



**AGENDA**  
**Preservation Commission**  
**Tuesday, March 14, 2023**  
**Lorraine H. Morton Civic Center 7:00 PM**

Page

**1. CALL TO ORDER/DECLARATION OF A QUORUM**

**2. PUBLIC COMMENT**

**A. Public Comment**

At this time members of the public will have three (3) minutes per person to state comments on items listed under "**Discussion**" below.

For cases listed under **Old Business** and **New Business** below, the public will have three (3) minutes per person to state comments after the applicant's presentation and the Commission's question/answer period. The Commission's presiding Officer has the discretion to grant additional time for comment if necessary.

**3. OLD BUSINESS**

**A. 2306 Harrison Street - Landmark -23PRES-0010**

4 - 25

Hauser Architects, applicant, submit for a Certificate of Appropriateness to demolish an existing single-story rear-volume addition and construct a new two-and-one-half story addition at the homes rear and side volumes, and alter the homes fenestration at the west elevation.

**Applicable Standards:** Demolition [1-5]; Alteration [1-10]; and, Construction [1-8; and, 10-15].

- [0. 2306 Harrison HPC Memo](#)
- [1. COA Application](#)
- [2. Plans](#)
- [3. Inventory Sheet](#)
- [4. Zoning Analysis Summary](#)

#### 4. NEW BUSINESS

##### A. **1139 Sheridan Road - Lakeshore Hist. Dist. - 23PRES-0021**

26 - 62

Brad Lightner, architect, and applicant, submit for a Certificate of Appropriateness to remove the existing raised patio and existing 2-car garage. Construct new mudroom addition on the primary structure and replace the existing garage with a new detached 2-story Accessory Dwelling Unit (ADU). Replace existing windows at the rear of the house. There are several exterior improvements including a wood pergola attached to the ADU and a new raised wood deck with a pergola, fireplace, and plunge pool near the primary structure. The side and rear fences will be adjusted and replaced to match the existing.

**Applicable Standards:** Demolition [1-5]; Alteration [1-10]; and Construction [1-5, 7, 8, 10-15]

- [1. 1139 Sheridan Rd HPC Memo](#)
- [2. COA Application](#)
- [3. Plans](#)
- [4. Zoning Analysis Summary](#)
- [5. Survey Sheet](#)

##### B. **630 Central Street - Landmark - 23PRES-0022**

63 - 77

Mike Hauser, architect, and applicant, submit a Certificate of Appropriateness to replace 22 single-paned true divided light wood casement windows with a lead window grill (several of these windows have a stained glass round accent in the pattern). The replacement windows are clad wood Marvin Ultimate casement windows with an applied divider grill that would replicate the original dimensionally and functionally. The stained glass detail would be applied to the inside of the window in the lead circle. The original windows would be salvaged for reuse.

**Applicable Standards:** Alteration [1-10]

- [1. 630 Central St HPC Memo \(1\)](#)
- [2. COA Application](#)

- [3. Plans](#)
- [4. Statement of Significance](#)
- [5. Inventory Sheet](#)

C. **Rules and Procedures**

78 - 88

For action. The Commission discussed and reviewed written changes to the Rules and Procedures at the February 15, 2023. Action is required at this meeting per Article 10 of the current Rules and Procedures.

[Rules & Procedures\\_DRAFT](#)

**5. APPROVAL OF MEETING MINUTES**

A. **Minutes of February 15, 2023**

**6. DISCUSSION (NO VOTE WILL BE TAKEN)**

A. **Preservation Commission Annual Report**

89 - 99

Discussion on the Preservation Commission's Annual Report for Fiscal Year 2022.

[Board and Commission Annual Report](#)

**7. ADJOURNMENT**

The next Preservation Commission meeting is scheduled for April 11, 2023.

**Order & Agenda Items are subject to change.** Information about the Preservation Commission is available at: Preservation Commission Questions can be directed to Carlos Ruiz at 847-448-8687 or at [cruiz@cityofevanston.org](mailto:cruiz@cityofevanston.org) The city is committed to ensuring accessibility for all citizens; if an accommodation is needed to participate in this meeting, please contact the Planning and Zoning Division at (847-448-8687) 48 hours in advance so that arrangements can be made for the accommodation if possible. **Español** - La ciudad de Evanston tiene la obligación de hacer accesibles todas las reuniones públicas a las personas minusválidas o a quienes no hablan inglés. Si usted necesita ayuda, favor contacte a Carlos D. Ruiz de la Oficina de Planificación y Zonificación llamando al (847/448-8687) o [cruiz@cityofevanston.org](mailto:cruiz@cityofevanston.org) con 48 horas de anticipación para acomodar su pedido en lo posible



# STAFF REPORT

To: Members of the Preservation Commission  
From: Cade W. Sterling, Planner  
Subject: 2306 Harrison Street – 23PRES-0010  
Date: February 8, 2023

## Public Notice

### **2306 Harrison Street - Landmark - 23PRES-0010**

Hauser Architects, applicant, requests a Certificate of Appropriateness to demolish an existing single-story rear-volume addition and construct a new two-and-one-half story addition at the homes rear and side volumes, and alter the homes fenestration at the west elevation.

**Applicable Standards:** Demolition [1-5]; Alteration [1-10]; and, Construction [1-8; and, 10-15].

Construction Period:  
Circa 1890

Style:  
Vernacular Gable Ell Cottage

Architect of Record:  
Unknown

Condition:  
Good

Integrity:  
Excellent

Status:  
Landmark (1985)

Setting:

2306 Harrison Street is an individually registered Landmark in northwest Evanston located on the south side of Harrison Street midblock between Pioneer Road to the east and Elm Avenue to the west. Despite a historic district never being established, the area in question is part of the Northwest Evanston Survey Area and contains a high concentration of individual Landmarks including 2444, 2450, and 2454 Pioneer to the southeast, 2319 Lincoln Street, designed and occupied by Dwight Perkins and family to the south, and 2420 Harrison, the Charles A. Brown House, designed by Frank Lloyd Wright to the west.

Significance:

The home is significant in its ability to represent once common vernacular building typologies typical for this period. The Gable-Front and Gable-ElI building forms include vernacular representations of Greek Revival, Italianate, Queen Anne, and other eclectic variations which are defined by a dominant gable elevation facing the street. These vernacular building types often include spare or refined ornamentation. A Gable-ElI cottage includes the dominant front gable elevation with a short wing or bay extension on the side elevation.

The north elevation dormer was added in 2008. The rear addition was constructed in 1978. Character defining features of the home include the truss work and shingle pattern in the gable apex, the porch spindle work, wood banding, and wood trim and moldings as well as the overall scale of the structure. The building retains excellent integrity.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

**Demolition**

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.
2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.

4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

#### **Alteration**

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.

2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.

3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.

4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or

archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

### **Construction**

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

6. *Rhythm of entrance porches, storefront recesses, and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

9. *Walls of continuity.* Facades and property and site structures, such as masonry walls, fences and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &  
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to [preservation@cityofevanston.org](mailto:preservation@cityofevanston.org):

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

**For new construction, additions, major alterations, and demolition**, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

**Section A. Required Information (Print) \* Refer to the Supplemental Information for guidance [page "i" fifth below].**

<b>1) Property Address:</b> 2306 Harrison Street	<b>FOR STAFF USE ONLY</b> <b>Application Number:</b>
<b>2) Owner's Name:</b> Ling Chan and John Font	Address: 2306 Harrison Street
City: Evanston      State: IL      Zip: 60201	Phone: (917) 501-8133      Email/Fax: a.lingychan@gmail.com.com
<b>3) Architect's Name:</b> JT Hauser Architects	Address: 1715 Chancellor Street
City: Evanston, IL      State: IL      Zip: 60201	Phone: (847) 707-5129      Email/Fax: mike@jthausser.com
<b>4) Contractor's Name:</b> to be determined	Address:
City:      State:      Zip:      Phone:      Email/Fax:	
<b>5) Landmark:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No      * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
<b>6) Within Local Historic District:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No; If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
<b>7) Refer to the completed Zoning Analysis and check as applicable if project requires:</b> <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → <b>If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.</b> <b>Check if your project requires:</b> <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → <b>Refer to Supplemental Information on page (i) below.</b>	

**Section B: Application for Certificate of Appropriateness**

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

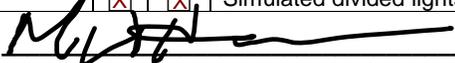
Remove existing addition from rear of residence. Construct two-story addition at rear of home in its place.

The work will improve several essential spaces (kitchen, family room, mud room) and spatial relationships within the home. The current addition blocks light and views into the rear yard and is awkwardly sized as anything other than a small bedroom.

This addition has been designed to improve these and other issues while using the same materials, and basic massing.

**2) Checklist (Check all that apply and attach any additional information)**

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction additions over existing first floor construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Demolition	<input type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: match ext'g clad DH	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof match ext'g asphalt shingle	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement match ext'g at addition	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material: lap siding / shingle siding	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.											
Existing	Proposed		Existing	Proposed		Existing	Proposed				
<input type="checkbox"/>	<input type="checkbox"/>	<b>Façades/Front Porch &amp; Rear Porch Material</b> Wood Frame Stone <input checked="" type="checkbox"/> Brick Stucco Synthetic Stucco <input checked="" type="checkbox"/> Wood Siding Aluminum Siding Vinyl Siding <input checked="" type="checkbox"/> Shingle, Material: _____ Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Flashing Material</b> Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>				
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<b>Fences</b> Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____	<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<b>Roofing Material</b> Wood Shingles Wood Shakes Slate Clay Tile <input checked="" type="checkbox"/> Asphalt Shingles Metal Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>		<b>Fascias, Soffits, Rakeboards, Trim</b> Wood Metal Synthetic Material, Type: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<b>Terraces, Patios, Decks</b> Wood Stone <input checked="" type="checkbox"/> Brick Pavers Concrete Pavers Poured Concrete Other: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<b>Chimney Material</b> Brick Stone Stucco Other: _____	<input type="checkbox"/>		<input type="checkbox"/>	<b>Door Material</b> Wood Metal <input checked="" type="checkbox"/> Clad Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>	<b>Driveway Material</b> Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____		<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>				<b>Gutters/Downspouts</b> <input checked="" type="checkbox"/> Copper Aluminum Galvanized Sheet Other: _____	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<b>Window Type</b> <input checked="" type="checkbox"/> Double Hung <input checked="" type="checkbox"/> Casement Other: _____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>					<input type="checkbox"/>	<input type="checkbox"/>	<b>Window Material</b> Wood Aluminum Steel <b>aluminum</b> Other: <b>clad wood</b>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>					<b>Muntins</b> Not existing True divided lights <input checked="" type="checkbox"/> Simulated divided lights	<input type="checkbox"/>		<input type="checkbox"/>	<b>Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed):</b>  <input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>						<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<b>4) Applicant's Signature:</b> 							<b>Date:</b>				
<b>Print Name:</b> Michael Hauser, Architect							12/21/2022				
Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].											

**Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS:**

Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

**A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts** (Briefly explain below/attach a separate sheet if necessary).

Typical of many Evanston homes, the rear of this house has been added to over the years, and little remains of its original design. Our work improves this area with architecture that is more consistent with the look of the home than the current, diamond shaped addition. Our work has been limited to the rear, -and rear side- of the home and leaves the front untouched.

**B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation** (Briefly explain below/attach a separate sheet if necessary).

This home has elegant original Living Room and Dining Room spaces in the front of the home, but service-sized kitchen and family room spaces which are dark and have no views of the rear yard. The three bedrooms upstairs share a very small bathroom. All of these items are due to be improved.

**C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98).** (Briefly explain below/attach a separate sheet if necessary).

The proposed addition has been designed utilizing proven and code compliant construction methods and materials. No variance - zoning or otherwise - is necessary for this proposal.

4) Applicant's Signature: 

Print Name: Michael Hauser

Date:

12/21/2022

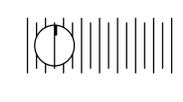
**NOTE:** The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with \*). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

**Chan Font Residence**  
2306 Harrison Street  
Evanston, IL 60201

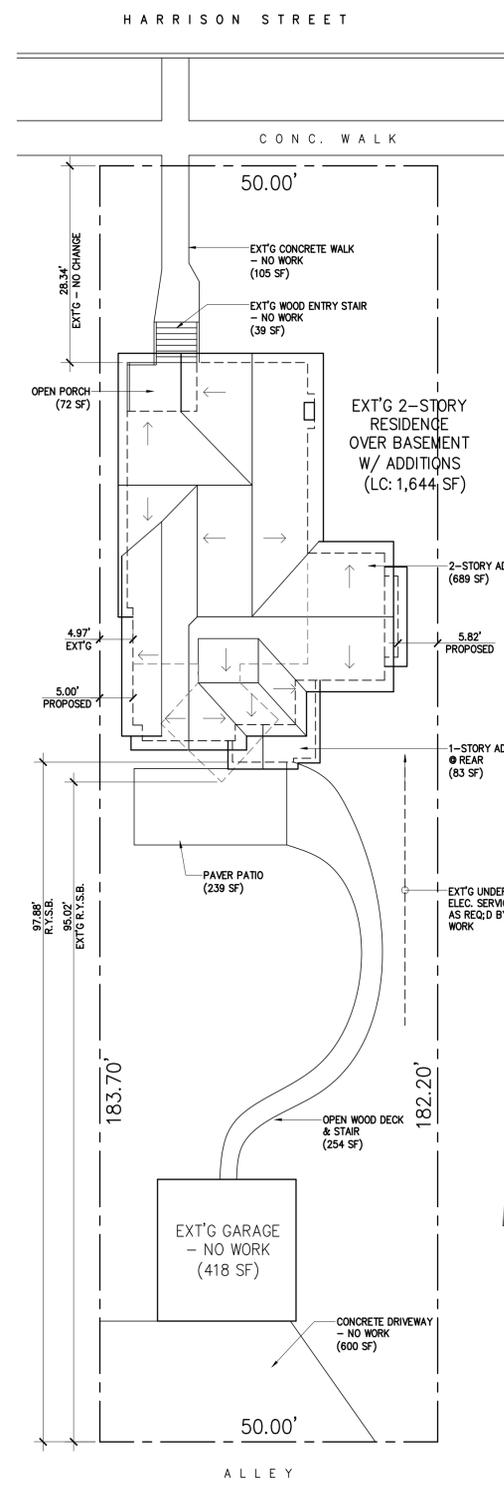
CoE HP:	2023.02.27
CoE ZA:	
CE Review:	
CONSTRUCTION:	
REVIEW:	

**SP/DP**

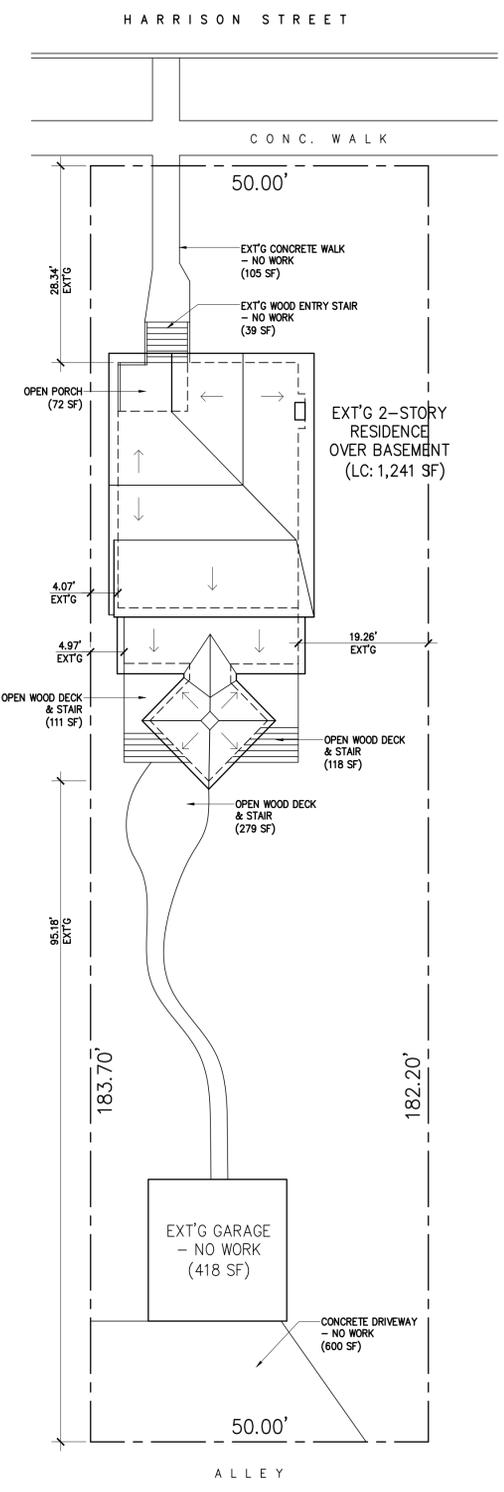
Site Plan  
Demolition Plans



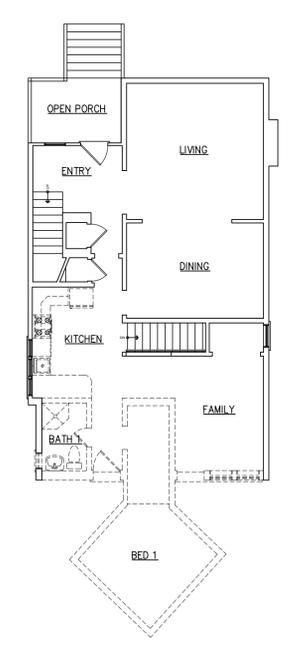
**A-1**



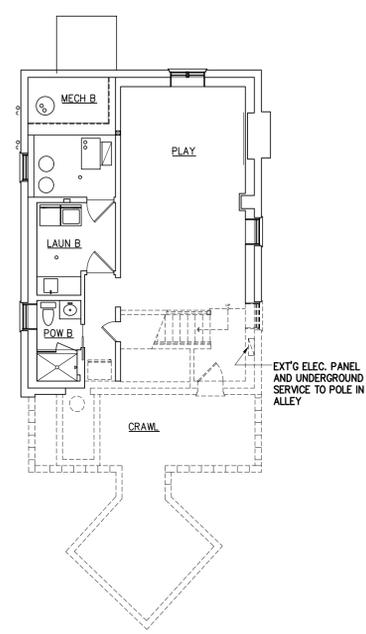
**1** Site Plan - Proposed  
3/32" = 1'-0"



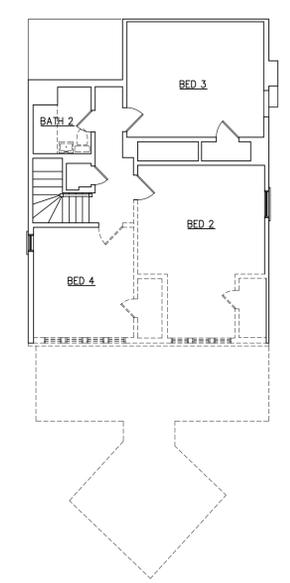
**1A** Site Plan - Existing  
3/32" = 1'-0"



**3** 1st Fir Demo Plan  
1/8" = 1'-0"



**4** Basement Demo Plan  
1/8" = 1'-0"



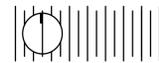
**2** 2nd Fir Demo Plan  
1/8" = 1'-0"

**Chan Font Residence**  
2306 Harrison Street  
Evanston, IL 60201

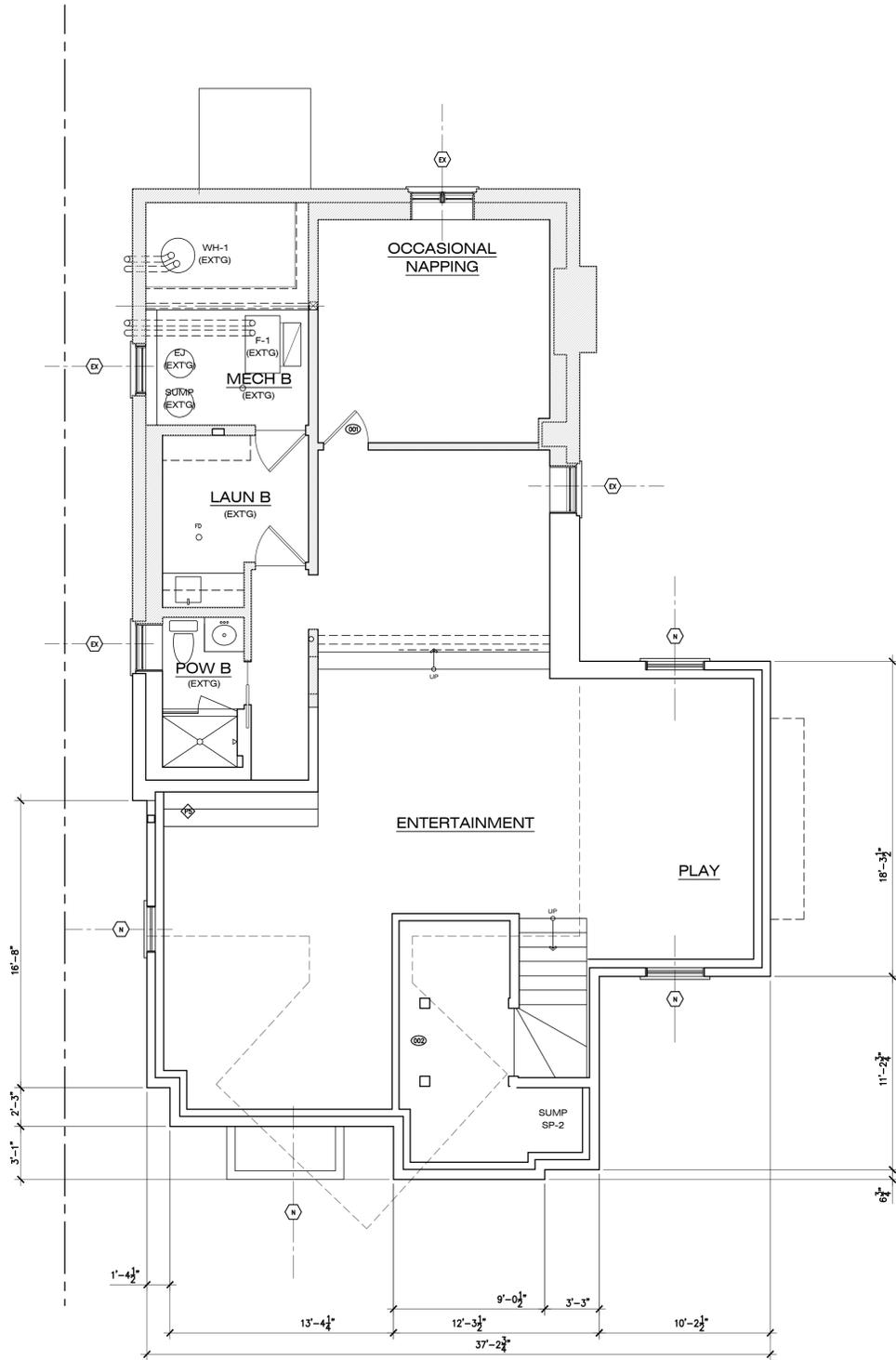
CoE HP: 2023.02.27  
CoE ZA: .  
CE Review: .  
CONSTRUCTION: .  
REVIEW: .

