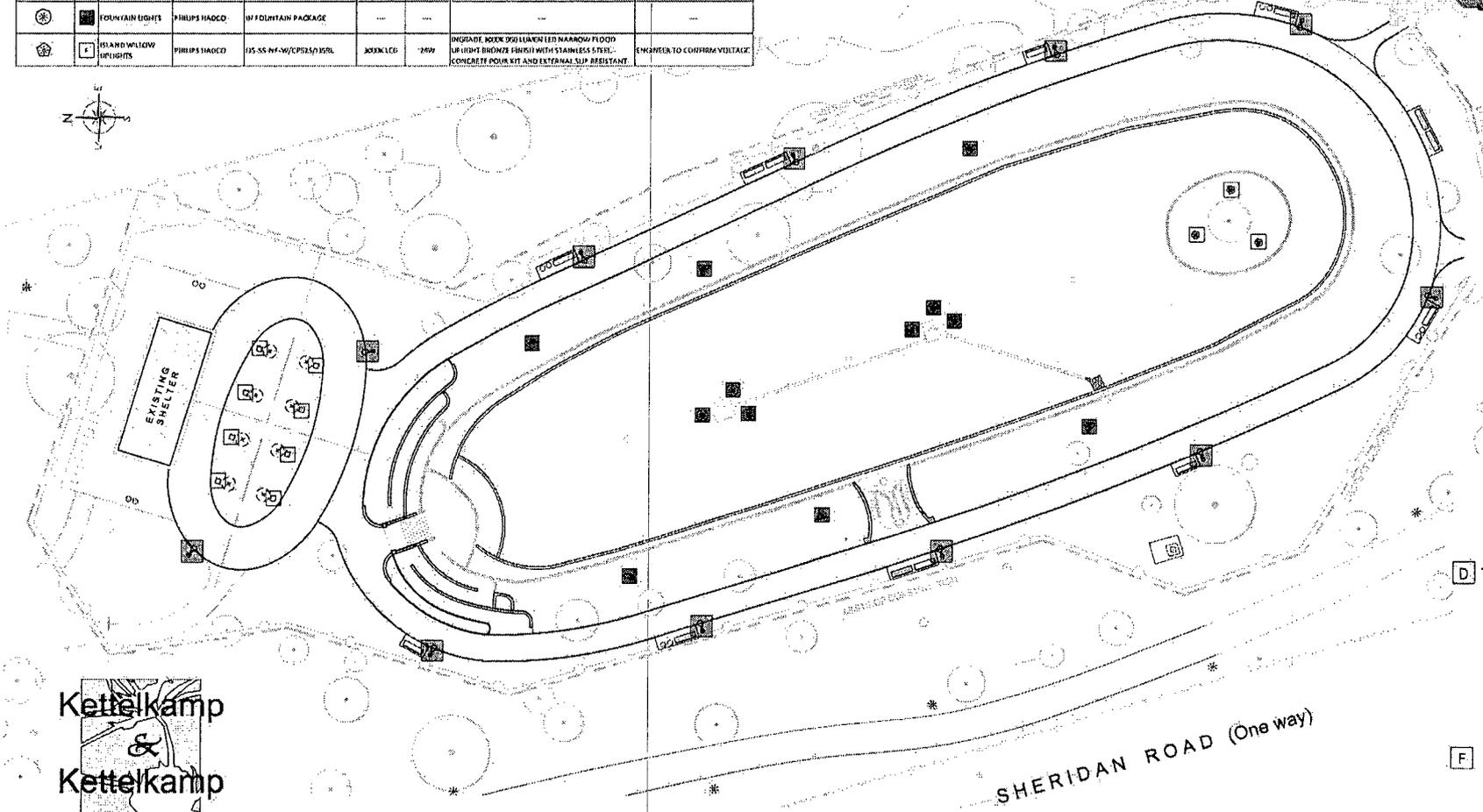


WATERLILY *Nymphaea* ssp.

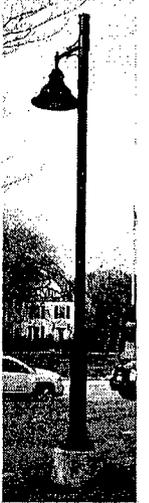
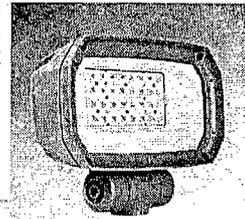


PROPOSED RESTORATION: LIGHTING

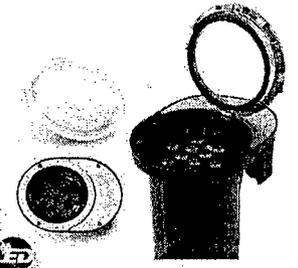
LIGHTING SCHEDULE								
SYMBOL	TYPE	LOCATION	MANUFACTURER	CATALOG#/HL	LAMP	INPUT WATTS	DESCRIPTION	REMARKS
⊙	A	LAKEFRONT COORIDOR LIGHTS	PHILIPS HADCO	DURV-100W/850-02A/210-011	4000K	110W	021 OUTLETS AT BASE OF EACH POST, AUTO-OFF SETTINGS	ENGINEER TO CONFIRM VOLTAGE
⊙	B	STAGE LIGHTS	PHILIPS GARDCO	D6C7-3M/8P-7SLA-WW-VOLTAGE/P17/15A POLE: 25'	3000K LED	75W EACH	POLE TOP MOUNT WITH 15WV POLE TOP ADAPTOR 300K 5.524 LUMEN LED NARROW SPOT FLOODLIGHT, BLACK FINISH, 25 FOOT POLE	ENGINEER TO CONFIRM VOLTAGE, SUPPLY POLE WITH TWO FIXTURES
⊙	C	ICE RINK LIGHTS	PHILIPS GARDCO	D6C7-3M/8P-7SLA-WW-VOLTAGE/P17/15A POLE: 25'	3000K LED	55W EACH	POLE TOP MOUNT WITH 15WV POLE TOP ADAPTOR 300K 4.618 LUMEN LED HORIZONTAL FLOOD, BLACK FINISH, 25 FOOT POLE	ENGINEER TO CONFIRM VOLTAGE, SUPPLY POLE WITH TWO FIXTURES
⊙	D	TREE UPLIGHTS AT PLAZA	PHILIPS HADCO	125-R-1P-W/CPS/25/15R/L	3000K LED	75W EACH	BRUNTE FINISH WITH STAINLESS STEEL CONCRETE POLYMER AND EXTERNAL SLIP RESISTANT LEAS	ENGINEER TO CONFIRM VOLTAGE
⊙	E	FOUNTAIN LIGHTS	PHILIPS HADCO	111 FOUNTAIN PACKAGE	---	---	---	---
⊙	F	ISLAND WILLOW UPLIGHTS	PHILIPS HADCO	125-SS-W/C/PS/25/15R/L	3000K LED	75W	BRUNTE FINISH WITH STAINLESS STEEL CONCRETE POLYMER AND EXTERNAL SLIP RESISTANT LEAS	ENGINEER TO CONFIRM VOLTAGE