CP / S

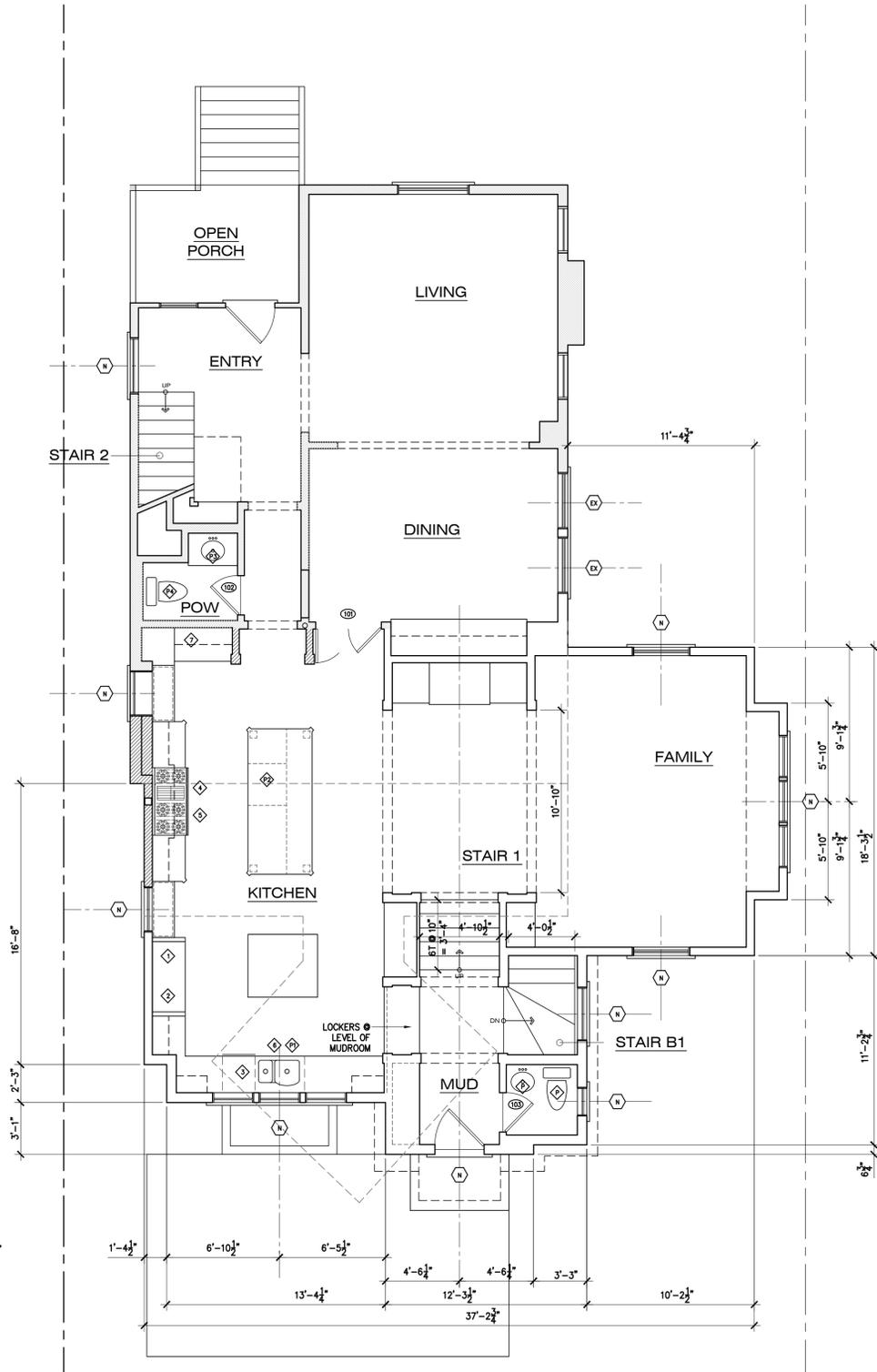
Construction Plans  
Schedules



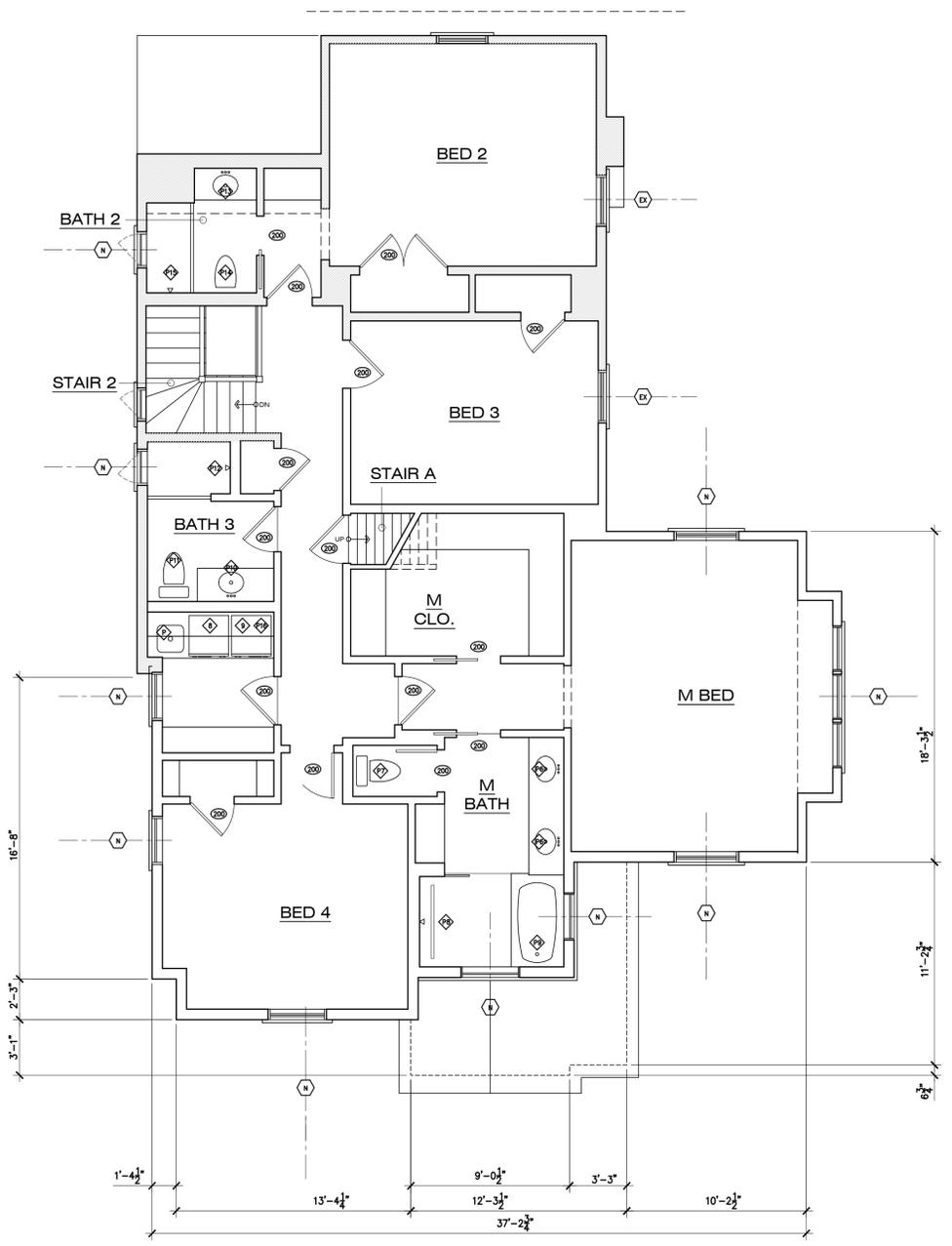
A-2



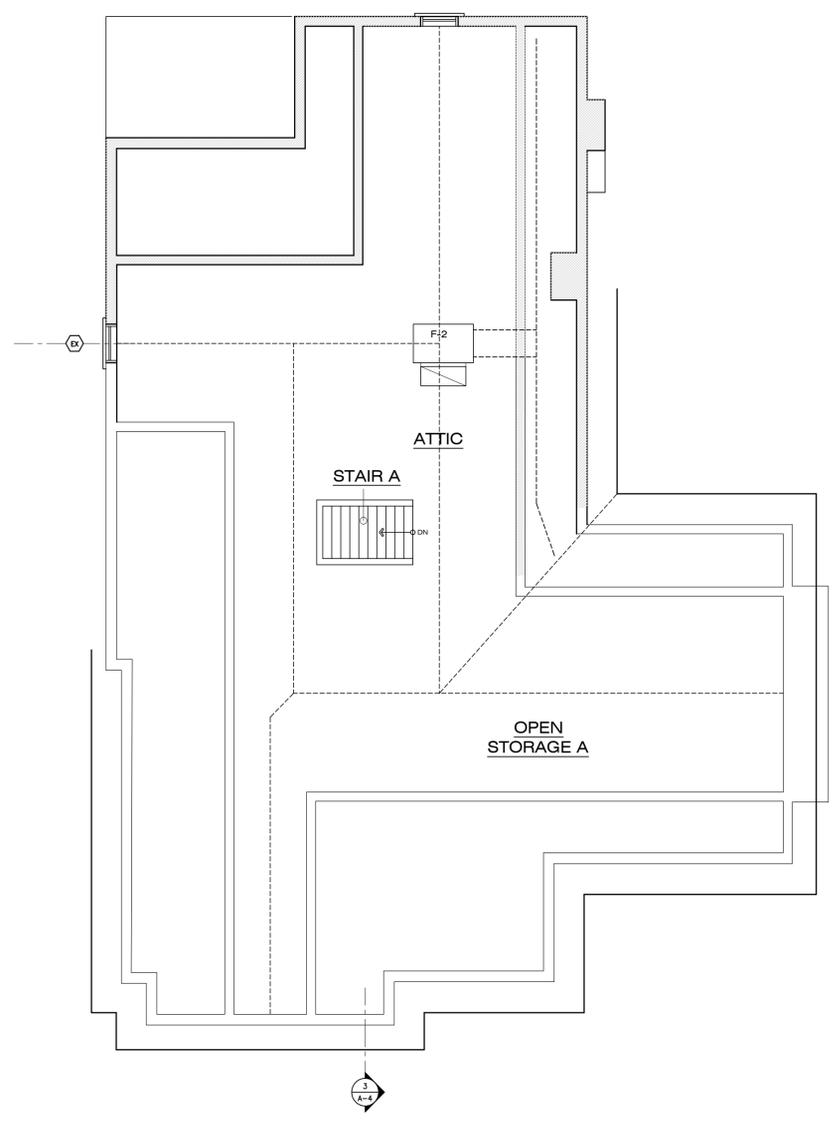
**2** Basement Construction Plan  
1/4" = 1'-0"



**1** First Floor Construction Plan  
1/4" = 1'-0"



**2** Second Floor Construction Plan  
1/4" = 1'-0"



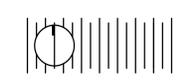
**1** Attic Construction Plan  
1/4" = 1'-0"

**Chan Font Residence**  
2306 Harrison Street  
Evanston, IL 60201

CoE HP: 2023.02.27  
CoE ZA: .  
CE Review: .  
CONSTRUCTION: .  
REVIEW: .

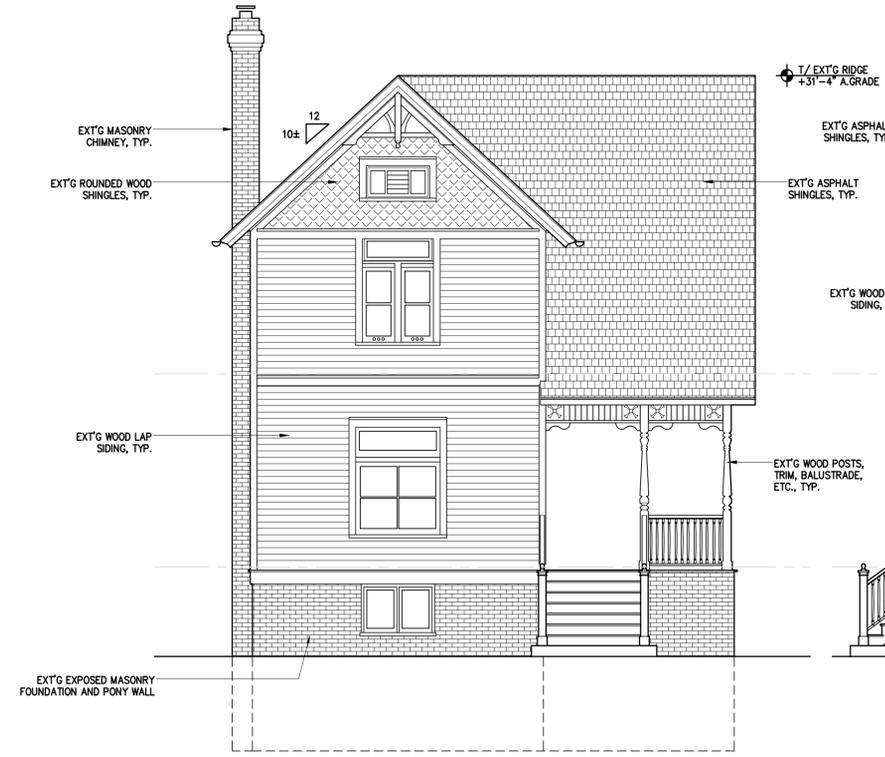
CP / S

Construction Plans  
Schedules

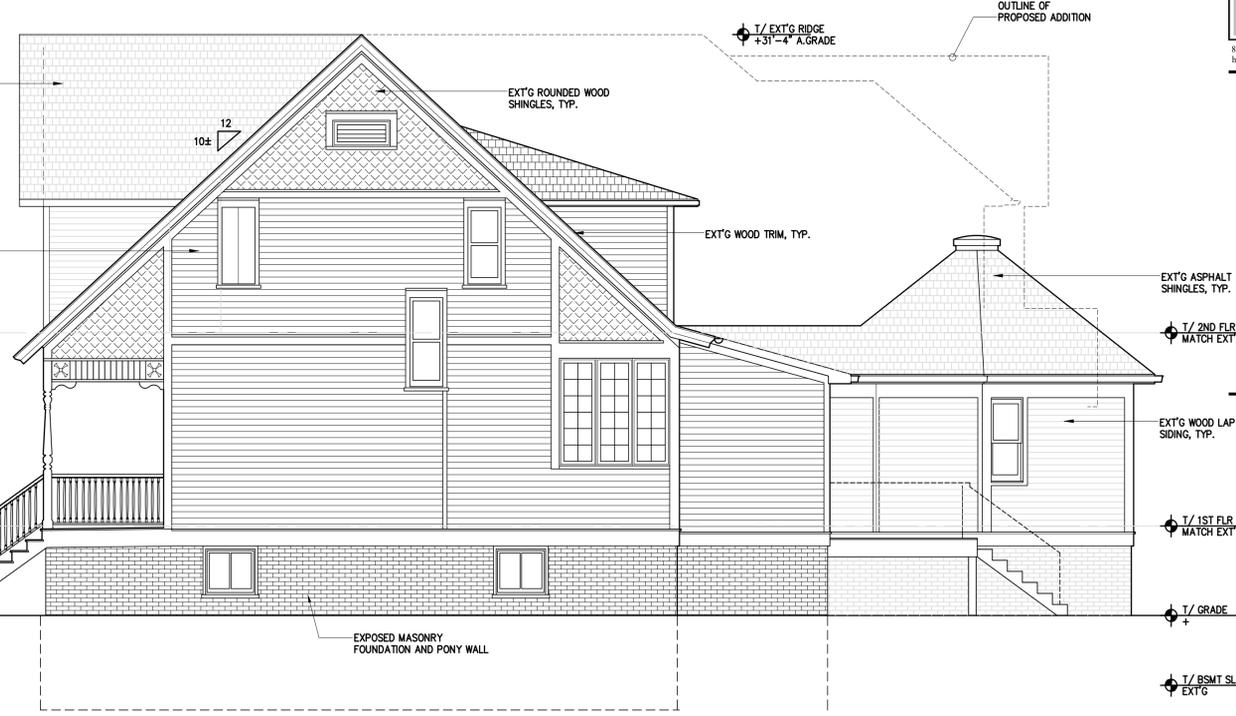


A-3

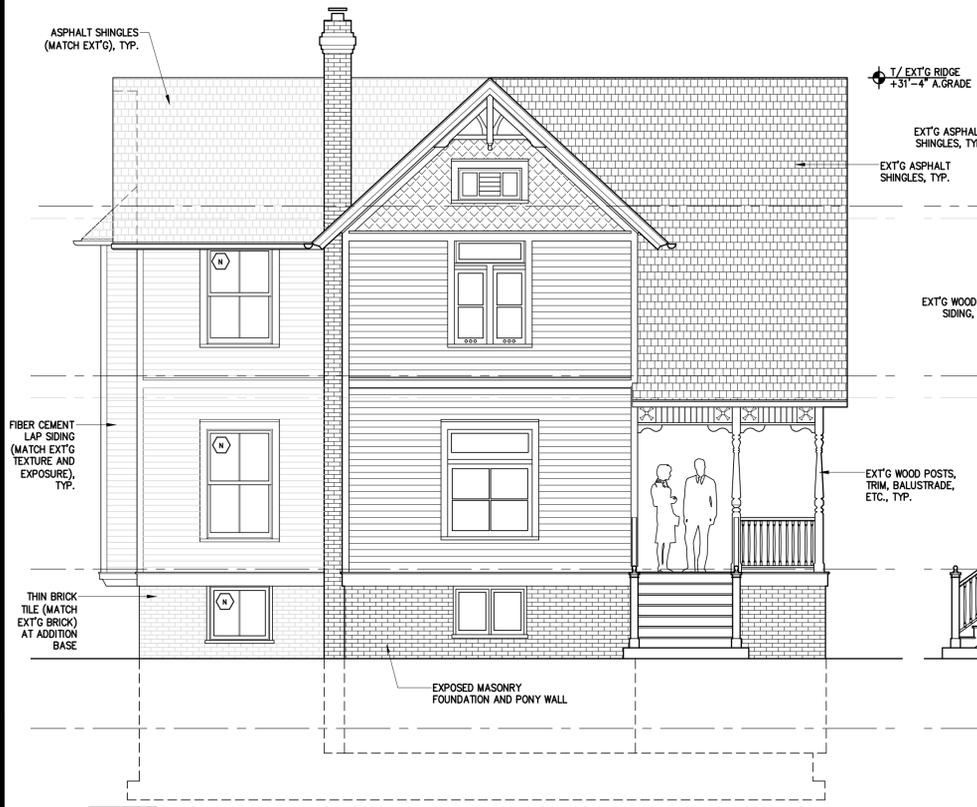
**Chan Font Residence**  
2306 Harrison Street  
Evanston, IL 60201



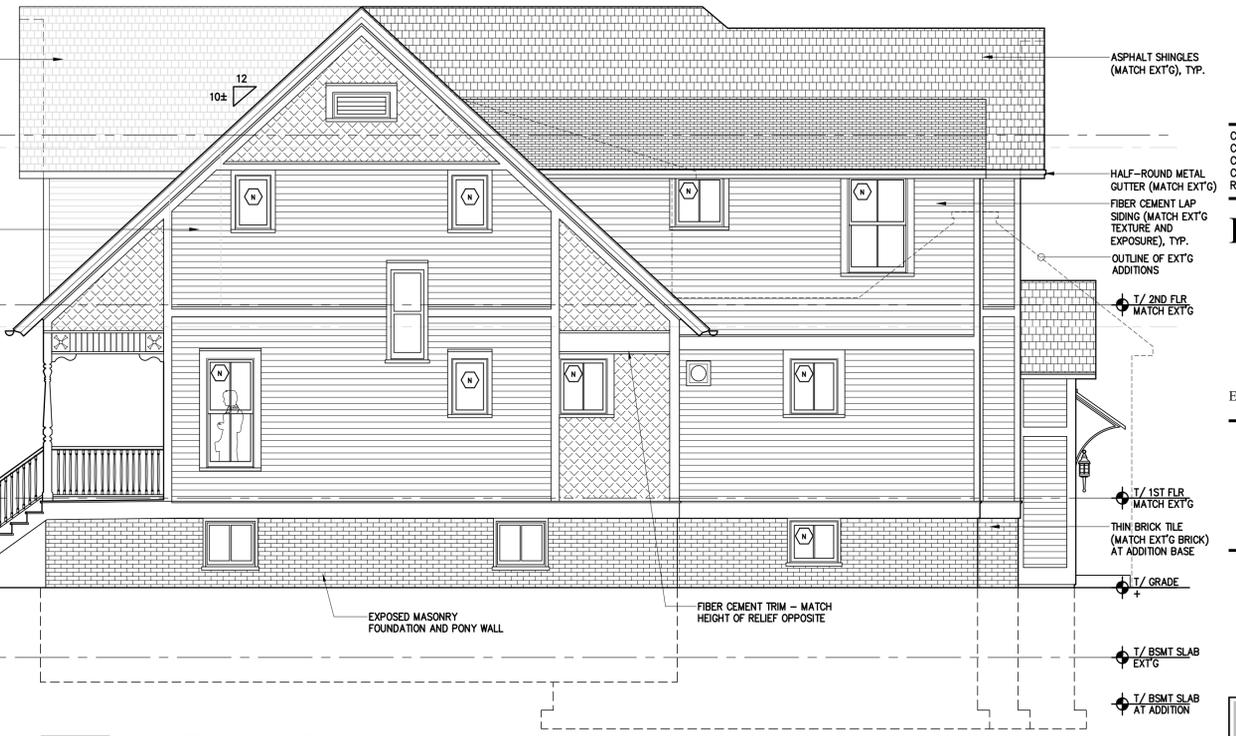
**1A** North Elevation - Existing  
1/4" = 1'-0"



**2A** West Elevation - Existing  
1/4" = 1'-0"



**1B** North Elevation - Proposed  
1/4" = 1'-0"

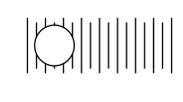


**2B** West Elevation - Proposed  
1/4" = 1'-0"

CoE HP:	2023.02.27
CoE ZA:	
CE Review:	
CONSTRUCTION:	
REVIEW:	

**EE**

Exterior Elevations



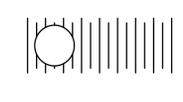
**A-4**

**Chan Font Residence**  
2306 Harrison Street  
Evanston, IL 60201

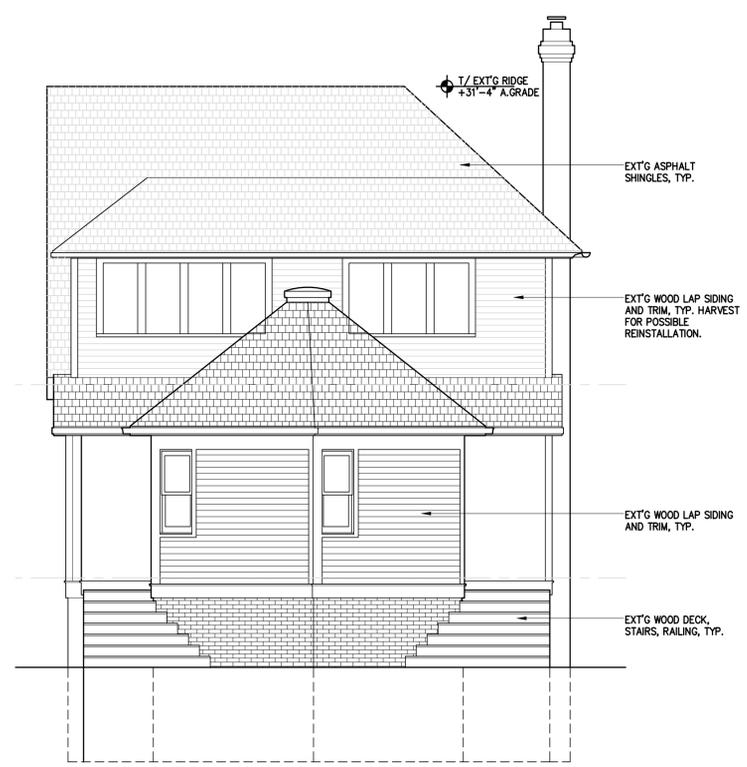
CoE HP:	2023.02.27
CoE ZA:	
CE Review:	
CONSTRUCTION:	
REVIEW:	

**EE**

Exterior Elevations



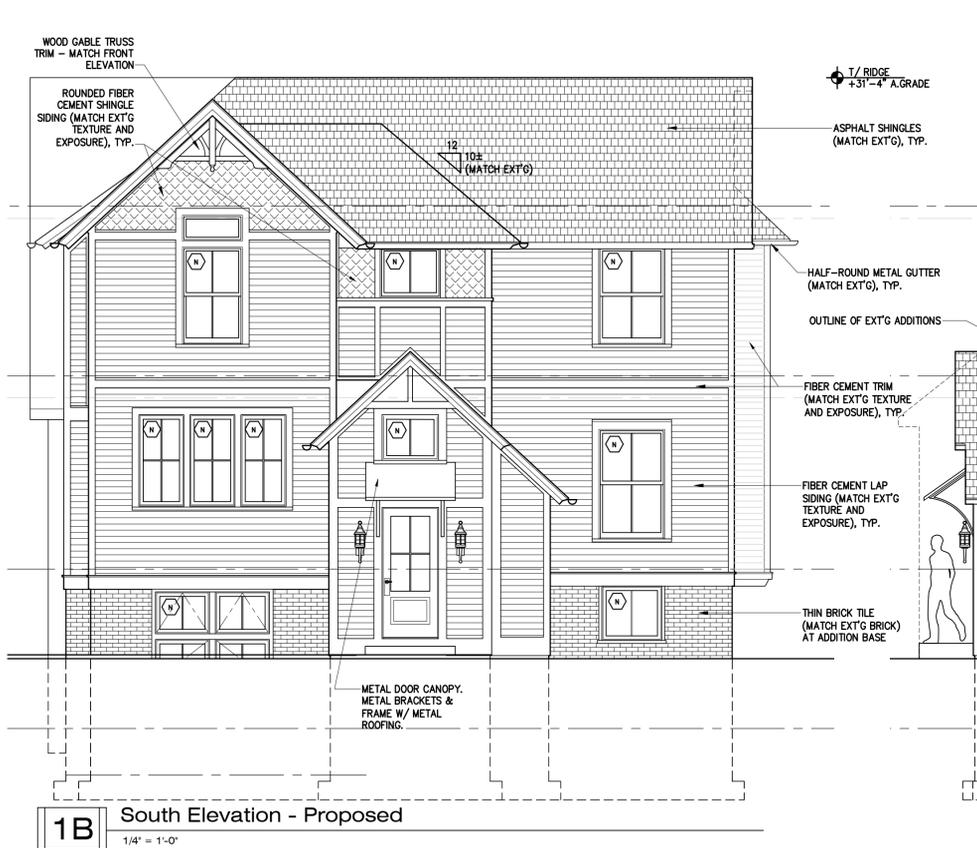
**A-5**



**1A** South Elevation - Existing  
1/4" = 1'-0"



**2A** East Elevation - Existing  
1/4" = 1'-0"



**1B** South Elevation - Proposed  
1/4" = 1'-0"



**2B** East Elevation - Proposed  
1/4" = 1'-0"





# City of EVANSTON

2306 HARRISON STREET

BEGINNING STREET NUMBER   
END STREET NUMBER   
STREET #   
SUFFIX   
STREET NAME   
PIN

## LOCAL

WITHIN LOCAL DISTRICT?   
LOCAL DIST CONTRIB/NON-CONTRIB?   
LOCAL LANDMARK?   
YEAR   
LOCAL LANDMARK ELIGIBLE?   
CRITERIA

A7: Exemplify an architectural style, construction technique or building type once common in the City.



PHOTO ID:

## NATIONAL REGISTER

NR DISTRICT CONTRIB/NON-CONTRIB   
WITHIN DISTRICT?  NR LANDMARK?  YEAR   
NR ELIGIBLE?  CRITERIA  ALTERNATE ADDRESS?

## GENERAL INFORMATION

CATEGORY  CONDITION   
INTEGRITY  CURRENT USE   
HISTORIC USE   
SECONDARY STRUCTURE  NR SECOND

## ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION   
DETAILS  
  
CONSTRUCTION YEAR  OTHER YEAR   
DATE SOURCE   
WALL MATERIAL (CURRENT)   
WALL MATERIAL 2 (CURRENT)  PLAN   
NO OF STORIES  ROOF TYPE   
ROOF MATERIAL  FOUNDATION   
PORCH  WINDOW MATERIAL   
WINDOW MATERIAL 2  WINDOW TYPE

WINDOW CONFIGURATION

### SIGNIFICANCE

Fine example of a typical frame house of the period with pitched roofs over an Gable Ell plan, front's eastern section of two stories is topped by a shingled gable; the single opening on each floor here has a transom which on the second story is above a pair of thin, double-hung windows and on the ground floor is slightly larger and above a single fixed pane; the rest of the front of this clapboard clad structure is a recessed porch with a single door and small, square window; the porch is covered by the descent of the main roof which extends slightly beyond the face of the broader section east of the porch.

### HISTORIC FEATURES

Partial front porch, wood siding and shingling pattern, shed dormer on south elevation, multi light window tin art glass in transom on first story, north elevation.

ALTERATIONS

**ADDITIONAL PHOTOGRAPHS**



PHOTO ID:

10-12-106-007-0000-02.jpg



PHOTO ID:

10-12-106-007-0000-03.jpg

**HISTORIC INFORMATION**

OLD ADDRESS (CITY DIR.YEAR)  BUILDING MOVED?  BUILDER  SURVEYOR   
MOVED FROM  ORIGINAL OWNER  SURVEYOR ORGANIZATION   
ORIGINAL ARCHITECT  ARCHITECT SOURCE  SURVEY DATE  SURVEY AREA

**PERMIT/HISTORIC INFORMATION**

CURRENT ADDRESS  OLD ADDRESS  DATE OF CONSTRUCTION

**PERMIT MOVING INFORMATION**

MOVING PERMIT #  DATE MOVED

**ORIGINAL PERMIT INFORMATION**

BUILDING PERMIT #  DATE

BUILDING PERMIT DESCRIPTION  
#8364, Frame garage  
#11964, "House improvement"  
#12933, Frame garage  
#78-1122, 16 May 1978, "Frame room addition"

COST  ORIGINAL OWNER OCCUPIED?

EXTERIOR ALTERATION PERMITS

OTHER PERMIT INFORMATION

COA INFO

HISTORIC INFO  OTHER SOURCES

HISTORIC INFO COMPILER

VOLUNTEER



**Zoning Analysis  
Summary**

<b>Case Number:</b>	<b>Case Status/Determination:</b>
22ZONA-0236 – 2306 HARRISON STREET	COMPLIANT

**Plan Dated: 11-17-22**

**Proposal:**

**By: HAUSER ARCHITECTS**

2-STORY ADDITION AND INTERIOR REMODEL TO SINGLE-FAMILY RESIDENCE
--

<b>Zoning Code Section:</b>	<b>Comments:</b>
<b>Principal Use/Structure – Dwelling – SF Detached</b>	
6-8-2	Property zoned R1.
6-8-2-3	Use: Compliant  Standard: Dwelling – SF Detached Proposed: No change
6-8-2-5	Lot size: Compliant  Standard: 7200 sf Existing: 9147.5 sf
6-8-2-6	Lot width: Compliant  Standard: 35.0' Existing: 50.0'
<b>6-8-2-7</b>	Building lot coverage: Compliant  Standard: 30% of lot area, 2744.3 sf Existing: 18.6%, 1700 sf Proposed: 23.6%, 2160 sf

6-8-2-10	<p>Impervious surface coverage: Compliant</p> <p>Standard: 45% of lot area, 4116.4 sf  Existing: 32.2%, 2950 sf  Proposed: 36.5%, 3340 sf</p>
6-8-2-8	<p>Yards:</p> <p>Front: NA</p> <p>Interior side, west: Compliant  Standard: 5.0'  Existing: 4.1'  Proposed, addition: 5.0'</p> <p>Interior side, east: Compliant  Standard: 5.0'  Existing: 5.0'+  Proposed, addition: 5.0'</p> <p>Rear, south: Compliant  Standard: 30.0'  Existing: 30.0'+  Proposed, addition: 30.0'+</p>
6-8-2-9	<p>Building height: Compliant</p> <p>Standard: 35.0' not to exceed 2.5 stories  Existing: 31.3' at 2 stories  Proposed, addition: 33.5' at 2 stories</p>
<b>Accessory Use/Structure: Patio (paver)</b>	
6-4-6-2; 6-4-6-3	<p>Location: Compliant</p> <p>Standard: Rear yard  Proposed: Rear yard</p>
6-4-6-2; 6-4-6-3	<p>Yards/setbacks:</p> <p>Interior side, west: Compliant  Standard: 3.0'  Proposed, patio: 3.0'+, dimension on site plan</p> <p>Interior side, east: Compliant  Standard: 3.0'  Proposed, patio: 3.0'+</p> <p>Rear, south: Compliant  Standard: 3.0'  Proposed, patio: 3.0'+</p>
<b>Miscellaneous</b>	

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6-4-1-9	Roof overhang, addition:  Standard: Permitted yard obstruction, overhang depth on roof at addition is permitted to match existing roof OR a minimum 2.5' setback is required from both interior side property lines. Proposed: Dimension roof overhang on existing roof and roof at addition.
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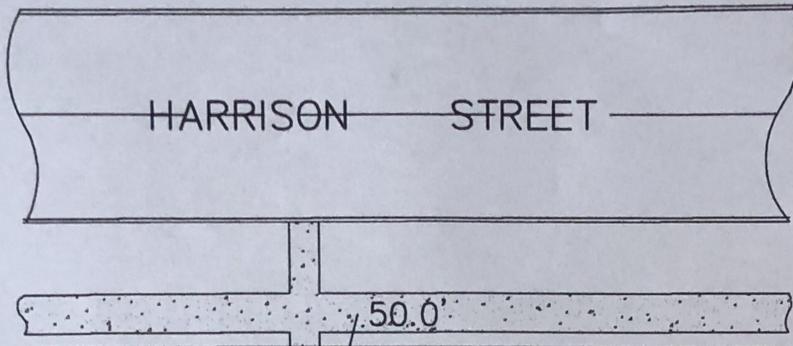
▪

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**Michael Griffith, Planner**  
**12-09-22**

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PREPARED FOR:  
 PETER N. WEIL & ASSOC.  
 175 OLDE HALF DAY ROAD  
 SUITE 134  
 LINCOLNSHIRE, IL 60069



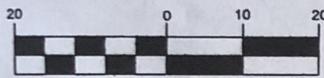
**PLAT OF SURVEY**

OF  
 LOT 4 IN BLOCK 2 IN HARTREY'S ADD TO NORTH EVANSTON,  
 A SUBDIVISION OF THE EAST 9.60 ACRES OF PART OF THE  
 NORTHWEST FRACTIONAL QUARTER OF SECTION 12, TOWNSHIP  
 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL  
 MERIDIAN, IN COOK COUNTY, ILLINOIS.

2306 HARRISON STREET  
 EVANSTON, ILLINOIS  
 FENCE IS 0.1' W.

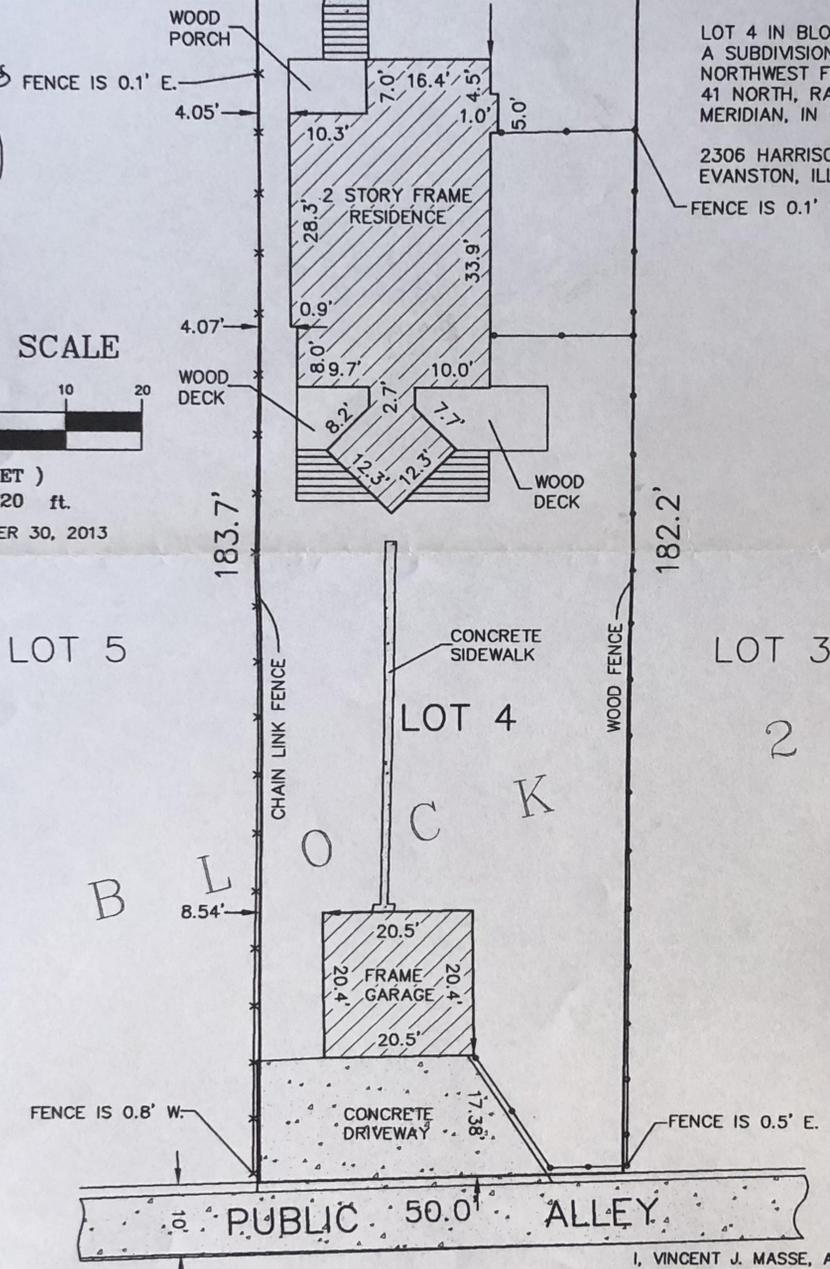


**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 20 ft.

DATE: NOVEMBER 30, 2013



LOT 5

LOT 3

LOT 4

B

8.54'

FRAME GARAGE

CONCRETE DRIVEWAY

PUBLIC ALLEY 50.0'

I, VINCENT J. MASSE, AN ILLINOIS REGISTERED  
 LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE  
 SURVEYED THE ABOVE DESCRIBED PROPERTY,  
 AND THAT THE PLAT ABOVE IS A CORRECT  
 REPRESENTATION OF SAID SURVEY.

VINCENT J. MASSE IL. LAND SURVEYOR # 2854  
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT  
 ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



P.D.F. # 184-004041 LICENSE EXPIRES 11/30/14

**NOTES:**

- COMPARE YOUR DESCRIPTION AND SITE MONUMENTS WITH THIS PLAT AT ONCE AND REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.
- BUILDING LINE RESTRICTIONS AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED ON THE SUBDIVISION PLAT OR ARE FURNISHED WITH THE ORDERED DESCRIPTION. REFER TO YOUR DEED, ABSTRACT AND OR TITLE POLICY.
- ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AND ARE NOT TO BE ASSUMED BY SCALING.
- NO WELL OR SEPTIC IMPROVEMENTS SHOWN HEREON
- THIS PLAT IS NOT CERTIFIED UNLESS AN IMPRESSED SEAL IS AFFIXED HEREON.

F.I.P. DENOTES FOUND IRON PIPE  
 F.I.R. DENOTES FOUND IRON ROD  
 S.I.R. DENOTES SET IRON ROD

**CHAMBERLIN / MASSE ENGINEERING**  
 LAND SURVEYORS ~ PLANNERS ~ ENGINEERS  
 14044 W. PETRONELLA DRIVE, SUITE 2  
 LIBERTYVILLE, ILLINOIS 60048  
 (847) 362-8444 FAX 362-9350

DRAWN BY: VJM	JOB # 213142	DRAWING #
CHECKED BY: VJM	F.B. PG.	1 of 1



# STAFF REPORT

To: Members of the Preservation Commission  
From: Carlos D. Ruiz, Planner  
Subject: 1139 Sheridan Rd – 23PRES-0021  
Date: March 7, 2023

## Public Notice

### **1139 Sheridan Road - Lakeshore Hist. Dist. - Case #23PRES-0021**

Brad Lightner, architect, and applicant, submit for a Certificate of Appropriateness to:

- Remove the existing raised patio and existing 2-car garage.
- Construct new mudroom addition on the primary structure and replace the existing garage with a new detached 2-story Accessory Dwelling Unit (ADU).
- Replace existing windows at the rear of the house.
- Add a wood pergola attached to the ADU and a new raised wood deck with a pergola, fireplace, and plunge pool near the primary structure.
- Adjust and replace the side and rear fences to match the existing.

**Applicable Standards:** Demolition [1-5]; Alteration [1-10]; and Construction [1-5, 7, 8, 10-15]

Construction Period:  
1908 (altered 1925)

Style:  
Craftsman/Prairie

Architect of Record:  
William Carbys Zimmerman

Condition:  
Good

Integrity:  
Historic alterations and/or addition(s)

Status:  
Contributing to the Lakeshore Historic District

Setting:

1139 Sheridan Road is a contributing structure to the Lakeshore Historic District; William Carbys Zimmerman is listed as the architect. The two-story house was built in 1908 in the Craftsman/Prairie styles. Although, the house design exhibits more attributes of the early Prairie style.

The house is located on the same block as five designated Evanston landmarks:

- 1103 Sheridan Road, built in 1912 and designed by Chester H. Walcott & Arthur Brown, a house with brick on the ground floor and half timber on the second floor in the English Tudor style;
- 1110 Sheridan Road, built in 1912 and designed by the prominent Evanston architect Ernest A. Mayo in the Craftsman style;
- 1117 Sheridan Road, built in 1912 and designed by Ernest A. Mayo in the Tudor Revival style;
- 1130 Sheridan Road, built in 1916 and designed by Robert Rae in the Colonial Revival style; and
- 1145 Sheridan Road, built in 1913 and designed by also prominent Evanston architects Tallmadge & Watson in the Prairie style.

The house sits on the east side of Sheridan Road, one house south of Hamilton Street; four houses north of Greenleaf Street, and one block west of Lake Shore Boulevard. The 1100 block of Sheridan Road is a tree lined street where houses are setback 30 feet or more from their corresponding front yards. There are twelve houses on the block; the oldest house dates back to 1890, a Renaissance Revival house; a 1904 Prairie/Craftsman house, a 1911 Dutch Colonial Revival house, another 1911 Colonial Revival house, a 1954 Colonial Revival house, and a ca. 1995 Contemporary house.

The overall physical condition of the houses in the block is good, and have retained for the most part their original materials and stylistic integrity.

**Significance:**

Architect:

William Carbys Zimmerman (1856-1932) is listed as the architect of the house, built in 1908 in the Craftsman/Prairie styles.

*Zimmerman was born in 1856 in Thiensville, Wisconsin, and attended the Massachusetts Institute of Technology. Upon graduation in 1880s he moved to Chicago, Illinois. He was admitted as a junior partner in John J. Flanders' architectural firm in 1886. There, Zimmerman gained a reputation as an able designer of residences in popular revival styles. He became a fellow of the American Institute of Architects and opened an independent practice in Steinway Hall in 1898. Zimmerman at first continued to design houses, largely in the Chicago neighborhoods of Rogers Park, Kenwood, and Edgewater.*

*Zimmerman was appointed Illinois State Architect in 1905, a role he held for ten years. This presented Zimmerman with the opportunity to design major works on behalf of the state government. He was also named the architect to Chicago's West Park*

*Commission in 1907. During this period, Zimmerman began to shift to a style more influenced by the Prairie School.*<sup>1</sup>

Zimmerman had a prolific architectural practice, particularly in Illinois, also in Iowa and Missouri. He also designed the Warren House, 2829 Sheridan Place, Evanston, built in 1912 in the French Renaissance style, a designated Evanston landmark.

#### House:

The house at 1139 Sheridan Road has two-stories; the exterior walls are finished in stucco. The front façade is symmetrical; it has ten casement windows with divided lights on the first floor, six double hung windows on the second floor (with the middle pair of windows smaller than the pair of windows on either side), and three front dormers on the roof with a pair of casement windows with divided lights on each dormer.

The main entry has an arcaded portico or colonnaded entry. The entry door has sidelights. The cross gable roof runs north-south with deep overhanging eaves. Permit records indicate \$5,000 was invested in alterations in 1925 but is not clear what occurred

The Prairie style emerged in the early 1900s in Chicago and it reached its popularity in the 1920s. The main characteristics of this style generally are the low-pitch hipped roofs, deep overhanging eaves, two stories, one-story side porches. The gable roof is not as common as the hipped roof.

The Craftsman style was popular between 1905 and 1930. The typical features of this style are the low-pitch gable roof with wide opened eaves overhang. The side-gabled roof is one of the four subtypes of the Craftsman style with centered shed or gable dormers.