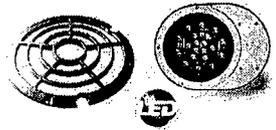
ICE RINK LIGHTS: PHILIPS GARDCO LUMEN LED HORIZONTAL FLOOD W/ 25' H POLE



A LAKEFRONT COORIDOR PATH: PHILIPS LUMEC



D TREE UPLIGHTS AT PLAZA: PHILIPS HADCO LUMEN LED SPOT UPLIGHT



F ISLAND WILLOW UPLIGHTS: PHILIPS HADCO LUMEN LED NARROW FLOOD UPLIGHT



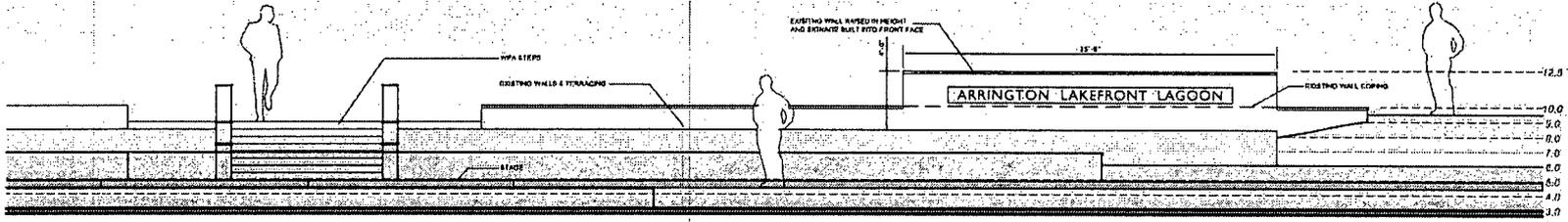
**EXHIBIT C**

**Proposed Signage**

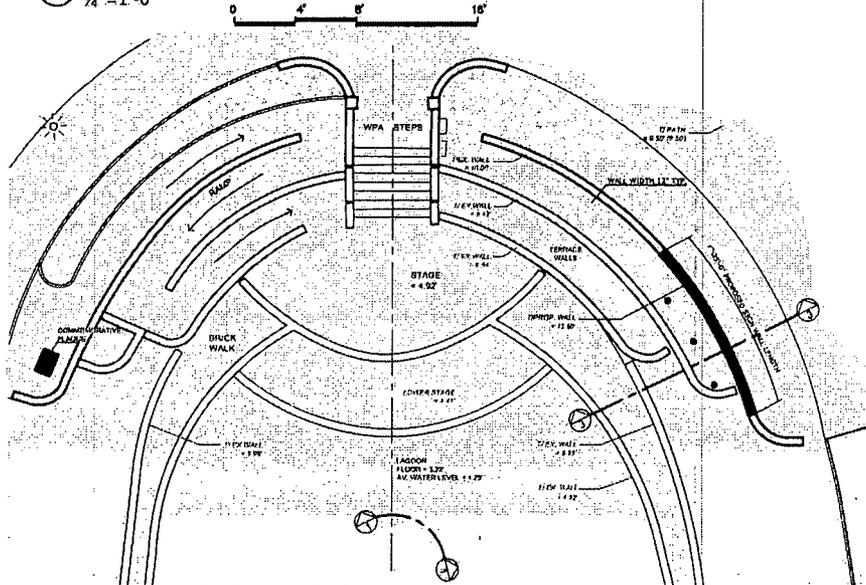
**Kettlerkamp & Kettlerkamp**  
 INCORPORATED  
 ARCHITECTURE

4318 Sheridan Place  
 Evanston, IL 60201

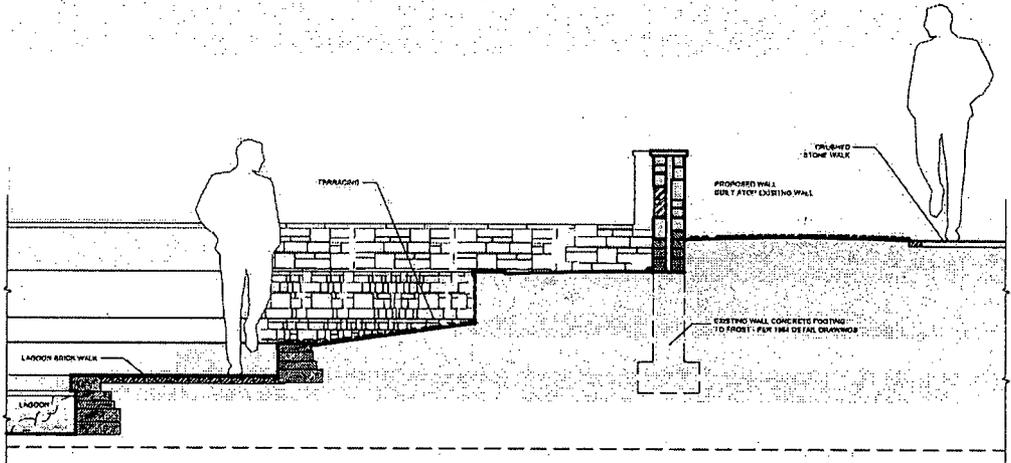
tel 847.908.1284  
 fax 847.908.1286  
 www.kettlerkamp.com



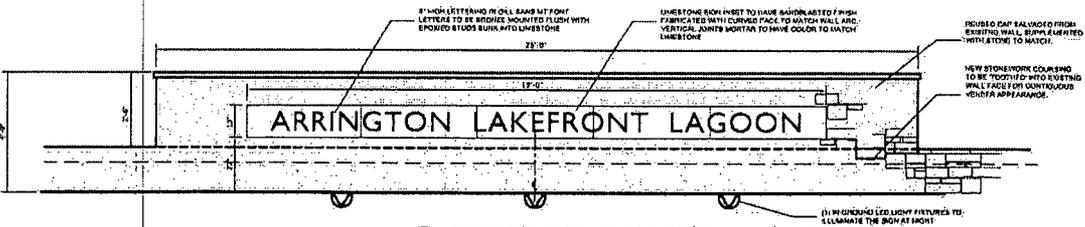
1 PROPOSED WALL SIGNAGE - ELEVATION  
 1/4" = 1'-0"



2 PROPOSED WALL/SIGNAGE & COMMEMORATIVE PLAQUE - PLAN  
 1/8" = 1'-0"



3 PROPOSED WALL/SIGN - SECTION  
 1/2" = 1'-0"



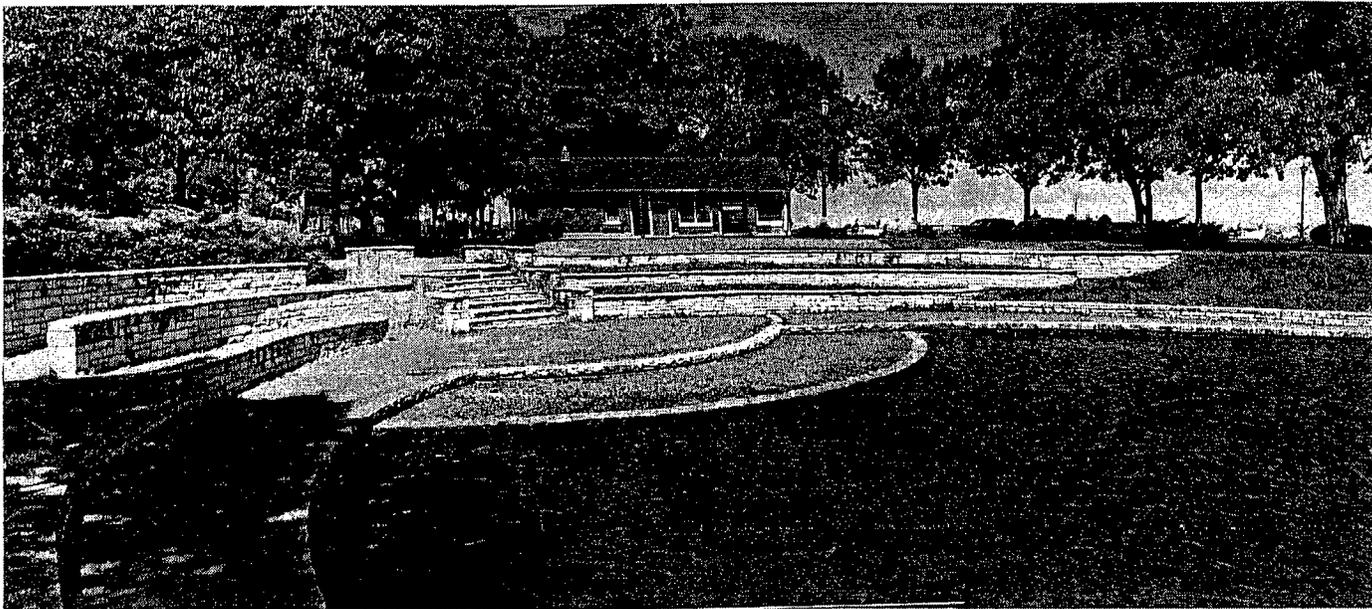
4 PROPOSED SIGN - STONE INLAY & LETTERING  
 1/2" = 1'-0"