The house at 1139 Sheridan Road is in good condition and has maintained its integrity over the years.

#### Public Comment

None.

#### Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

#### **Demolition**

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.
2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.

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<sup>1</sup> [https://en.wikipedia.org/wiki/William\\_Carbys\\_Zimmerman](https://en.wikipedia.org/wiki/William_Carbys_Zimmerman)

3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

#### **Alteration**

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

### **Construction**

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.
10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.
11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is

visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &  
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to [preservation@cityofevanston.org](mailto:preservation@cityofevanston.org):

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

**For new construction, additions, major alterations, and demolition**, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

**Section A. Required Information (Print)** \* Refer to the Supplemental Information for guidance [page "i" fifth below].

<b>1) Property Address:</b> 1139 SHERIDAN RD	<b>FOR STAFF USE ONLY</b> <b>Application Number:</b>
<b>2) Owner's Name:</b> LARAH & DREW TANNENBAUM	<b>Address:</b> 1139 SHERIDAN RD
City: EVANSTON      State: IL      Zip: 60202	Phone: 847-721-5099      Email/Fax: laarah.kent@gmail.com
<b>3) Architect's Name:</b> BRAD LIGHTNER	<b>Address:</b> 2206 W. EASTWOOD AVE
City: CHICAGO      State: IL      Zip: 60625	Phone: 312-848-1682      Email/Fax: brad@hlightner.com
<b>4) Contractor's Name:</b> TBD	<b>Address:</b>
City:      State:      Zip:      Phone:      Email/Fax:	

**5) Landmark:**  Yes  No \* Refer to the Supplemental Information for guidance on page (i) (fifth page below).

**6) Within Local Historic District:**  Yes  No;  
If yes,  Lakeshore  Ridge  Northeast Evanston  Apartment Thematic Resources

**7) Refer to the completed Zoning Analysis and check as applicable if project requires:**  
 Major Zoning Variance;  Minor Zoning Variance;  Fence Variance → **If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.**  
**Check if your project requires:**  Special Use  Planned Development → **Refer to Supplemental Information on page (i) below.**

**Section B: Application for Certificate of Appropriateness**

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

Remove the existing raised patio and existing 2 garage garage. Construct a new mudroom addition on the primary structure and replace the existing garage with a new 2-story Accessory Dwelling Unit. Replace existing windows at the rear of the house. There are several exterior improvements including wood pergola attached to the ADU and a new raised wood deck with pergola, fireplace and plunge pool near the primary structure. The side and rear fences will be adjusted and replaced to match existing.

The new mudroom addition will have a conservatory aesthetic that compliments the existing house. This addition will provide an abundance of natural light into the house and will improve access and storage for the owners and their kids. The ADU will provide a 1 bedroom unit for the owner's parents and visiting family.

Similar architectural details, windows and materials match the existing house and existing garage.

**2) Checklist (Check all that apply and attach any additional information)**

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction Mudroom addition + ADU	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition Existing Garage + rear patios	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: DH, Casement, Awning. Alum Clad Wood	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof <small>membrane roofing &amp; asphalt shingles</small>	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material: Stucco & composite trim	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

**3) Checklist for Exterior Materials—Check all that apply.**

Existing	Proposed		Existing	Proposed		Existing	Proposed			
<input type="checkbox"/>	<input type="checkbox"/>	<b>Façades/Front Porch &amp; Rear Porch Material</b> Wood Frame Stone Brick <input checked="" type="checkbox"/> Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Flashing Material</b> Copper Sheet Metal Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Fences</b> Wood Wrought Iron Aluminum Other: _____ Height: 4', 6' Length: _____		
<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>		<b>Fascias, Soffits, Rakeboards, Trim</b> Wood Metal Synthetic Material, Type: _____ composite boards Other: _____	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<b>Terraces, Patios, Decks</b> Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: _____
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>		<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<b>Roofing Material</b> Wood Shingles Wood Shakes Slate Clay Tile <input checked="" type="checkbox"/> Asphalt Shingles Metal Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Door Material</b> Wood Metal Clad Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Driveway Material</b> Asphalt <input checked="" type="checkbox"/> Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other: _____	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Window Type</b> Double Hung Casement Other: awning	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<b>Chimney Material</b> Brick New outdoor fireplace Stone Stucco Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Window Material</b> Wood Aluminum Steel Other: Alum Clad Wood	<input type="checkbox"/>	<input type="checkbox"/>	<b>Add Other Materials/Alterations Not Listed Here (Explain and Attach Information As Needed):</b>  <input type="checkbox"/> Air Conditioning Unit	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>	<b>Gutters/Downspouts</b> Copper <input checked="" type="checkbox"/> Aluminum Galvanized Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Muntins</b> Not existing True divided lights <input checked="" type="checkbox"/> Simulated divided lights		<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			
<b>4) Applicant's Signature:</b> 						<b>Date:</b> 2/20/2023				
Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].										

# PLAT OF TOPOGRAPHY

OF

THE SOUTH 1 FOOT OF LOT 1, ALL OF LOT 2 AND THE NORTH 25 FEET OF LOT 3 IN ELLIOTT'S SUBDIVISION OF BLOCK 82 WITH ACCRETIONS THERETO, OF NORTHWESTERN UNIVERSITY SUBDIVISION OF THE NORTH 1/2 OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT 15 1/2 ACRES IN THE NORTHWEST CORNER THERETO), IN COOK COUNTY, ILLINOIS.

PIN: 11-19-212-0000 TOTAL LAND AREA: 13,300 SQ.FT.  
COMMONLY KNOWN AS: 1139 SHERIDAN ROAD, EVANSTON, ILLINOIS 60202

## HAMILTON STREET

## SHERIDAN ROAD

REFERENCE BENCHMARK:  
CITY OF EVANSTON BENCHMARK #42  
ROAD WITH CAP. AT NE QUADRANT: DAVIS STREET & FOREST PLACE  
1.4' E OF CURB & 8' W. OF SIDEWALK  
ELEVATION = 16.29 FEET CITY DATUM

SITE BENCHMARK:  
CONTROL POINT, CUT CROSS IN SIDEWALK  
2.70 S. & 0.29 W. FROM THE N.W. LOT CORNER  
ELEVATION = 10.74 FEET CITY DATUM

- LEGEND:
- (R) = Subdivision Record
  - (M) = Measured
  - N. = North
  - S. = South
  - W. = West
  - E. = East
  - T/F = Top of Foundation
  - B/S = Bottom of Siding
  - F.F.L. = Finish Floor
  - G/S = Garage Slab
  - TC = Top of Curb
  - G = Gutter
  - TW = Top of Wall
  - T/P = Top of Pipe
  - Conc. = Concrete
  - Tree
  - Wood Fence
  - Chain Link Fence
  - Iron Fence
  - Fire Hydrant
  - Water Valve
  - B-Box
  - Water Manhole
  - Storm Manhole
  - Catch Basin
  - Inlet
  - Combined Manhole
  - Wood Power Pole
  - Down Spout
  - Combined Sewer
  - Storm Sewer
  - Sanitary Sewer
  - Water Main
  - Overhead Wires

ORDER NO.: 22-328-T  
ORDERED BY: LARAH TANNENBAUM

PREPARED BY:  
**GEODETIC SURVEY, LTD.**  
PROFESSIONAL DESIGN FIRM NO. 184-004394  
CONSTRUCTION AND LAND SURVEYORS  
200 WAUKEGAN ROAD, GLENVIEW, IL 60025  
TEL. (847) 904-7890; FAX (847) 904-7891  
info@gsurvey.net www.gslandsurveying.com

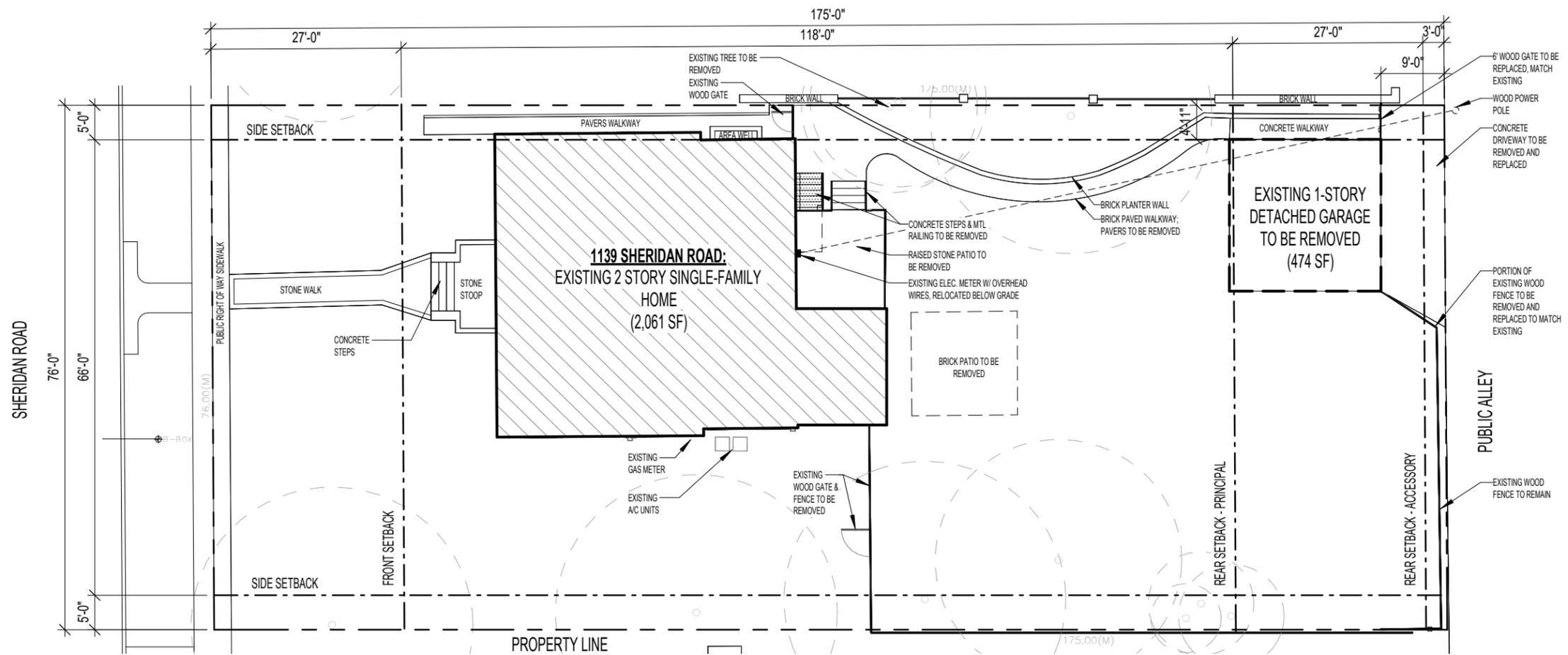
NOTE: Location of underground utilities and sewer size where not substantiated by physical evidence are taken from records normally considered reliable. No responsibility for their accuracy is assumed by the surveyor.  
Locations of existing utility services are based on visual observations. Contractor must confirm location and condition of all utility services to remain.  
FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E. 91-800-892-0123 BEFORE DIGGING

GENERAL NOTES:  
-FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THE PLAT OF SURVEY REFER TO YOUR ABSTRACT, DEED, TITLE POLICY, CONTRACT AND LOCAL BUILDING LINE/SETBACK REGULATIONS.  
-COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DISCREPANCIES, WHICH YOU MAY HAVE FOUND, TO THIS OFFICE, BEFORE DAMAGE IS DONE.  
-DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE NOT TO BE ASSUMED FROM SCALING.  
-BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.  
-THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND FOR ACCURACY SHOULD BE COMPARED WITH DEED AND/OR TITLE INSURANCE POLICY.

UPDATED ON DECEMBER 7, 2022, ADDED 40 BUILDING LINE.  
NO FIELD INSPECTION WAS DONE AT THIS TIME.



STATE OF ILLINOIS  
COUNTY OF COOK  
I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF ILLINOIS.  
FIELD WORK COMPLETED: OCTOBER 14, 2022  
DATED THIS 25th DAY OF OCTOBER, 2022.  
DATED THIS 7th DAY OF DECEMBER, 2022.  
BY: *Robert P. Jacob*  
PROFESSIONAL ILLINOIS LAND SURVEYOR NO. 3384  
LICENSE EXPIRES 11/30/2022

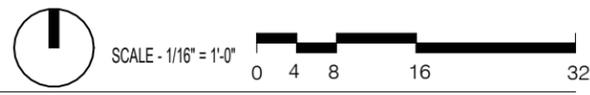


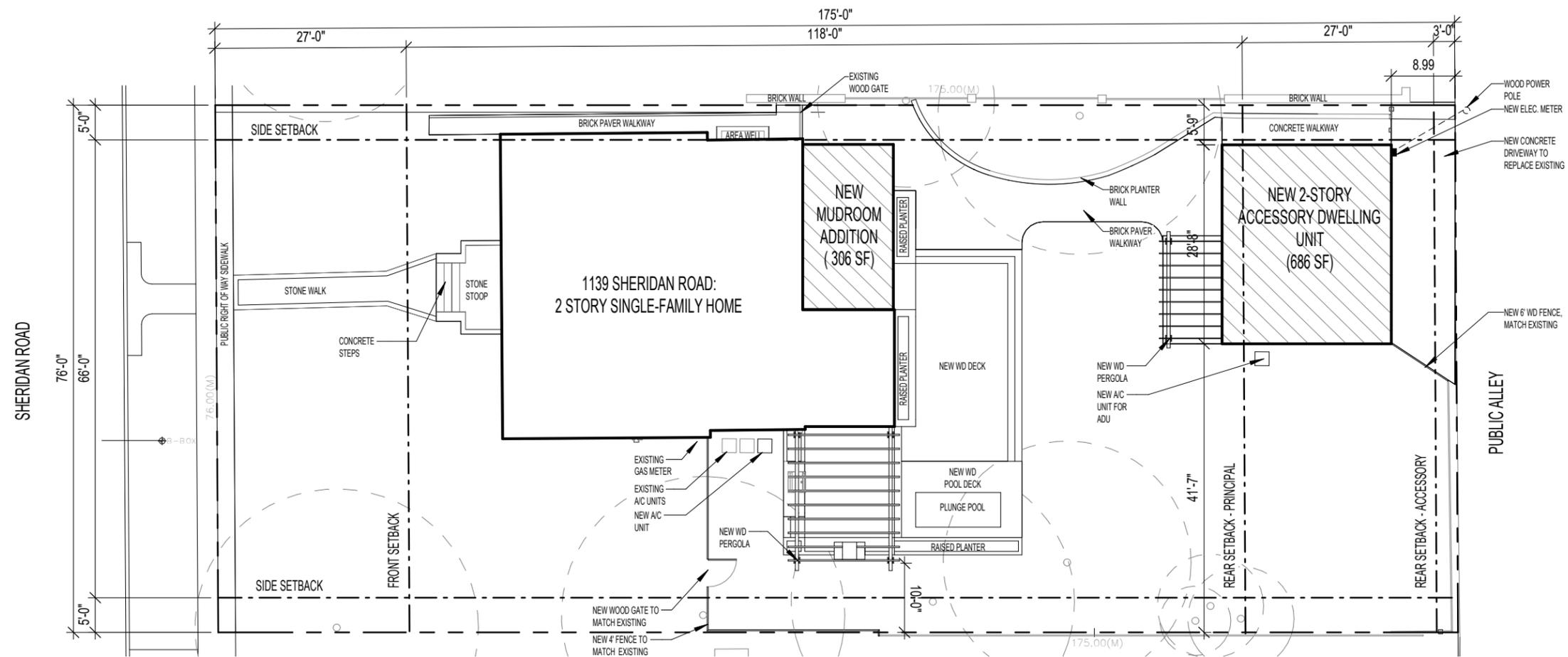
1 SITE PLAN - EXISTING

PROPERTY INFORMATION - 1139 SHERIDAN RD	
ZONING DISTRICT:	R1
LOT AREA:	76.00' X 175.00'
LOT AREA:	13,307 SF
LOCAL HISTORIC DISTRICT:	LAKESHORE
MIN LOT SIZE:	7,200 SF
MAX BUILDING LOT COVERAGE:	30%
MAX IMPERVIOUS COVERAGE:	45%

SETBACKS: RESIDENTIAL			
	REQUIRED	EXISTING	PROPOSED
FRONT	27'	40.3'	NO CHANGE
INTERIOR SIDE (NORTH)	5'	3.92'	NO CHANGE
INTERIOR SIDE (SOUTH)	5'	27.9'	NO CHANGE
REAR	30'	79.55'	NO CHANGE

SETBACKS: ACCESSORY USES			
	REQUIRED	EXISTING	PROPOSED
FRONT	27'	144.5'	142.2'
INTERIOR SIDE (NORTH)	5'	4.94'	5.72'
INTERIOR SIDE (SOUTH)	5'	49.1'	41.62'
REAR	3'	8.99'	8.99'





EXISTING IMPERVIOUS SURFACE COVERAGE

REAR YARD PATIOS: 409 SF  
 FRONT PUBLIC RIGHT OF WAY SIDEWALK: 185 SF  
 REAR DRIVEWAY: 268 SF  
 REAR YARD STEPS & EXISTING FRONT STOOP: 152 SF  
 EXISTING BRICK PAVERS: 591 SF  
 REAR YARD CONCRETE WALKWAY: 65 SF

SUBTOTAL: 1,670 SF  
 BUILDING LOT COVERAGE: 2,534 SF  
**TOTAL: 4,204 SF**

PROPOSED IMPERVIOUS SURFACE COVERAGE

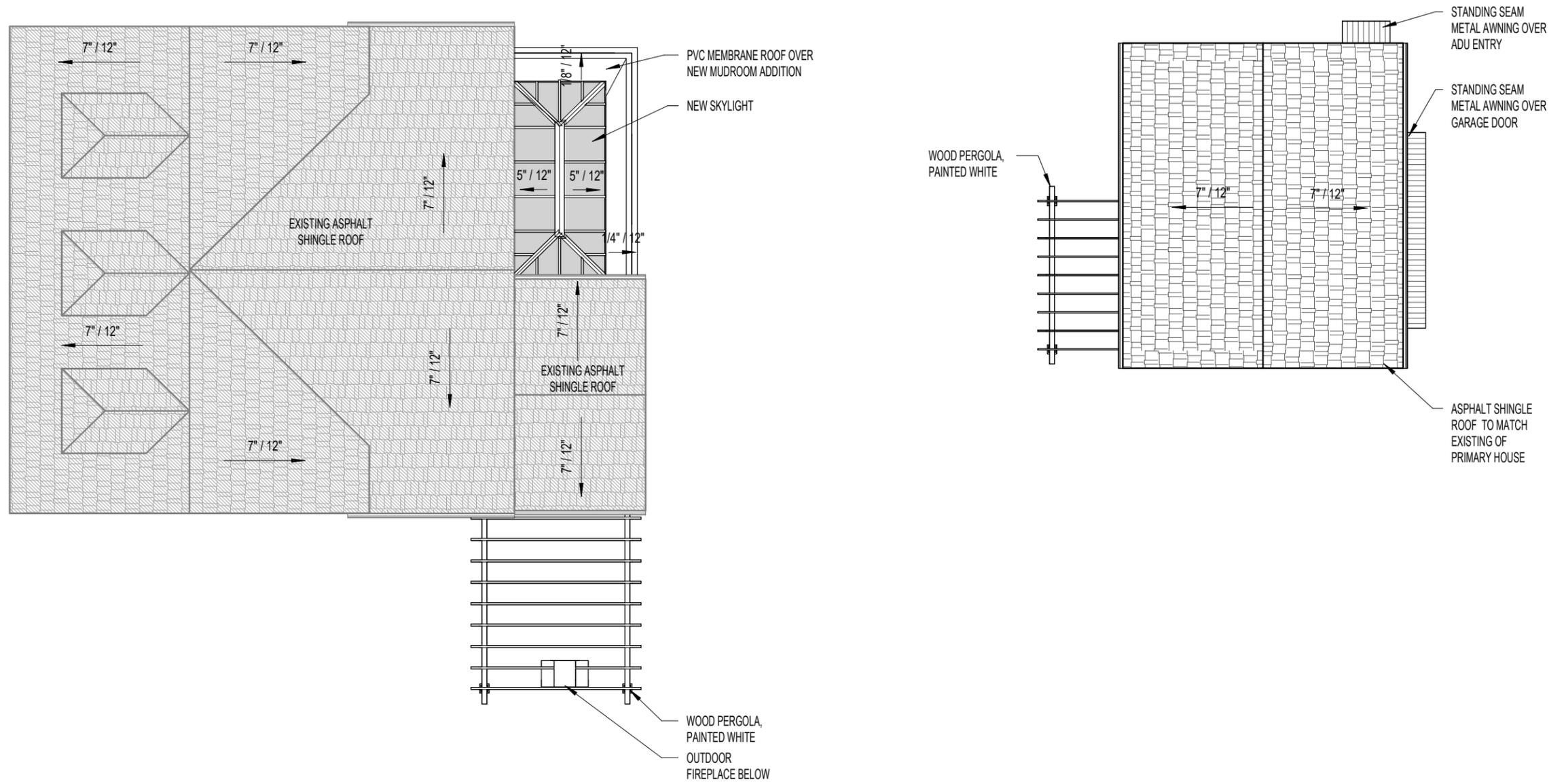
EXISTING FRONT PUBLIC RIGHT OF WAY SIDEWALK: 185 SF  
 REAR DRIVEWAY: 338 SF  
 REAR YARD WOOD DECK - 3% LOT AREA: 724 SF - 399SF = 325 SF  
 EXISTING FRONT STOOP & STEPS: 111 SF  
 NEW REAR YARD PAVERS: 697 SF x 80% = 558 SF  
 EXISTING BRICK PAVERS: 325 SF x 80% = 260 SF  
 REAR YARD CONCRETE WALKWAY: 91 SF  
 REAR YARD POOL: 198 SF  
 REAR YARD PLANTER WALLS & OTHER IMPERVIOUS: 114 SF

SUBTOTAL: 2,180 SF  
 BUILDING LOT COVERAGE: 3,052 SF  
**TOTAL: 5,232 SF**

1 SITE PLAN - PROPOSED

	ALLOWED	EXISTING	PROPOSED
BUILDING LOT COVERAGE:	30%	19%	23%
IMPERVIOUS SURFACE COVERAGE:	45%	31%	39%





SCALE - 1" = 10'-0"

02.21.2023

004



1 EAST ELEVATION - EXISTING



2 EAST ELEVATION - PROPOSED

SCALE - 1/8" = 1'-0"  
 0 1 2 4 8



1 SOUTH ELEVATION - EXISTING

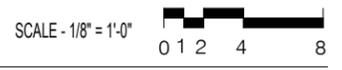




2 PROPOSED SOUTH ELEVATION - PARTIAL



1 PROPOSED SOUTH ELEVATION





1 EXISTING NORTH ELEVATION





1 PROPOSED NORTH ELEVATION  
 1/8" = 1'-0"

SCALE - 1/8" = 1'-0"



VIEW OF MAIN HOUSE FROM REAR YARD



EXISTING DETACHED GARAGE



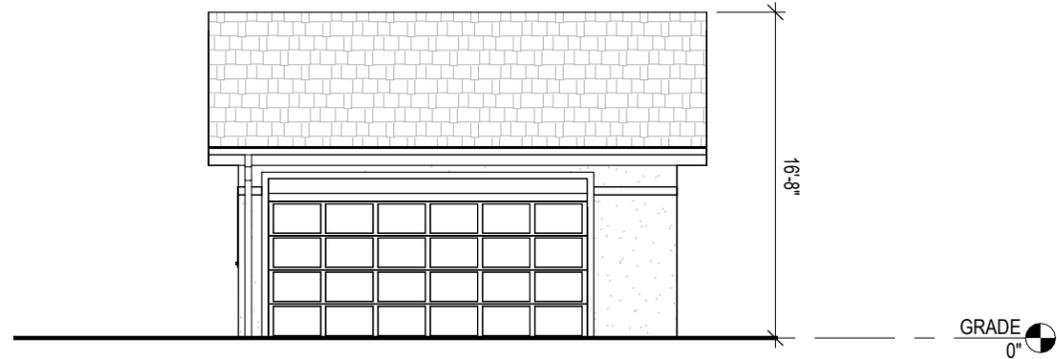
VIEW OF MAIN HOUSE, DETACHED GARAGE, AND REAR YARD



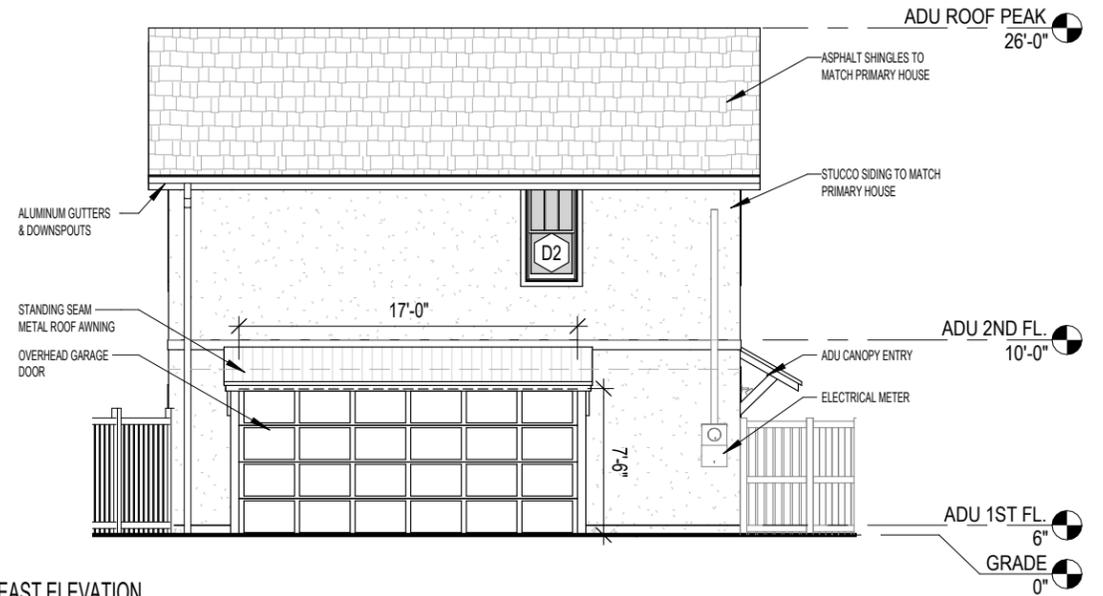
VIEW FROM REAR YARD OF EXISTING FENCE & GATE