**ARRINGTON LAKEFRONT LAGOON**

1700 Sheridan Road  
 Evanston, Illinois

Donor Recognition Wall

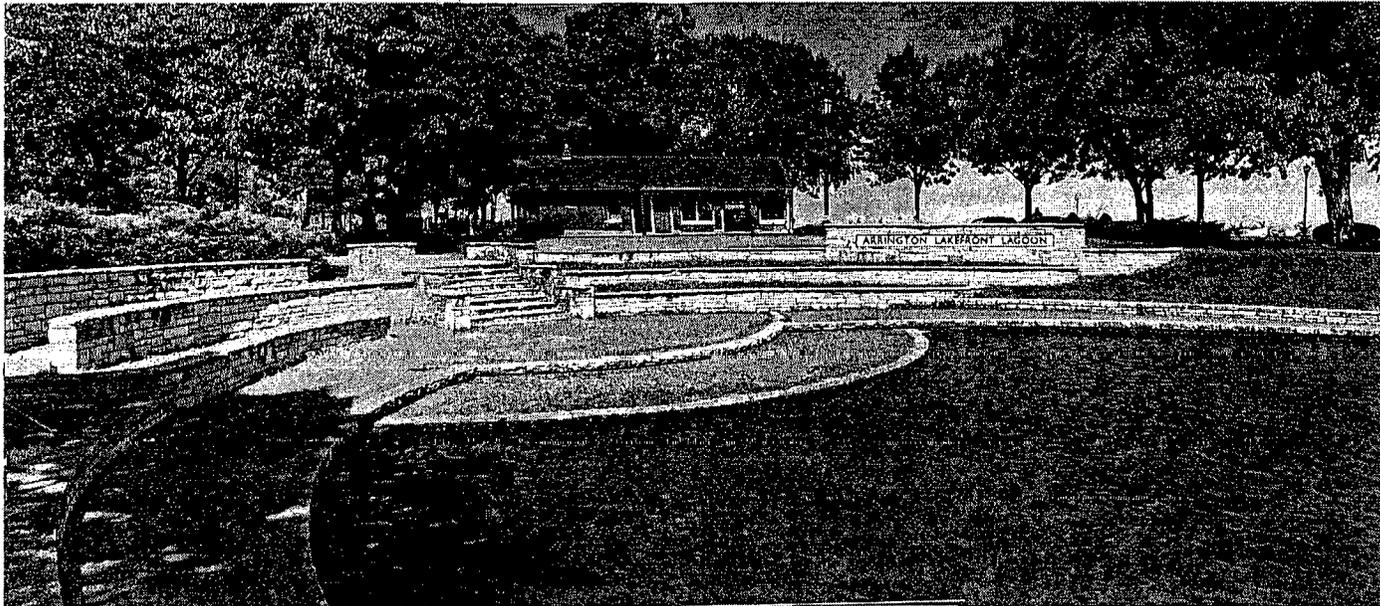
May 2013.



EXISTING VIEW OF  
TERRACED WALLS,  
WPA STEPS, STAGE &  
SHELTER

Kettelkamp  
&  
Kettelkamp  
landscape  
architecture

2335 Sherman Place  
Evanston, Illinois 60201  
tel. 847.908.1384  
fax. 847.908.1388  
www.kettelkamp.com



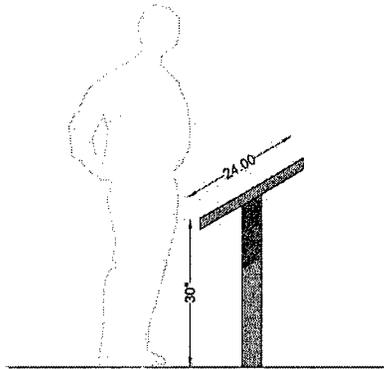
PROPOSED VIEW OF  
DONOR RECOGNITION  
SIGN