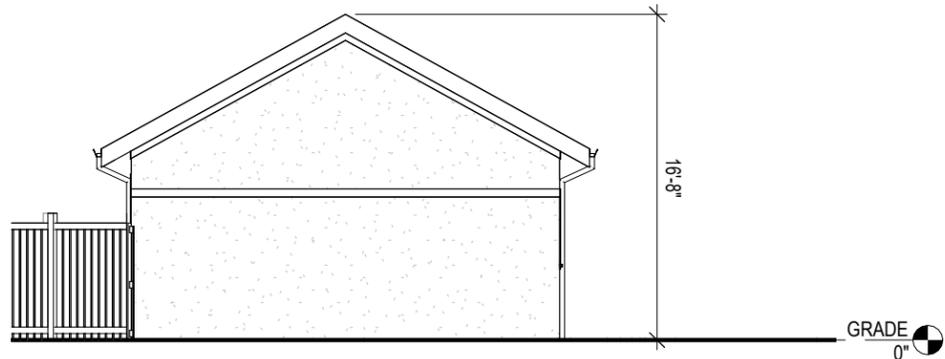
VIEW OF GARAGE FROM PUBLIC ALLEY



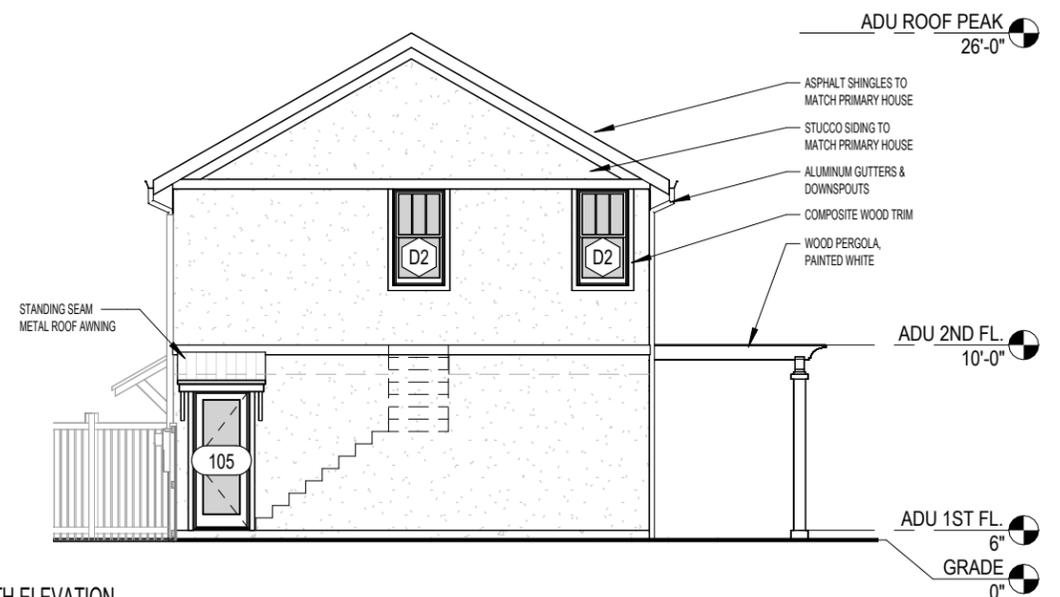
4 EXISTING GARAGE - EAST ELEVATION



3 ADU - EAST ELEVATION

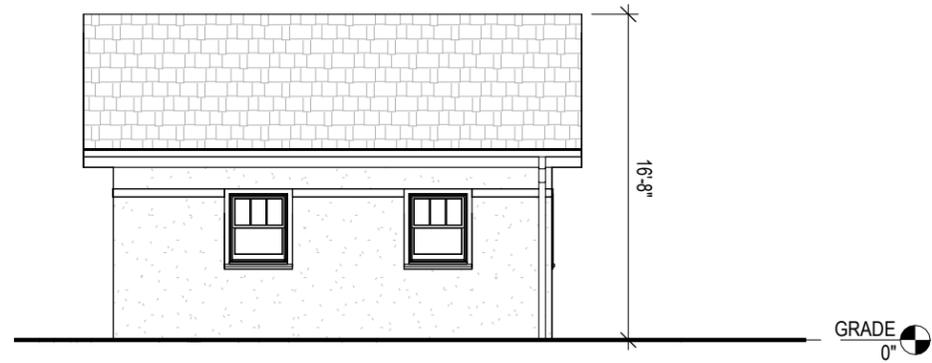


2 EXISTING GARAGE - NORTH ELEVATION

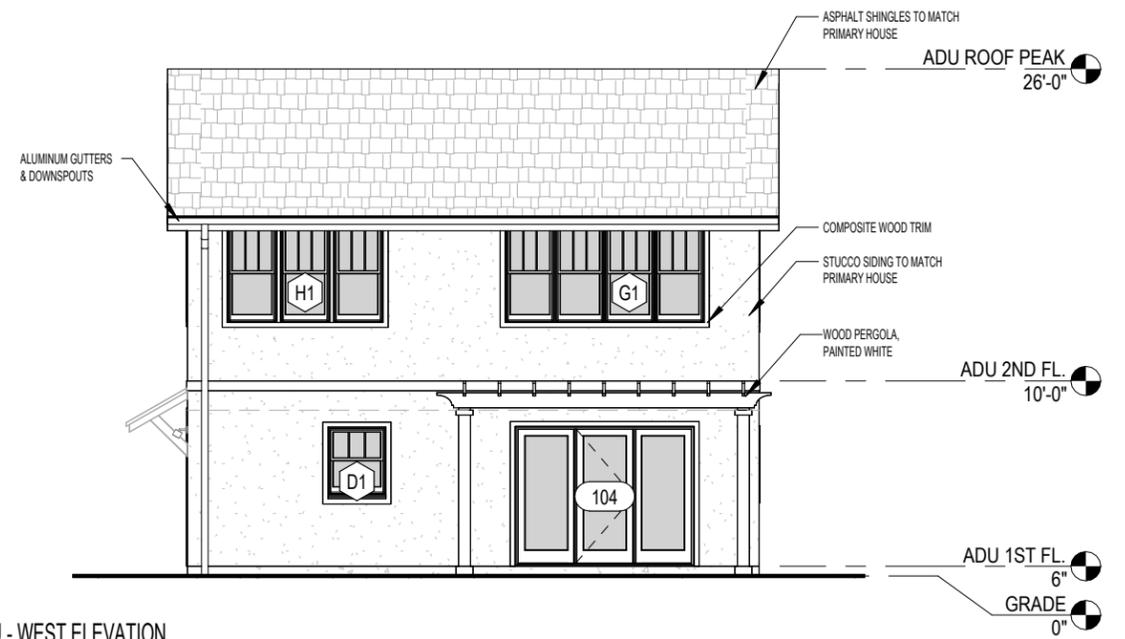


1 ADU - NORTH ELEVATION





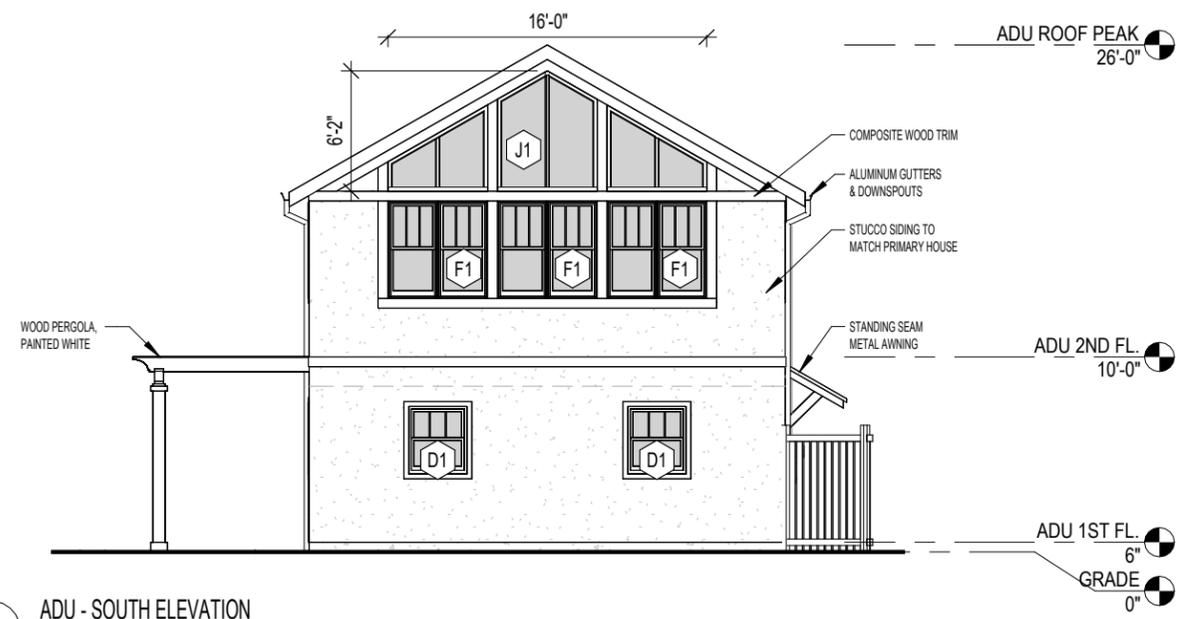
4 EXISTING GARAGE - WEST ELEVATION



3 ADU - WEST ELEVATION

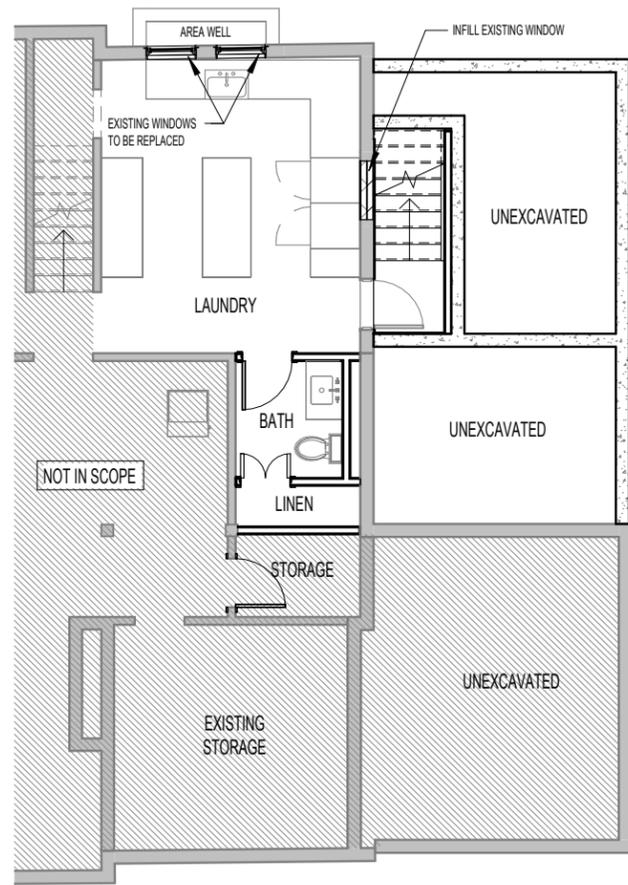


2 EXISTING GARAGE - SOUTH ELEVATION

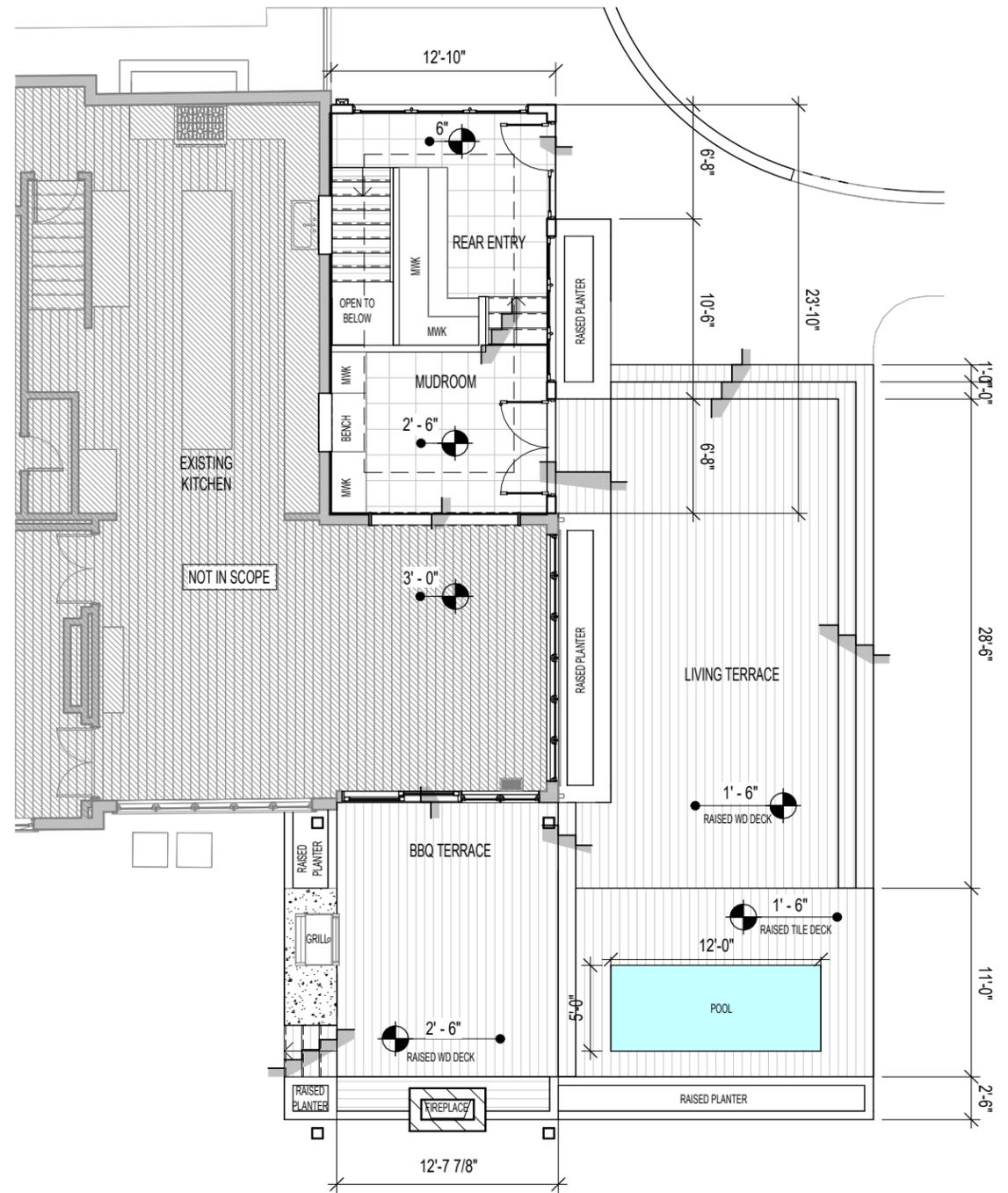


1 ADU - SOUTH ELEVATION



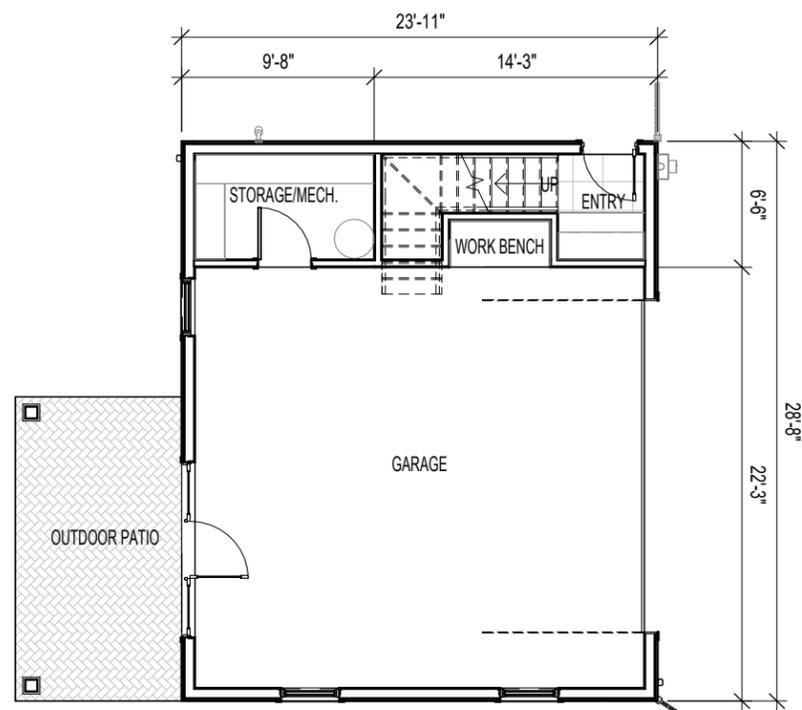


2 LOWER LEVEL - PROPOSED

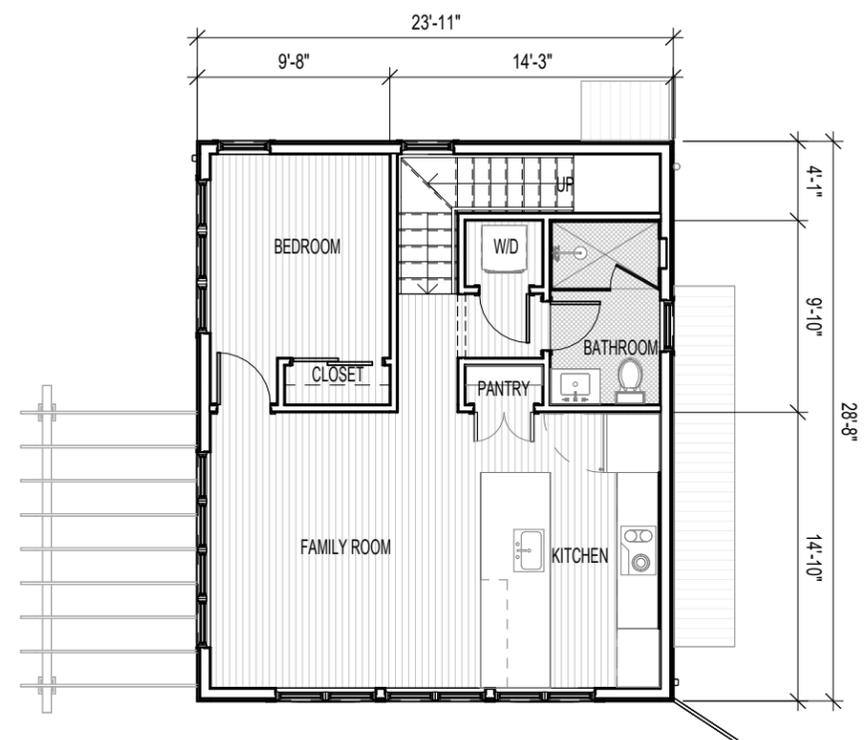


1 01 FIRST FLOOR - PROPOSED

SCALE - 1/8" = 1'-0"  
0 1 2 4 8



1 ADU COACH HOUSE - 1ST FL.



2 ADU COACH HOUSE - 2ND FL.

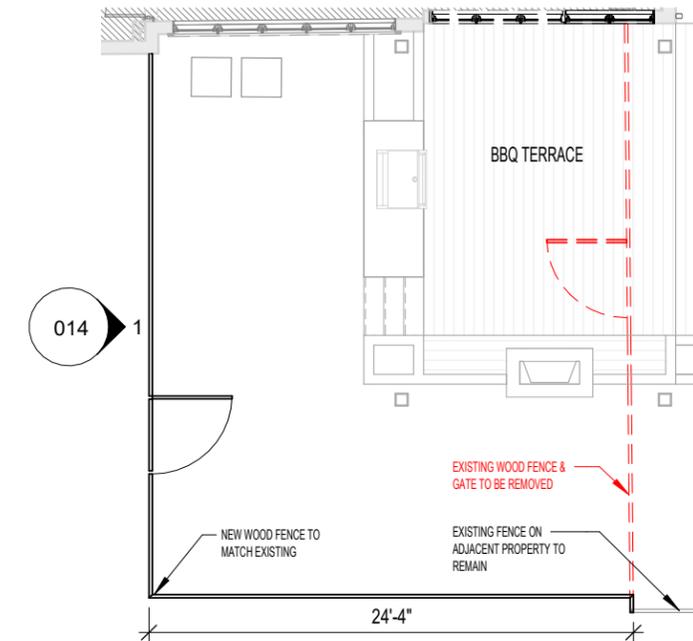
SCALE - 1/8" = 1'-0"  
 0 1 2 4 8



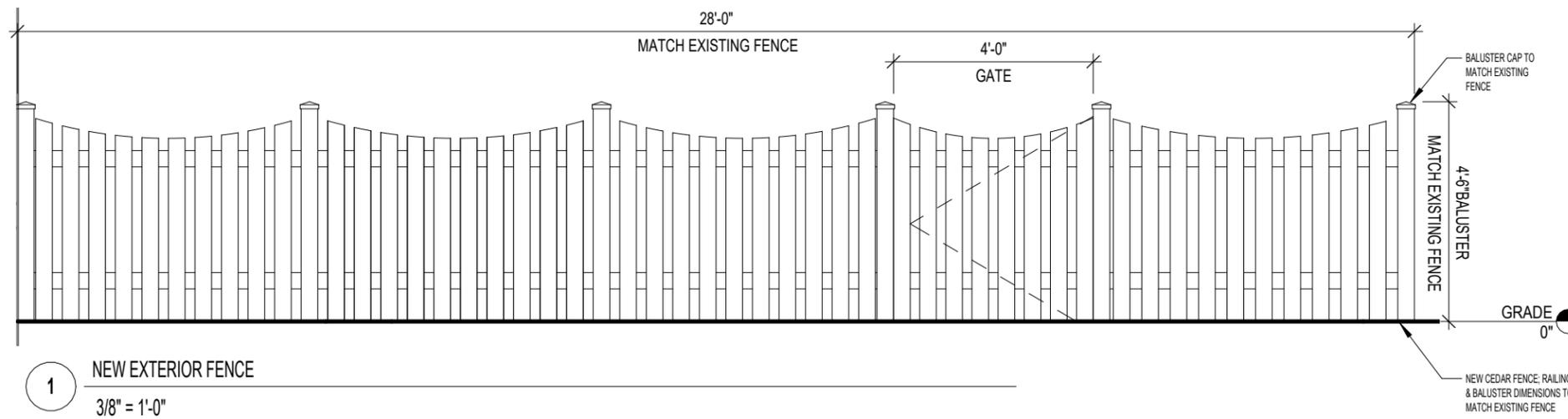
EXISTING FENCE - APPROACH FROM SIDEWALK



EXISTING FENCE - VIEW FROM BACK YARD



2 PROPOSED FENCE  
1/8" = 1'-0"



1 NEW EXTERIOR FENCE  
3/8" = 1'-0"

## WINDOW SCHEDULE

TAG	OPERATION	MFR	PRODUCT LINE	WIDTH	HEIGHT	GLASS	U-FACTOR	NOTES	Count
-----	-----------	-----	--------------	-------	--------	-------	----------	-------	-------

**MUDROOM ADDITION**

A1.1	FIXED/AWNING	MARVIN	ULTIMATE	8'-6"	5'-9"	LOW E, TEMP	0.30		1
A1.2	FIXED	MARVIN	ULTIMATE	8'-6"	1'-10 7/8"	LOW E, TEMP	0.30		1
B1.1	FIXED	MARVIN	ULTIMATE	10'-0"	7'-7 1/2"	LOW E, TEMP	0.30		1
B1.2	FIXED	MARVIN	ULTIMATE	10'-0"	1'-10 7/8"	LOW E, TEMP	0.30		1
S1	FIXED SKYLIGHT	Wasco	PINNACLE 350	8'-0"	2'-2 7/8"	LOW E, TEMP	0.55	SEE ROOF PLAN	1

**MAIN HOUSE**

C1	FIXED	MARVIN	ULTIMATE	2'-6"	1'-11 1/8"	LOW E, TEMP	0.30	NEW REPLACEMENT WINDOWS TO MATCH EXISTING OPENING AND LAYOUT	2
E1	FIXED/CASEMENT	MARVIN	ULTIMATE	14'-4 7/8"	5'-3 3/8"	LOW E, TEMP	0.30	NEW REPLACEMENT WINDOWS TO MATCH EXISTING OPENING AND LAYOUT	2
E2	FIXED/CASEMENT	MARVIN	ULTIMATE	11'-2"	5'-3 3/8"	LOW E, TEMP	0.30	NEW REPLACEMENT WINDOWS TO MATCH EXISTING OPENING AND LAYOUT	2
E3	FIXED	MARVIN	ULTIMATE	4'-5 5/8"	5'-3 3/8"	LOW E, TEMP	0.30	NEW REPLACEMENT WINDOWS TO MATCH EXISTING OPENING AND LAYOUT	1
I1	FIXED	MARVIN	ULTIMATE	15'-6 1/2"	6'-2 3/4"	LOW E, TEMP	0.30	NEW REPLACEMENT WINDOWS TO MATCH EXISTING OPENING AND LAYOUT	1

**ADU**

D1	DOUBLE HUNG	MARVIN	ULTIMATE	2'-11"	3'-5 1/2"	LOW E, TEMP	0.30		3
D2	DOUBLE HUNG	MARVIN	ULTIMATE	2'-7 1/4"	4'-11 1/2"	LOW E, TEMP	0.30		3
F1	DOUBLE HUNG	MARVIN	ULTIMATE	5'-0"	5'-0"	LOW E, TEMP	0.30		3
G1	DOUBLE HUNG	MARVIN	ULTIMATE	10'-0"	5'-0"	LOW E, TEMP	0.30		1
H1	DOUBLE HUNG	MARVIN	ULTIMATE	7'-10"	5'-0"	LOW E, TEMP	0.30		1
J1	FIXED	MARVIN	ULTIMATE	16'-0"	6'-2"		0.30		1

## GLASS DOOR SCHEDULE

Mark	Manufacturer	DOOR			Glass Type	U-FACTOR.	REMARKS
		WIDTH	HEIGHT	THICKNESS			

**MUDROOM ADDITION**

101	MARVIN	5'-8"	9'-11 5/16"	1 3/4"	LOW E, TEMP	0.30	
102	MARVIN	5'-8"	7'-11 5/16"	1 3/4"	LOW E, TEMP	0.30	

**BBQ DECK**

103	MARVIN	6'-9 3/4"	7'-3 1/2"	2 3/4"	LOW E, TEMP	0.30	
-----	--------	-----------	-----------	--------	-------------	------	--

**ADU**

104	MARVIN	8'-11 13/16"	7'-2"	1 3/4"	LOW E, TEMP	0.30	
105	MARVIN	2'-9 15/16"	7'-2"	1 3/4"	LOW E, TEMP	0.30	

**NOTES:**

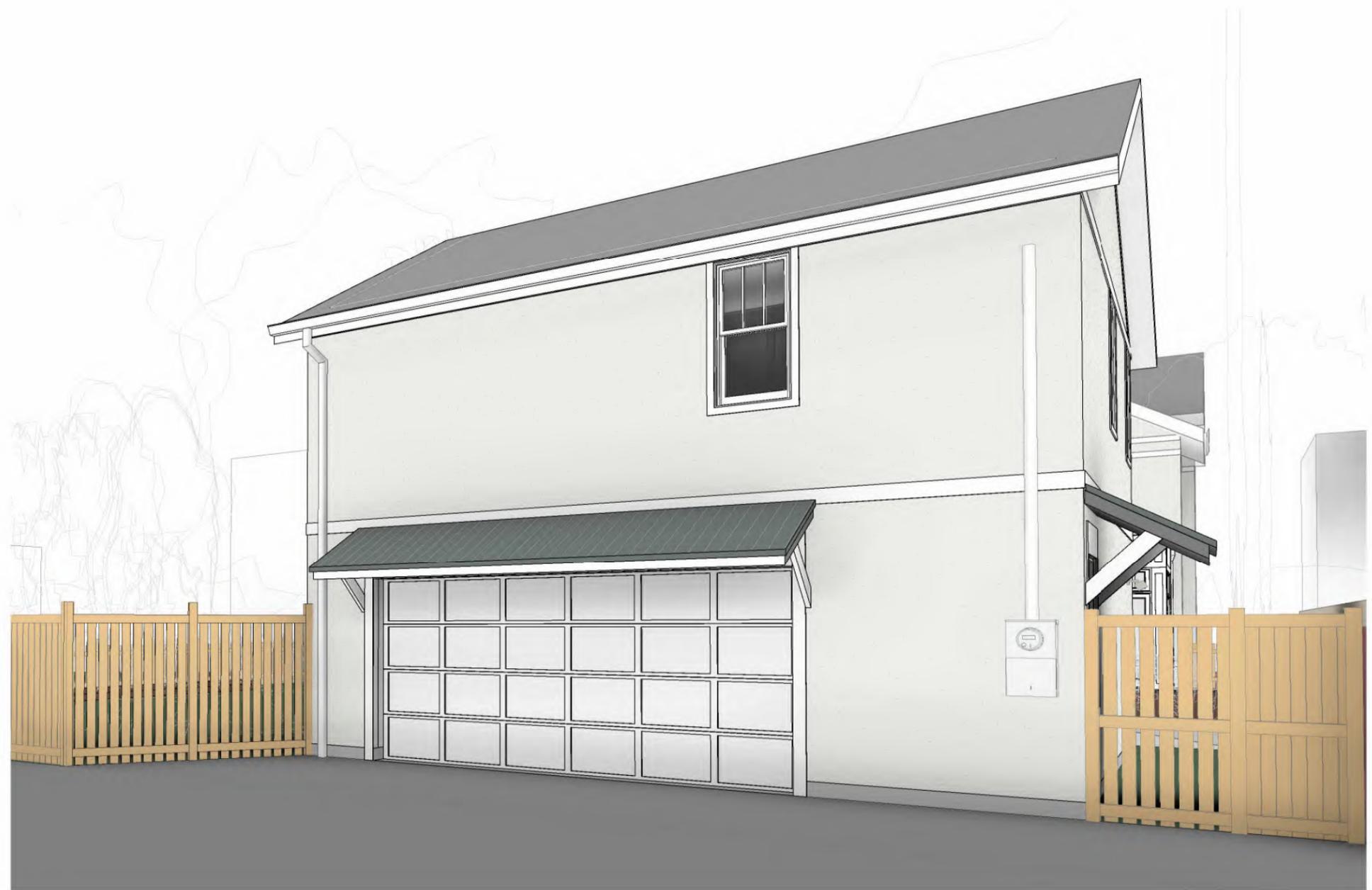
1. ALL MARVIN WINDOWS & DOORS TO BE 'ULTIMATE' LINE SERIES, U.N.O.
2. SEE EXTERIOR ELEVATIONS FOR CASEMENT SWING DIRECTION
3. SEE EXTERIOR ELEVATIONS FOR MUNTIN CONFIGURATION AT ALL WINDOWS, 5/8"
4. ALL WINDOWS TO HAVE INSULATED LOW E GLAZING
5. ALL SPACER BARS TO BE DARK BRONZE
6. ALL SDL BARS TO BE DARK BRONZE
7. ALL DRIP CAPS TO BE EXTRUDED ALUMINUM, MATCH CLAD COLOR
8. ALL DOORS TO HAVE MULTI-POINT LOCKING SYSTEM
9. ALL WINDOW EXTERIOR TO BE ALUMINUM CLAD IN STANDARD COLOR
10. ALL INTERIOR SCREENS AND HARDWARE T.B.D.
11. ALL EXTERIOR SCREENS TO MATCH CLAD COLOR
12. ALL WINDOWS & DOORS TO BE FACTORY PRIMED U.N.O.
13. ALL PATIO DOORS TO BE NARROW STILE & RAIL
14. ALL DOORS TO BE KEYED ALIKE



VIEW OF PRIMARY STRUCTURE AND ACCESSORY DWELLING UNIT



VIEW OF ACCESSORY DWELLING UNIT



VIEW OF ACCESSORY DWELLING UNIT FROM ALLEY



NEIGHBORHOOD ADU - VIEW FROM SHARED ALLEY



NEIGHBORHOOD ADU - VIEW FROM SHARED PUBLIC ALLEY



NEIGHBORHOOD DETACHED GARAGE - VIEW FROM SHARED ALLEY



**Zoning Analysis  
Summary**

Review Date: 2/16/2023

**Case Number:**

**Case Status/Determination:**

23ZONA-#### - 1139 Sheridan Rd.

#### **COMPLIANT**

**Applicant:** Brad Lightner

**District:**R1

**Plans dated:**02/01/2023

**Survey dated:** 12/07/2022

**Proposal:**

Construct new mudroom addition on the primary structure, a new ADU with pergola in the rear yard, and a new rear yard wood deck with pergola, fireplace and pool.

**Non-compliant:**

Code Section	Proposed and Required	Recommendation
		Revision required, Apply for variation (if no alternative exists), Revision recommended (with simple correction), See additional comment # below.

Additional Comments:

<b>Principal Use and Structure:</b>	
<i>Zoning Code Section</i>	<i>Use: Include standard, existing, and proposed; Indicate Compliant, Non-compliant, No change, Legal non-conforming</i>
6-8-2-6	Lot width: 76 ft.
6-8-2-5	Lot size: 71 ft. x 175 ft. = 13,300 s.f.
	Dwelling Units #: 1
6-8-2-7	Building Lot Coverage: 3050 s.f. (includes addition and detached garage with ADU )
6-8-2-10	Impervious Surface Coverage: 5574.85 s.f. with detached garage and ADU
	Accessory Structure Rear Yard Coverage: 680 s.f. (detached garage with ADU)
	Gross Floor Area
6-8-2-9	Building Height: 35 ft (Principal structure); 13 ft. (addition); 15'-10" (addition with skylight)
6-8-2-8	Yards: Front: 40'- 4" (to principal structure) Street Side: Interior Side: 5'- 0" (from principal structure to north interior side yard) Interior Side: Rear: 76' – 5" (from rear of principal structure to rear property line)
<b>Accessory Use and Structure 1:</b>	
6-8-2-8 (C)	Location (Yard): Rear
6-4-6-4 1. b.	Height: 26 ft.
	Distance from Principal Building: 46' – 5"
6-4-6-2	Yards: Front: Street Side: Interior Side: 5' – 8 ¾" (from detached garage north façade to north side yard property line)

	Interior Side: Rear: 6' – ½" (from detached garage to rear property line)
<b>Accessory Use and Structure 2:</b>	
	Location (Yard):
	Height:
	Distance from Principal Building:
	Yards: Front: Street Side: Interior Side: Interior Side: Rear:
<b>Parking Requirement:</b>	
	Use 1: Use 2: Use 3: Total Required:
	Handicapped Spaces:
	Access:
	Vertical Clearance:
	Surface:
	Location:
	Parking Angle 1: Parking Space Size: Drive Aisle Width: Module: Parking Angle 2:

<b>Loading Requirements:</b>	
	Use 1:
	Use 2:
	Use 3:
	Total Number of Short/Long Loading Berths:
	Long Berth Size:
	Short Berth Size:
	Vertical Clearance:
	Location:
<b>Miscellaneous:</b>	

BEGINNING STREET #

END STREET #

STREET # SUFFIX

STREET NAME

SUFFIX

PIN



**LOCAL**

WITHIN LOCAL DISTRICT?

LOCAL DISTRICT CONTRIB/NON-CONTRIB?

LOCAL LANDMARK?  YEAR

LOCAL LANDMARK ELIGIBLE?

CRITERIA:

**NATIONAL REGISTER**

WITHIN NR DISTRICT?

NR DISTRICT CONTRIB/NON-CONTRIB?

NR LANDMARK?  YEAR

NR ELIGIBLE?  CRITERIA

PHOTO ID

ALTERNATE ADDRESS?

**GENERAL INFORMATION**

CATEGORY  CURRENT USE

CONDITION  HISTORIC USE

INTEGRITY  SECONDARY STRUCTURE

NRSECOND

**ARCHITECTURAL DESCRIPTION**

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Craftsman/Prairie"/>	ROOF TYPE	<input type="text" value="Side gable"/>
DETAILS	<input type="text"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1908"/>	FOUNDATION	<input type="text" value="Brick"/>
OTHER YEAR	<input type="text"/>	PORCH	<input type="text" value="-"/>
DATESOURCE	<input type="text" value="Building permit"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Stucco"/>	WINDOW MATERIAL 2	<input type="text"/>
WALL MATERIAL 2 (current)	<input type="text"/>	WINDOW TYPE	<input type="text" value="Double hung/casement"/>
PLAN	<input type="text" value="Rectangular"/>	WINDOW CONFIGURATION	<input type="text" value="2/1; 3/1; 10-light; 3-light"/>
NO OF STORIES	<input type="text" value="2.5"/>		

SIGNIFICANCE

HISTORIC FEATURES

**ADDRESS**

1139		SHERIDAN	ROAD
------	--	----------	------

**ALTERATIONS**

1925 permit for \$5,000 in alterations--not clear what was altered from original 1908 design. Sanborn maps from 1920 and 1945 show identical massing.

**HISTORIC INFORMATION**

**OLD ADDRESS  
(city dir.year)**

1137 Sheridan Road

**ORIGINAL  
OWNER**

Hill, Charles B.

**ORIGINAL  
ARCHITECT**

Zimmerman, William Carbys

**BUILDING MOVED?**

No

**ARCHITECT  
SOURCE**

Building Permit 3345

**MOVED FROM**

**BUILDER**

Wigginton, James

**ADDITIONAL PHOTOGRAPHS**



PHOTO ID2 \images\11-19-212-002-0000-2.jpg

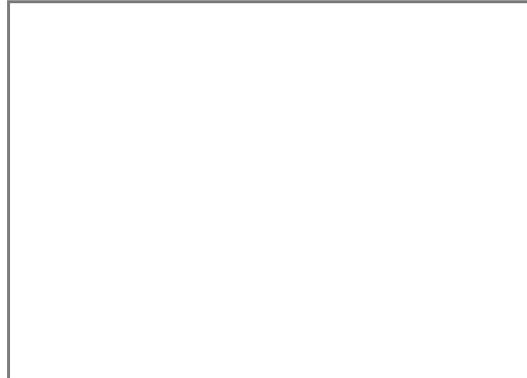


PHOTO ID3

**OTHER PINS**

**SURVEYOR**

Lara Ramsey

**SURVEYOR  
ORGANIZATION**

GRANACKI HISTORIC CONSULTANTS

**SURVEY DATE**

4/5/2012

**Historic Info  
Compiler**

MBM

**SURVEYAREA**

EVANSTON LAKESHORE PHASE II

**PERMIT/HISTORIC INFORMATION**

**CURRENT ADDRESS**

1139 SHERIDAN ROAD

**OLD ADDRESS  
(city dir.year)**

1137 Sheridan Road

**DATE OF CONSTRUCTION** 1908

**MOVING INFORMATION**

**BUILDING MOVED?** No

**MOVING PERMIT #** **DATE**

**MOVED FROM**

**ORIGINAL PERMIT INFORMATION**

**BLDG PERMIT #** 3345 **DATE** 1908.07.13

**BUILDING PERMIT DESCRIPTION** (as 1137 Sheridan Rd) 2-story residence 42'wx43'dx35'h, 11 rooms

**COST** \$5,000

**ORIGINAL OWNER** Hill, Charles B.

**ORIGINAL OWNER OCCUPIED?** Yes

**ORIGINAL ARCHITECT** Zimmerman, William Carbys

**ARCHITECT SOURC** Building Permit 3345

**BUILDER** Wigginton, James

**EXTERIOR ALTERATION PERMITS**

BP13923, 1925.06.08, 2-story stucco house improvement \$5,000, (O) M. C. Meigs, (A) Robt DeGolyer, (B) John Jucker

**OTHER PERMIT INFO**

BP8747, 1921.04.19, tile garage 22'x21'4"x15' \$2,500, (O/A) Charles Hill, (mason) A. Larson & Co. BP41539, 1974.07.03, repair fire damage to garage \$1,000, (O) Seymour Neems, (B) AAA Bldg Maintenance Co.

**COA INFO**

2006 - Demolition of raised terrace at the rear of house, addition of a rear entry vestibule, a new back stoop, and exterior alterations (alteration, construction and demolition).

**HISTORIC INFO**

**OTHER SOURCES**

ELHD n/a. PHOTOS at EHC: Smart & Golee postcard 1950; Quinlan & Tyson 1956 & 1960.

**HISTORIC INFO COMPILER** MBM

**City of EVANSTON**  
LAKESHORE HISTORIC DISTRICT RE-SURVEY  
CONTINUATION SHEET

STREET # 1139

STREET SHERIDAN ROAD

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**ADDITIONAL PHOTOS OR INFORMATION**

*Historic Features*

Side gable roof with deeply overhanging eaves; stucco cladding; continuous stringcourse at 2nd story lintel level center entry with glazed front door flanked by art glass sidelights; front entry surround with segmental arch pediment and faceted columns; front stoop with brick knee walls (may be historic alteration); three shallow hipped roof front dormers; grouped casement windows on first story of façade; historic double hung and casement windows on front and side elevations.



# STAFF REPORT

To: Members of the Preservation Commission  
From: Carlos D. Ruiz, Planner  
Subject: 630 Central Street – 23PRES-0022  
Date: March 7, 2023

## Proposal

### **630 Central Street - Landmark - 23PRES-0022**

Mike Hauser, architect, and applicant, submits a Certificate of Appropriateness to replace 22 single-paned true divided light wood casement windows with a lead window grill (several of these windows have a stained glass round accent in the pattern). The replacement windows are clad wood Marvin Ultimate casement windows with an applied divider grill that would replicate the original dimensionally and functionally. The stained glass detail would be applied to the inside of the window in the lead circle. The original windows would be salvaged for reuse.

**Applicable Standards:** Alteration [1-10]

Construction Period:  
1909

Style:  
Tudor Revival

Architect of Record:  
Robert E. Seyfarth

Condition:  
Good

Integrity:  
Good to Excellent

Status:  
Designated Evanston landmark, located in the Federal Northeast Historic District.

**Setting:**

The two and a half-story house at 630 Central Street is a designated Evanston Landmark, and located within the Federal Northeast Historic District. Robert E. Seyfarth designed the house in 1909 in the Tudor Revival style for Betsy A. Bridge.

The house faces north and is located on the south side of Central Street, east of Orrington Avenue, west of Sheridan Road; and north of Milburn Street.

At the northeast corner of Central Street (600 block) and Orrington Avenue is the house at 2601 Orrington Avenue, a Tudor Revival style house (Wieboldt Mansion) an Evanston Landmark. It was designed by Schmidt and Ryan. The 600 block of Central Street is a tree lined street with houses of different styles. 615 Central Street is a Ranch house built in 1955, Bertram A. Weber, architect; 616 Central Street is a Craftsman style house built in 1909, Ernest A. Mayo, architect; 621 Central Street is a Ranch style house built in 1956, architect unknown; 624 Central Street is a Craftsman style house built in 1909, George W. Maher, architect; 628 Central Street is a Craftsman style house built in 1911, architect unknown; 639 Central Street is a Craftsman style house built in 1919, Schmidt & Ryan, architects.

Also, on the southeast corner of Central Street and Orrington Avenue is 2529 Orrington Avenue, a Georgian Revival style house built in 1921, Whitney & Williams, architects; on the southwest corner of Central Street and Sheridan Road is 2528 Sheridan Road, a Craftsman style house built in 1911, architect unknown; and on the northwest corner of Central Street and Sheridan Road is 2604 Sheridan Road, a Ranch style house built in 1955, architect unknown.

**Significance:**

**Architect:**

Robert Seyfarth (1878-1950) was born in Blue Island, Illinois. He attended the Chicago Manual Training School, later absorbed into the University of Chicago Laboratory Schools, where he received practical training in architectural drawing and construction. After graduating in 1895, he worked in the Architect's Department of the Chicago School Board. Later, in 1898 Seyfarth went to work for George Maher, where Seyfarth was influenced by the Prairie School style of architecture.

Seyfarth designed the house at 630 Central Street in 1909, located within the Federal Northeast Historic District. Seyfarth is recognized as a prominent Chicago and North Shore architect. A second house he designed within the historic district is at 2514 Sheridan Road. Both houses were designed for Betsy A. Bridge. Seyfarth designed numerous historical revival houses throughout Chicago and the North Shore. His work is noted for its fine detailing.

Robert E. Seyfarth, is listed as the architect for thirteen buildings in Evanston, six of them are designated Evanston Landmarks:

- 2730 Broadway Avenue, Johnson House ca 1949, built 1956
- 630 Central Street, Betsy Bridge spec house, 1909 (L)
- 2733 Colfax Street, Earl Rapp House, 1915-16 (L)
- 2322 Ewing Avenue, Dr. Nichols House, ca 1926 (L)
- 2311 Lincoln Street, Orley Wilson House, 1915

- 2418 Lincoln Street, Theodore F. Freeman House, 1924 (L)
- 2424 Lincoln Street, Page House, 1930 (L)
- 2500 Lincoln Street, William Matthews House, ca 1925
- 2602 Lincoln Street, John Hart House, ca 1925
- 2320 Lincolnwood Drive, Mueller Bernhardt House, 1934 (L)
- 2500 Lincoln Street, 1924
- 2514 Sheridan Road, Betsy Bridge, spec house, 1909
- 1549-1555 Sherman Avenue (627 Grove Street), NE corner, offices & retail, 1916

House:

The Landmark house at 630 Central Street is designed as a salt box form in the Tudor Revival style. A two and a half-story house with an asymmetrical steep gable roof mostly on the east side of the roof; the exterior walls are finished in stucco.

The north front façade has a wide and tall chimney on the west side, and a recessed covered porch with six wooden stairs leading to the main wood door entry on the east side, which is flanked by side lights. The predominant windows are wood casement windows with leaded glass divided lights and a stained glass circle detail on the upper section of the window pane. The front north façade exhibits nine (9); the side east façade eight (8); and the side west façade two (2) wood casements with the leaded glass and the stained glass circle. The rear south façade has two (2) wood casement windows in the attic with the leaded glass and the stained circle. Also, on there are five (5) wood casement windows with the leaded glass divided lights but without the stained glass circle.

The one and the two-story rear additions facing south are clad in wood siding and have a flat roof. The two (2) existing windows are double hung windows on the second floor. The first-story enclosed porch has four (4) fixed windows. The dormer on the roof facing east has two (2) double hung windows

The house at 630 Central Street is classified in the Tudor Revival style, popular in the United States between the late-1890s and the mid-1900s, reaching its peak in popularity in the 1920s. With its roots in England the Tudor Revival style ranged from small cottages to English country manor structure. In the United States the style became common in the suburbs of American cities, including Evanston and the North Shore Communities.

Some of the features of the Tudor revival style are steeply-pitched, asymmetrical front-facing gable roofs, tall narrow windows, usually casements with multiple divided lights, prominent brick chimneys, and stucco finished exterior walls. The house at 630 Central Street exhibits those features. The overall physical condition and integrity of the house is good

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission. Staff may provide a professional opinion on the proposal at the Commission's request.

## **Demolition**

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.
2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

## **Construction**

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &  
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to [preservation@cityofevanston.org](mailto:preservation@cityofevanston.org):

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

**For new construction, additions, major alterations, and demolition**, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

**Section A. Required Information (Print) \* Refer to the Supplemental Information for guidance [page "i" fifth below].**

<b>1) Property Address:</b> <span style="color: red;">630 Central Street</span>	<b>FOR STAFF USE ONLY</b> <b>Application Number:</b>										
<b>2) Owner's Name:</b> <span style="color: red;">Rob Barry</span>	<b>Address:</b> <span style="color: red;">630 Central Street</span>										
<table style="width: 100%; border: none;"> <tr> <td style="width: 25%;">City:</td> <td style="width: 25%;">State:</td> <td style="width: 25%;">Zip:</td> <td style="width: 25%;">Phone:</td> <td style="width: 20%;">Email/Fax:</td> </tr> <tr> <td><span style="color: red;">Evanston</span></td> <td><span style="color: red;">IL</span></td> <td><span style="color: red;">60201</span></td> <td><span style="color: red;">917 833-1821</span></td> <td><span style="color: red;">robertbarry811@gmail.com</span></td> </tr> </table>	City:	State:	Zip:	Phone:	Email/Fax:	<span style="color: red;">Evanston</span>	<span style="color: red;">IL</span>	<span style="color: red;">60201</span>	<span style="color: red;">917 833-1821</span>	<span style="color: red;">robertbarry811@gmail.com</span>	<b>3) Architect's Name:</b> <span style="color: red;">Mike Hauser    JT Hauser Architects</span>
City:	State:	Zip:	Phone:	Email/Fax:							
<span style="color: red;">Evanston</span>	<span style="color: red;">IL</span>	<span style="color: red;">60201</span>	<span style="color: red;">917 833-1821</span>	<span style="color: red;">robertbarry811@gmail.com</span>							
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City:	State:	Zip:	Phone:	Email/Fax:							
<span style="color: red;">Evanston, IL</span>		<span style="color: red;">60201</span>	<span style="color: red;">(847) 707-5129</span>	<span style="color: red;">mike@jthausser.com</span>							
<b>4) Contractor's Name:</b> <span style="color: red;">to be determined</span>	<b>Address:</b>										
<table style="width: 100%; border: none;"> <tr> <td style="width: 25%;">City:</td> <td style="width: 25%;">State:</td> <td style="width: 25%;">Zip:</td> <td style="width: 25%;">Phone:</td> <td style="width: 20%;">Email/Fax:</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table>	City:	State:	Zip:	Phone:	Email/Fax:						
City:	State:	Zip:	Phone:	Email/Fax:							
<b>5) Landmark:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    * Refer to the Supplemental Information for guidance on page (i) (fifth page below).											
<b>6) Within Local Historic District:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No;											
If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources											
<b>7) Refer to the completed Zoning Analysis and check as applicable if project requires:</b> <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → <b>If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only.</b> <b>Check if your project requires:</b> <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → <b>Refer to Supplemental Information on page (i) below.</b>											

**Section B: Application for Certificate of Appropriateness**

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

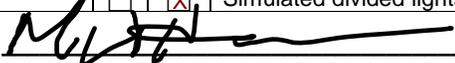
Replacement of casement windows in various parts of the home.

The windows in question are single paned, out-swinging, true-divided light casements with a lead window grill. Several of these windows have a stained glass round accent in the pattern.

These windows are at the end of their life. We are proposing to replace them with clad wood Marvin Ultimate casement windows with an applied lead divider grill that would replicate the original dimensionally and functionally. The stained glass detail would be applied to the inside of the window in the lead circle. The original windows would be salvaged for reuse.

**2) Checklist (Check all that apply and attach any additional information)**

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input type="checkbox"/> Construction	<input type="checkbox"/> Residential <input type="checkbox"/> Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Demolition	<input type="checkbox"/> Partial <input type="checkbox"/> Total	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials: <b>clad casements</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.										
Existing	Proposed		Existing	Proposed		Existing	Proposed			
<input type="checkbox"/>	<input type="checkbox"/>	<b>Façades/Front Porch &amp; Rear Porch Material</b> Wood Frame Stone Brick Stucco Synthetic Stucco Wood Siding Aluminum Siding Vinyl Siding Shingle, Material: _____ Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Flashing Material</b> Copper Sheet Metal Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fences</b> Wood Wrought Iron Aluminum Other: _____ Height: _____ Length: _____		
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>		<b>Fascias, Soffits, Rakeboards, Trim</b> Wood Metal Synthetic Material, Type: _____ Other: _____	<input type="checkbox"/>		<input type="checkbox"/>	<b>Terraces, Patios, Decks</b> Wood Stone Brick Pavers Concrete Pavers Poured Concrete Other: _____
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>			<b>Door Material</b> Wood Metal Clad Other: _____		<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<b>Window Type</b> Double Hung Casement Other: _____			<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<b>Roofing Material</b> Wood Shingles Wood Shakes Slate Clay Tile Asphalt Shingles Metal Sheet Other: _____	<input type="checkbox"/>			<input type="checkbox"/>	<b>Window Material</b> Wood Aluminum Steel <b>aluminum</b> Other: <b>clad wood</b>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<b>Muntins</b> Not existing True divided lights Simulated divided lights	<input type="checkbox"/>		<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		<b>Chimney Material</b> Brick Stone Stucco Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<b>Gutters/Downspouts</b> Copper Aluminum Galvanized Sheet Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
4) Applicant's Signature: 						Date: 03.02.2023				
Print Name: Michael Hauser, Architect										
Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].										

**Section C: Application for Advisory Review of Zoning Variations, Fence Variations and Special Uses - 6-15-11-5: RELATIONSHIP TO SPECIAL USES AND VARIATIONS:**

Whenever an application is made for a special use or variation relating to a historic landmark, or a property located in a local historic district, the application shall be referred to the Preservation Commission that shall have the authority to make its recommendations to the appropriate decision making body relating to lot coverage, yard requirements, parking, building height, fences, and/or landscaping based upon its determination as to whether the special use or variation: **(submit the zoning analysis summary and the completed zoning, fence variation or special use application(s) from the Planning & Zoning Division)**

**A) Is necessary and/or appropriate in the interest of historic conservation and does not adversely affect the historical architecture or aesthetic integrity of the landmark or character of local historic districts** (Briefly explain below/attach a separate sheet if necessary).

These windows leak significant air and water through the lead pane dividers. Time, exposure, and average use has weakened the lead's contact with the glass. Pieces of glass and lead are missing in various areas. These windows no longer keep the occupants of this home warm and dry.

Restoration has been explored. Reinstallation of the original window sashes over new windows has been explored. But these strategies have proven more than three times the cost of new higher quality windows with lead grills applied.

The windows would be ordered to replicate the dimension criteria of the originals.

**B) Is necessary to provide the owner a recoverable rate of return on the real property where the denial thereof would amount to a taking of the property without just compensation** (Briefly explain below/attach a separate sheet if necessary).

The existing windows are responsible for higher energy bills, water damage, and occupant discomfort. These issues all contribute to the home's real property value, and would all be resolved with new windows.

**C) Will not be materially detrimental to the public health, safety, and welfare or injurious to property in the district or vicinity where the property is located (Ord. 108-0-98).** (Briefly explain below/attach a separate sheet if necessary).

The windows in question are existing and would be replaced in their exact locations.

4) Applicant's Signature: \_\_\_\_\_

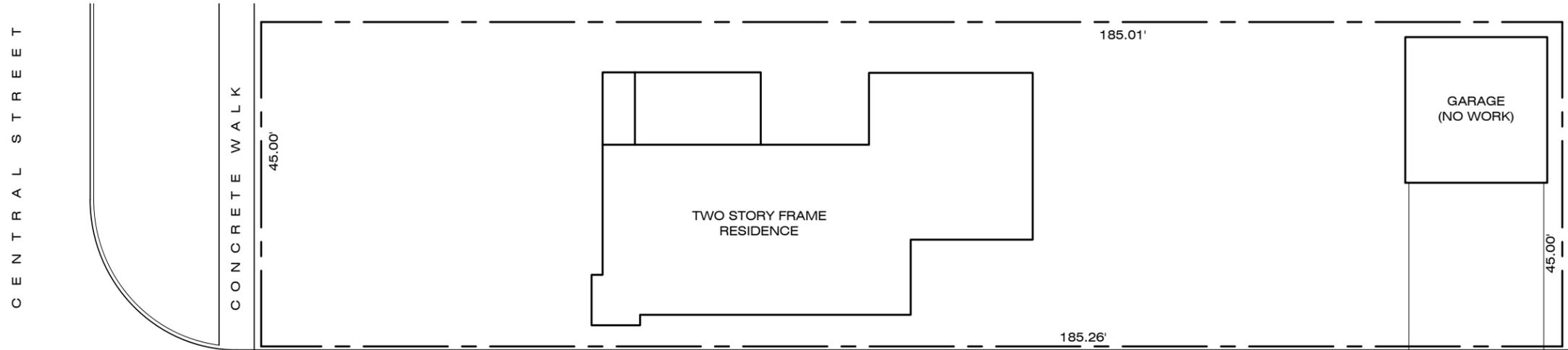


Print Name: Michael Hauser

Date:

03/02/2023

**NOTE:** The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with \*). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).



**JT HAUSER**  
ARCHITECTS  
1715 Chancellor St. Evanston, IL 60201  
hauserarch@gmail.com 847.707.5129

I hereby certify that these plans were prepared by me or under my supervision. To the best of my knowledge, they comply with all applicable codes of the City of Evanston, Illinois.

Michael W. Hauser  
Lic# 001-020869 Exp: 11-30-24

**SCOPE OF WORK**

WINDOW REPLACEMENT AT SINGLE FAMILY RESIDENCE

**LIST OF DRAWINGS**

- A-1 Notes / Site Plan
- A-2 Exterior Elevations
- A-3 Window Details / Schedule / Photos

ALL DRAWINGS © 2023 JT HAUSER ARCHITECTS

**GOVERNING CODES OF THE CITY OF EVANSTON**

- \* 2009 International Building Code
- \* 2009 International Residential Code (IRC)
- \* Current Illinois Energy Conservation Code (2018)

**GENERAL NOTES**

1. All codes having jurisdiction shall be observed strictly in the construction of the Project, including, but not limited to, all applicable state & local county building, zoning, electrical, mechanical, plumbing & fire codes. The Contractor shall verify all code requirements before commencement of construction & bring discrepancies in the documents to the attention of the Architect.
2. Details & sections on the drawings are shown at specific locations & are intended to show general requirements throughout. Details noted "typical" imply that all conditions are treated similarly.
3. All drawings shall be fully coordinated by the Contractor to verify all dimensions. Locate all special conditions, slopes, drains, outlets, recesses, reglets, flashings, structural fasteners, sleeves, etc.
4. The Architect / Structural Engineer maintains no responsibility for the General Contractor or Sub-Contractors (or those working in such capacities), & shall not be responsible for safety and construction procedures (including site/silt fencing), techniques or the failure of the builder to carry out the Work in accordance with the drawings or the required codes.
5. The Contractor shall obtain all necessary permits and inspections.
6. The Contractor shall bring all errors and omissions that may occur in the construction documents to the attention of the Architect. The Contractor will be held responsible for damages resulting from any errors, discrepancies, or omissions in the Contract Documents, for which the Contractor failed to notify the Architect prior to starting the Work.
7. All manufacturer's product specifications and/or warnings for products or materials, used in construction, must be strictly observed.
8. All codes, trade standards and manufacturer's instructions referenced in the Contract Documents shall be latest edition.
9. The Contractor shall make no structural changes without the written approval of the Architect.
10. The Contractor shall be responsible for relocating and reinstalling all existing utilities (including cable, telephone, etc.) as required by the new construction.
11. The Contractor shall be responsible for verifying all sizes, dimensions and conditions shown on drawings.
12. The use of any and all drawings, plans, specifications, etc., prepared by JT Hauser Architects remain the property of JT Hauser Architects (and it's consultants) and shall be restricted to the original site for which they were prepared. Any reproduction or distribution of such items is expressly limited to such use. Any other reproduction, reuse or disclosure by any method, in whole or in part, or for any other purpose other than that as a contract document, is strictly prohibited.
16. "U.N.O." denotes "Unless Otherwise Noted".
17. The Architect is not liable for identification of any possible asbestos containing materials or the removal of any such materials.

**1** Site Plan  
1/16" = 1'-0"

**WINDOW REPLACEMENT**

1. Provide custom sloped wood sills, inlaid casing, and other trim components to match ext'g in kind.
2. Replacement Window to be as follows:
  - \* Marvin 'Ultimate' Clad Wood Casement Windows
  - \* Size: Varies - see schedule
  - \* Exterior: Clad White
  - \* Interior: Primed wood for paint
  - \* Hardware finish: TBD
  - \* Screens: white frame



EXISTING WINDOWS



EXISTING WINDOWS

**BARRY**  
RESIDENCE  
630 Central Street  
Evanston, IL 60201

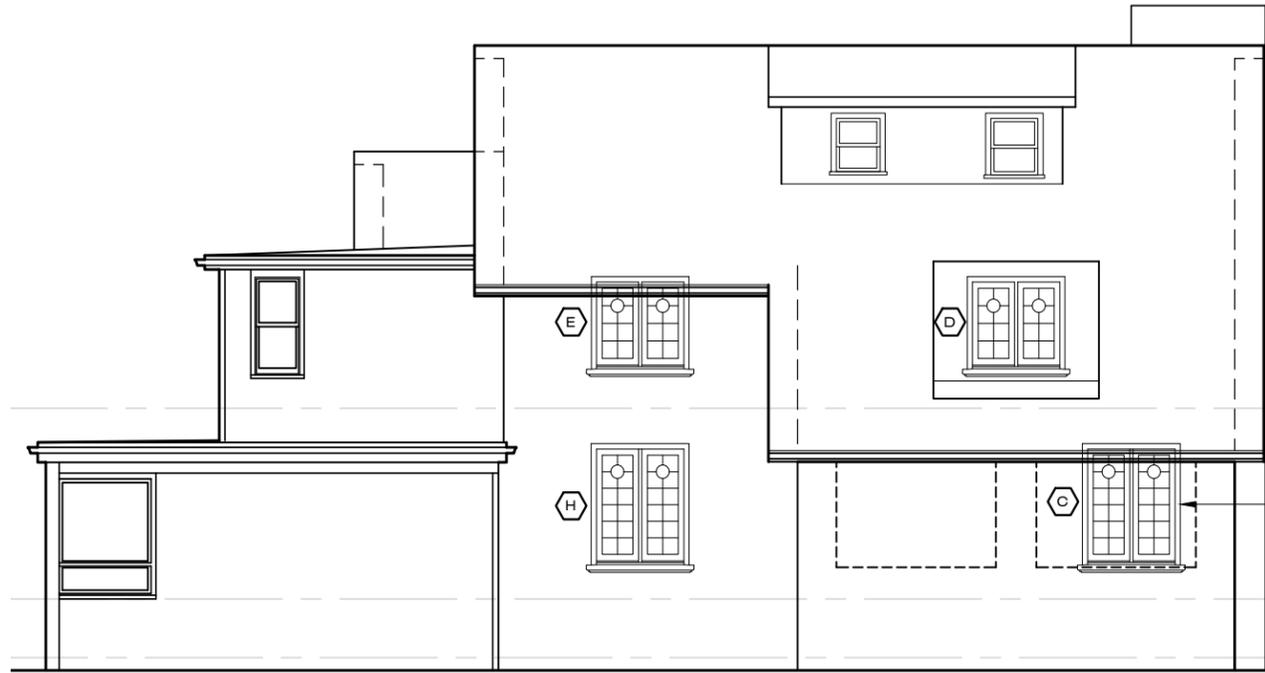
EVANSTON: .  
REVIEW: 09.15.2022  
PRICING: .  
CONST: .

Site Plan  
Found/Const/Elec Pln  
Notes

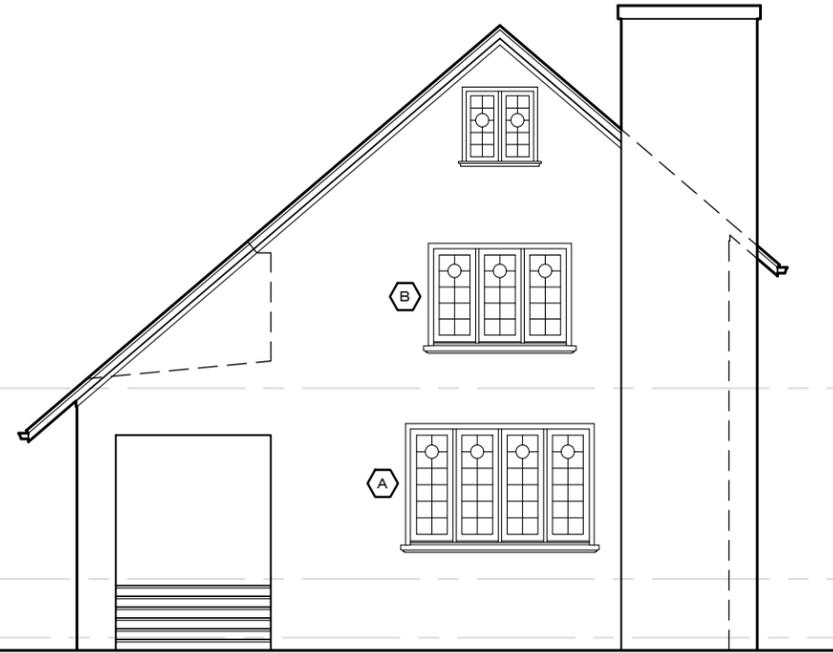


**A-1**

**JT HAUSER**  
ARCHITECTS



**1** East Elevation  
1/8" = 1'-0"



**2** North Elevation  
1/8" = 1'-0"



**3** West Elevation  
1/8" = 1'-0"



**4** South Elevation  
1/8" = 1'-0"

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**BARRY**  
RESIDENCE  
630 Central Street  
Evanston, IL 60201

EVANSTON:  
REVIEW: 09.15.2022  
PRICING:  
CONST.