ARRINGTON  
LAKEFRONT LAGOON

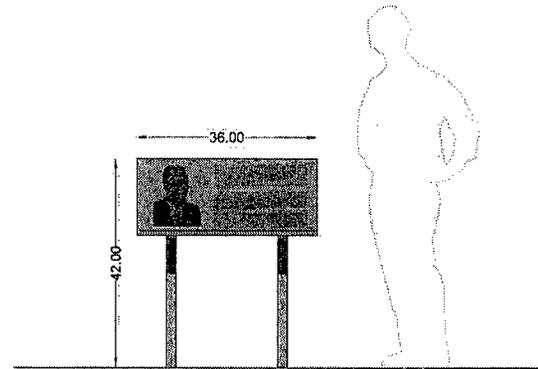
1700 Sheridan Road  
Evanston, Illinois

Donor Recognition Wall

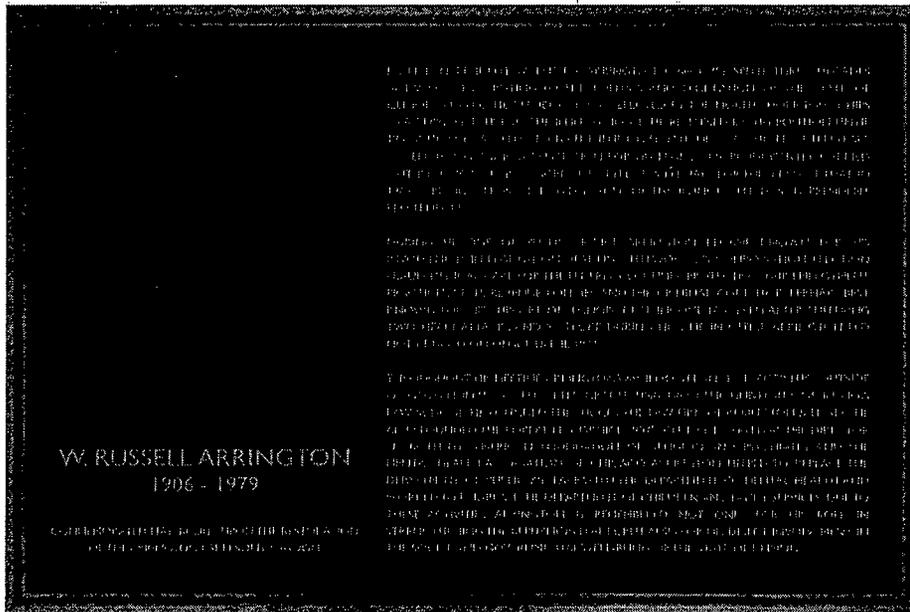
May 2013



Plaque Elevation: Side View



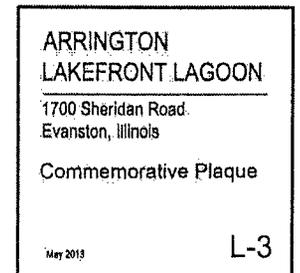
Plaque Elevation: Front View



Interpretive Memorial Plaque

**CAST BRONZE PLAQUE**

- BAS RELIEF LETTERING & SCULPTED PORTRAIT.
- LIGHT NATURAL PATINA/BROWN TEXTURED BACKGROUND.
- SATIN POLISHED EDGE FRAME AND LETTERING.
- PORTRAIT 'ANTIQUED' TO ACCENTULATE RELIEF.
- TEXT CONTENT IS REPRESENTATIVE ONLY.
- TWO SUPPORT LEGS FROM SOLID BRONZE.
- MOUNTED INTO CONCRETE FOOTINGS TO FROST.



### Bills List Review

1<sup>st</sup> Bills List of the month should include the credit card activity report and Sam's Club Statements.

2<sup>nd</sup> Bills List of the month should include the Nextel.

1. Have the previous bills list in hand as beginning reference point.

2. Verify the date of the council meeting in the red box on the memo.

3. Verify the addressees of the memo.

- Should be Honorable Mayor and Members of the City Council on the 1<sup>st</sup> line.
- Should be Administration and Public Works Committee on the 2<sup>nd</sup> line.

4. Verify the titles of the staff submitting the memo.

5. Verify the date of the memo. It should be the date that the bills list is sent out (the Thursday before the Council meeting).

6. Verify the number of payrolls and the dates of those payroll periods listed on the memo.

7. Verify the date of the bills list on the memo under the summary header. It should be the day after the day of the Council Meeting and must match the date on the Bills List detail report.

8. Verify the amount of each payroll listed on the memo against the payroll register and the payroll gold sheet.

9. Verify the bills list total on the memo against the bills list detail report.

10. Verify the General Fund total on the memo. Add the individual amounts listed on the memo to ensure that the sum of the individual amounts equals the General Fund total listed on the memo.

11. Verify the credit card amount listed on the memo to the amount paid to the credit card company in the bills list.

12. Verify the period-ending date of the credit card activity report. It should be the 2 months prior. For the 1<sup>st</sup> Bills List in June, the period-ending date for credit card activity report was April 30, 2012.

13. Verify each individual General Fund supplement transaction in the Bills List detail report to the total amount of the General Fund Supplemental List on the memo.

14. Verify that there are no transactions charged to BU 2805 through 2845. These accounts are closed.

15. Verify that there are no transactions charges to BU 7720. Vehicle replacements purchases must be charged to BU 7780.

16. Review the Bills List Detail – working across each row rather than down each column.

---

17. Review each payment over \$1,000.

**18. Verify that there are no payments to Illinois Municipal League.**

**19. Review payments in the West Evanston TIF – Make sure there are no large payments or capital payments.**

**20. Review payments to Accountemps – make sure the payments are current.**

**21. Search for specific vendor names in electronic version to ensure that there are no payments to these vendors:  
Lemoy, Grainger, Chicago Tribune, Sun-Times, Pioneer Press**

**22. Search for key words in electronic version: wireless, blanket, monthly**

**23. Search for training or travel in the electronic version and verify that Wally has approved each expense.**

**Review Bills List in electronic version.**