Exterior Elevations  
Proposed  
Window Replacemnt



A-2

**JT HAUSER**  
ARCHITECTS

Window A  
LR (north wall) - (4) 26"W x 68"T  
casements  
w/ 2 3/4" between sashes

Window B  
Bed 2 (north wall) - (3) 26"W x 56"T  
casements w/ 2 3/4" between sashes

Window C  
LR (east wall) - (2) 26"W x 68"T  
casements w/ 2 3/4" between sashes

Window D  
Bed 2 Closet (east wall) -  
(2) 26"W x 50"T casements  
w/ 2 3/4" between sashes

Window E  
Bed 3 - (2) 26"W x 50"T casements  
w/ 2 3/4" between sashes

Window F  
Bed 4 - (2) 26"W x 50"T casements  
w/ 2 3/4" between sashes

Window G  
Landing 2 (west wall) - (2) 26"W x 50"T  
casements w/ 2 3/4" between sashes

Window H  
DR (east wall) - (2) 26"W x 66"T  
casements w/ 2 3/4" between sashes

Window J  
LR (west wall) - (3) 26"W x 26"T  
casements w/ 2 3/4" between sashes



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**BARRY**  
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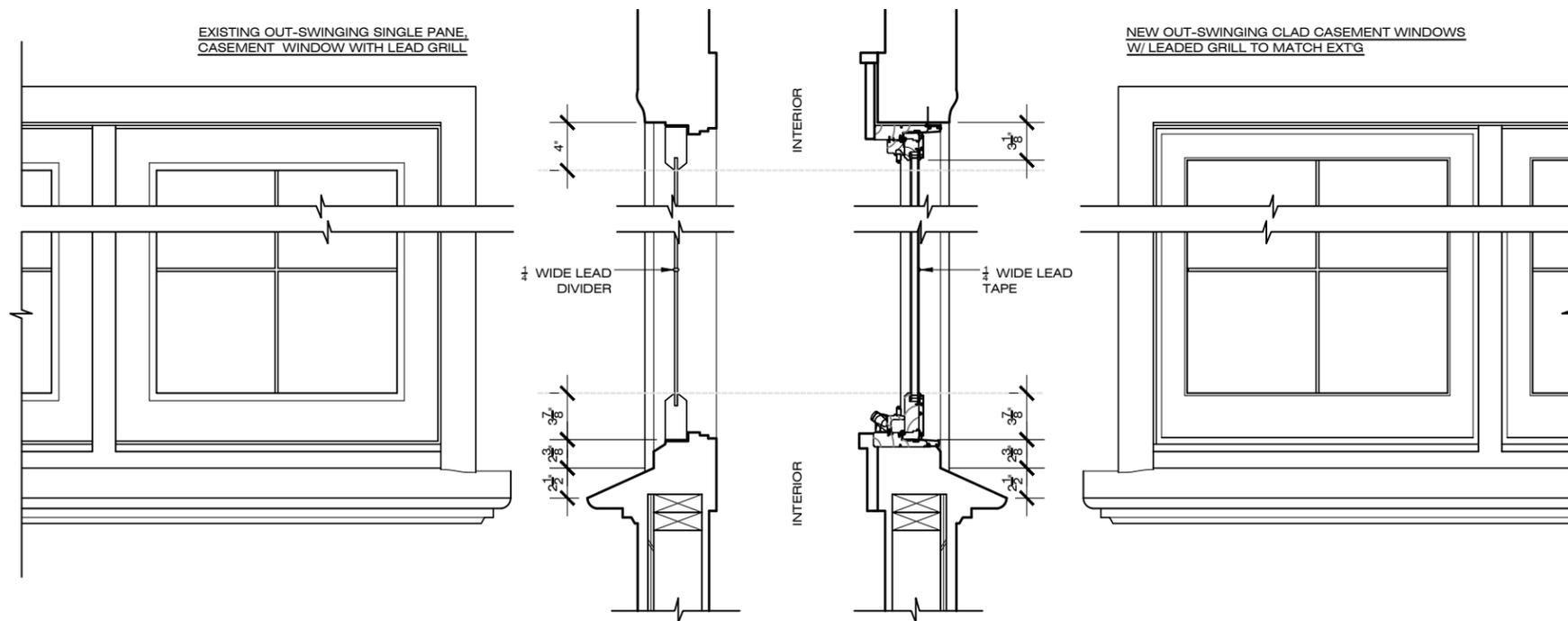
EVANSTON:  
REVIEW: 09.15.2022  
PRICING:  
CONST.

Window Details



**A-3**

**JT HAUSER**  
ARCHITECTS



**1** Window Replacement - Existing  
1" = 1'-0" (WINDOW SIZES VARY)

**2** Window Replacement - Proposed  
1" = 1'-0" (WINDOW SIZES VARY)



## STATEMENT OF SIGNIFICANCE

*This is a representative work by a well-known North Shore architect. Like many others in this area, it was built by Betsy Bridge. Stucco clad, it has an uneven pitched roof that terminates on the west side slightly below the ridge at the broad, projecting stucco chimney standing at the corner. On the other side the roof descends quite low to cover the square-cut entrance recess. The windows, arranged in strips, are centered below the roof peak with a pair in the attic, three on the second story, and four on the ground floor where the strip is fronted by a window box. The building has very good integrity marred only by the addition of spurious iron work at the entrance.*

## EVANSTON LANDMARK

ADDRESS: 630 Central Street

COMMON NAME:

REAL ESTATE INDEX NUMBER:

DATE OF CONSTRUCTION: 1909

ARCHITECT OR BUILDER: Robert E. Seyfarth

ORIGINAL SITE  MOVED

SIGNIFICANCE:

HISTORICAL	<input type="checkbox"/> H1	<input type="checkbox"/> H2	<input type="checkbox"/> H3	<input checked="" type="checkbox"/> H10
ARCHITECTURAL	<input type="checkbox"/> A4	<input checked="" type="checkbox"/> A5	<input type="checkbox"/> A6	<input type="checkbox"/>
	<input type="checkbox"/> A7	<input type="checkbox"/> A8	<input type="checkbox"/> A9	<input type="checkbox"/>
ENVIRONMENTAL	<input type="checkbox"/> GE11			

OTHER COMMENTS:



# City of EVANSTON

630 CENTRAL STREET

BEGINNING STREET NUMBER   
END STREET NUMBER   
STREET #   
SUFFIX   
STREET NAME   
PIN



PHOTO ID:

## LOCAL

WITHIN LOCAL DISTRICT?   
LOCAL DIST CONTRIB/NON-CONTRIB?   
LOCAL LANDMARK?   
YEAR   
LOCAL LANDMARK ELIGIBLE?   
CRITERIA

## NATIONAL REGISTER

NR DISTRICT CONTRIB/NON-CONTRIB   
WITHIN DISTRICT?  NR LANDMARK?  YEAR   
NR ELIGIBLE?  CRITERIA  ALTERNATE ADDRESS?

## GENERAL INFORMATION

CATEGORY  CONDITION   
INTEGRITY  CURRENT USE   
HISTORIC USE   
SECONDARY STRUCTURE  NR SECOND

## ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION   
DETAILS  CONSTRUCTION YEAR   
OTHER YEAR  DATE SOURCE   
WALL MATERIAL (CURRENT)  PLAN   
NO OF STORIES  ROOF TYPE   
ROOF MATERIAL  FOUNDATION   
PORCH  WINDOW MATERIAL   
WINDOW MATERIAL 2  WINDOW TYPE   
WINDOW CONFIGURATION  SIGNIFICANCE   
HISTORIC FEATURES  
  
ALTERATIONS

**ADDITIONAL PHOTOGRAPHS**



PHOTO ID:

**HISTORIC INFORMATION**

OLD ADDRESS (CITY DIR.YEAR)  BUILDING MOVED?  BUILDER  SURVEYOR   
MOVED FROM  ORIGINAL OWNER  SURVEYOR ORGANIZATION   
ORIGINAL ARCHITECT  ARCHITECT SOURCE  SURVEY DATE  SURVEY AREA

---

**PERMIT/HISTORIC INFORMATION**

**PERMIT MOVING INFORMATION**

CURRENT ADDRESS  OLD ADDRESS  DATE OF CONSTRUCTION  MOVING PERMIT #  DATE MOVED

---

**ORIGINAL PERMIT INFORMATION**

BUILDING PERMIT #  DATE  OTHER PERMIT INFORMATION   
BUILDING PERMIT DESCRIPTION  COST  COA INFO   
ORIGINAL OWNER OCCUPIED?  HISTORIC INFO  OTHER SOURCES   
EXTERIOR ALTERATION PERMITS  HISTORIC INFO COMPILER  VOLUNTEER

**Evanston Preservation Commission Rules & Procedures**

**ARTICLE 1. PERSONNEL**

1. Nominations of Commission Officers. Nominations for Chair, Vice-Chair and Secretary will be made at the December meeting. There may be additional nominations from the floor or accepted in writing up to the January meeting at which times elections will be held. Election shall be by a majority of those present and voting, provided there is a quorum.
2. Volunteers to Assist Committee Members. The commission or its individual committees may, at its discretion, ask for community volunteers to assist in various projects. These volunteers are not part of the Commission.
3. Conflicts of Interests. The Preservation Commission shall be subject to the City's Ethics Code, Title 1, Chapter 10, 1-10-4 of the City Code, governing matters pertaining to conflicts of interest and the impartiality required of members of City boards and commissions. Questions about applicability of the Ethics Code to a particular situation may be directed to the Board of Ethics.
4. Attendance at Meetings. Faithful and prompt attendance at all meetings of the Commission and conscientious performance of the duties required of members shall be a prerequisite to continuing membership on the Commission. In the event that a Commission member must be absent from a meeting, the member shall contact the Commission office before the meeting to advise the Commission of the absence.
5. Qualification to Vote on Certificates of Appropriateness. No Commission member shall vote on any matter deciding an application or any a request to reconsider an application unless that member shall have attended, or have either read the minutes or watched the entire video and record of, the Commission's previous deliberations on such application. In the event of an absence from previous deliberations, the member shall declare for the record that the member has reviewed the minutes and record and is familiar with the Commission's previous deliberations.

**ARTICLE 2. MEETINGS.**

1. Notice. Notice of all meetings shall be properly posted and meetings shall be open to the public, as provided by law. A quorum of a simple majority of appointed members is required.
2. Regular Meeting Order of Business.
  - Call to order/quorum declaration
  
  - Old/Unfinished Business, including comments from the public regarding individual applications
  
  - New Business, including comments from the public regarding individual applications
  - Any Additional Public Comment according to Article 10 of these Rules and Procedures
  
  - Minutes
  
  - Communications/Reports from Commission members and staff
  
  - Adjournment

**As Amended on 6.22.21**  
**DRAFT FOR DISCUSSION**

3. Special Meetings. Special meetings may be called by the Chair at his/her discretion, or upon the request of three or more Commission members.
4. Committee Meetings. Committee meetings or other special events attended by 4 or more Commissioners will be held in a public building. For these meetings, required notice for a public meeting will be posted and meeting minutes will be prepared. Meetings of 3 or fewer Commissioners organized as a volunteer working group - need not be held in a public building, and detailed minutes need not be maintained at such meetings. These volunteer working groups will be limited to a maximum of 3 members and since the topics of their meetings will be brought before the Commission at a Commission meeting. A record of volunteer working groups meetings will be maintained, documenting attendance, time, place, and the subject of the meeting. Other special events need not to be held in a public building, and detailed minutes need not to be maintained for such meetings.
5. Temporary Meeting Chair. In the event that neither the Commission Chair nor the Commission Vice Chair are available to preside at a regularly scheduled Commission meeting, the members of the Commission can vote to appoint the Commission Secretary as the Temporary Meeting Chair to preside at that regularly scheduled Commission meeting. A quorum of Commissioners, as defined in the City's Historic Preservation Ordinance section 2-8-3 (E) 7, must be present to vote for the Temporary Meeting Chair to preside at that regularly scheduled Commission meeting.
6. Remote Participation. A quorum of the Commission must be physically present. Additional members unable to attend physically because of personal illness or disability; employment purposes; the business of the public body; or a family or other emergency may attend and participate with full privileges remotely.

**ARTICLE 3. COMMITTEES**

The Commission, through its ongoing functions, may propose Committees or volunteer working groups to address specific preservation topics or initiatives. Standing committees shall have membership populated by nomination at the January meeting. Said committees shall meet as necessary to accomplish the goals and objectives of the body. Current standing committees include:

1. Application Pre-Review The Application Pre-Review subcommittee shall meet monthly prior to the regularly scheduled Commission meeting to review applications for completeness, recommend supplemental documentation to be provided by the applicant, identify areas of concern or importance for the applicant to focus their presentation on, and offer general guidance to applicants.
2. Education and Advocacy. This committee supports the ongoing creation and dissemination of educational materials, technical assistance guides and brochures, training programs, workshops, and content creation for a quarterly newsletter. The Education and Advocacy subcommittee shall also act as liaison between the Commission, the public, partner organizations, and institutional entities including other Boards, Committees and Commissions, School Districts and Northwestern University, City Departments, and the City Council.
3. Diversity, Equity, and Inclusion. This committee supports ongoing efforts to document and register resources associated with groups not currently represented or underrepresented as well as identify and actively recruit a commission membership which reflects Evanston's diverse demographics and perspectives.

**ARTICLE 4. APPLICATION HEARINGS**

**1. Consideration of Applications.**

Completed application is due fifteen (15) business days prior to the application hearing or public meeting.

Any party may appear in person or by agent or attorney at the Commission meeting.

The order of business for consideration of applications for Certificates of Appropriateness shall be as follows:

- a) If a major alteration is proposed, applicant must have the City's zoning analysis completed with the results 15 business days prior to the hearing.
- b) If a major alteration or demolition is planned, City must notify neighbors within 250 feet of the property five (5) or more business days prior to the hearing to allow neighbors to comment on the proposal at the meeting.
- c) All persons who wish to address the Commission regarding an application shall sign in and indicate the application to be addressed. Additional sign in sheets will be available for persons to record their attendance at the Commission meeting.
- d) The applicant shall present evidence in support of the application, i.e. that the applicable standards according to the City of Evanston Historic Preservation Ordinance, Title 2, Chapter 8, 2-8-9 are met;
- e) Persons may speak in support of the application within a time limit established by the Commission's Chair;
- f) Persons opposed to the application may speak or present evidence in opposition to the application within a time limit established by the Commission's Chair ;
- g) Statements or evidence submitted by any official, board or commission or department of the City of Evanston, shall be presented as directed by the Chair;
- h) Any person may ask questions relevant to the application;
- i) The applicant shall then be given the opportunity to rebut any evidence against the application. The applicant shall not re-state the initial evidence in support of the application;
- j) The Chair, or such person as the Chair shall direct, may summarize the evidence that has been presented, giving all parties an opportunity to make objections or corrections;
- k) The Commission shall thereafter make a motion to approve, approve with conditions, continue, or deny and following a second thereafter proceed to discussion of the proposed motion with respect to the appropriate standards;
- l) As part of the discussion, the Commission shall develop and adopt findings of fact that the proposal is or is not incongruous, citing applicable sections of the appropriate standards;

**As Amended on 6.22.21  
DRAFT FOR DISCUSSION**

- m) Based upon the discussion and findings of fact, the Commission may discuss the appropriateness of amending the motion on the floor including imposing conditions, or utilizing a friendly amendment process if agreed to by the Commissioner who made the original motion and not objected to by any other Commissioner;
- n) The Commission shall then vote to do one of the following: approve the application, approve the application subject to conditions, defer the application for further information, or deny the application for a Certificate of Appropriateness. If an amendment is made to the main motion, the Commission shall first vote on the proposed amendment followed by a vote on the main motion (if amendment fails) or the amended motion (if the amendment is adopted), unless a friendly amendment is agreed to.
- o) Prior to vote the Commission may allow through its discretion the withdrawal of the application.
- p) The Commission may, at its discretion, conduct additional visits to the premises and obtain additional facts concerning any application before arriving at a decision. All decisions of the Commission shall be supported by appropriate findings of fact, and where necessary, shall be accompanied by such conditions and/or recommendations as it may determine to be appropriate under the circumstances.
- q) In considering applications, witnesses may be called and factual evidence may be submitted. The Commission shall not be bound by the rules of evidence, but may hear and consider any evidence it considers to have probative value on the issues before it.

2. Continuance of Applications

The Preservation Commission can continue to a date certain applications scheduled for review at a particular scheduled meeting, no more than two (2) times without re-noticing the application to neighbors within 250 feet from the subject property. Applications that have been continued more than two (2) times without a presentation will be re-noticed to a scheduled Preservation Commission meeting in accordance to Section 2-8-8 Certificate of Appropriateness (C) 2. The re-notice should also apply to applications for Landmark or Historic District Nominations, Certificate of Special Merit, Subdivision, Resubdivision or Consolidation

3. Modifications to Certificates of Appropriateness.

An approved Certificate of Appropriateness may be modified by a written request from the applicant to the Commission. Such a request shall include a description of the proposed change and shall be accompanied by elevations, plans or sketches, where necessary. If the modification is minor, it may be approved according to the Minor Works procedure as outlined in Article 5. If the modification constitutes a substantial change, the applicant must treat it as a new application and appear before the Commission according to these Rules and Procedures.

4. Re-issuance of Expired Certificate of Appropriateness.

A certificate of appropriateness is valid for one hundred eighty (180) days from the date of issuance. Requests by the original applicant to re-issue an expired certificate of appropriateness after the one hundred eighty (180) days have expired and when the original application as approved has not changed shall be granted upon review and approval by the city manager or his/her designee if the request is made within one (1) year from the date of expiration of the original certificate of appropriateness.

**ARTICLE 5. RULES OF CIRCUMSTANCE FOR COA REVIEW**

Historic districts reflect pride in the character of a community and a desire on the part of the community and the city to preserve their assets. Historic districts are an important planning tool for the city, a way to improve the quality of life, sustain neighborhoods and at the same time, a way to encourage new development that enhances the historic character and scale of an area.

Historic district status recognizes change as an important indicator of healthy, vital communities. The City Code establishes a special design review process to assist in shaping change that enhances the uniqueness of a historic district's assets. Certificates of Appropriateness are issued to show that projects have been reviewed.

The following list is provided as a general outline of the level of review that may be expected of various types of projects that are often undertaken. It is not intended to be comprehensive, and it cannot cover every circumstance that will be encountered in a project.

**1. Applicability.**

A Certificate of Appropriateness is not necessary for routine maintenance, which includes repair or replacement where there is no change in the design, materials or general appearance of the structure or grounds. Certificates of Appropriateness are issued for all other projects. Any repair or replacement where there is a change in the design, materials, or general appearance is defined as an alteration and needs a Certificate of Appropriateness. The Commission only has purview over those alterations that can be seen by the public way (publicly accessible street, alley, sidewalk, or other publicly accessible thoroughfare not including Lake Michigan).Vegetation, fences, and walls are not considered permanent line of sight obstructions.

**2. Minor Work Projects.**

Minor Work projects are reviewed by the City of Evanston's Community Development Department staff. Staff will refer Minor Work projects to the Commission for review, if in staff's judgment, the change involves alterations, additions, solar panels, green roofs, wind power generators and other technologies, or removals that are substantial, do not meet the standards, or are of a precedent-setting nature.

**3. Major Work Projects.**

Major Work projects, of the types listed below are reviewed by the Commission. In general, Major Work projects involve a change in the appearance of a structure or site, and are more substantial in nature than routine maintenance or minor work projects. Such changes include new construction, expansion of a building footprint or significant changes in landscape features.

(a) Provisional Deferrals: The Commission may, in times of unforeseen circumstance, and by an affirmative vote of a simple majority of members present, provisionally defer additional Major Work projects to City Staff for administrative review. Such a deferral shall be accompanied by a sunset provision and require a vote for renewal or modification.

(b) Application Pre-Review Subcommittee Deferrals: Understanding the inability for the list of projects below to account for all types of work or variations in scope and project intensity, the Commission's Application Pre-Review Subcommittee is authorized to defer applications for Major Work projects listed below as administrative reviews.

**As Amended on 6.22.21  
DRAFT FOR DISCUSSION**

	<b>Type of Work</b>	<b>Routine Maintenance</b>	<b>Minor Work (Staff)</b>	<b>Major Work (Commission)</b>
1	Construction or Additions to <i>primary contributing/significant buildings</i> or landmarks			X
2	Demolition of any <i>primary structures</i> in a district; landmarks, or contributing structures			X
3	Demolition of any <i>part of a primary</i> structure			X
4	Demolition of a <i>non-contributing</i> structure in a district		X	
5	Relocation of <i>landmark, or contributing</i> buildings including accessory structures			X
6	Alteration/Removal of <i>Contributing Historical Architectural or Archeological</i> structures or objects			X
7	Repair in kind of existing <i>Accessory Structures or Buildings</i> when there is no change in design, materials, or general appearance	X		
8	Alteration of existing <i>Accessory Structures or Buildings and Garages/Coach Houses</i>		X or	X
9	Additions to existing <i>Accessory Structures or Buildings affecting landmarks or contributing</i> structures			X
10	Construction of new <i>Accessory Structures or Buildings</i>		X or	X
11	Demolition of <i>existing Accessory Structures or Buildings</i>		X or	X
12	Repair or Replacement of <i>Architectural Details</i> when there is no change in design, materials, or general appearance	X		
13	Alteration/Addition/Removal of <i>Architectural Features and Details</i>		X or	X
14	Construction/Alteration/Removal of <i>Chimneys</i>		X or	X
15	Repair/Replacement of uncovered rear <i>Decks and stairs</i> when there is no change in design, materials or general appearance		X	
16	Alteration/Addition/Removal of uncovered rear <i>Decks and stairs</i>		X	

**As Amended on 6.22.21  
DRAFT FOR DISCUSSION**

	<b>Type of Work</b>	<b>Routine Maintenance</b>	<b>Minor Work (Staff)</b>	<b>Major Work (Commission)</b>
17	Repair/Replacement of existing covered <i>Porches</i>		X	
18	Alteration/Addition of <i>Porches</i>			X
19	Repair of existing <i>Fences or Walls</i> when there is no change in design, materials, or general appearance	X		
20	Construction of new, or replacement of existing <i>Fences or Walls</i> which meets ordinance standards		X	
21	Removal of existing <i>Fences or Walls</i>		X	
22	Repair/Replacement of <i>Gutters and Downspouts</i> when there is no change in design, materials, or general appearance	X		
23	Installation of <i>House Numbers and Mailboxes</i>	X		
24	Installation/Replacement/Alteration/Removal of <i>Exterior Light Fixtures</i>	X		
25	Repairs/Replacement, including repointing, to existing <i>Masonry</i> when the color and composition of the mortar match the original, and new brick or stone matches the original		X	
26	Construction/Alteration/Removal of <i>Masonry</i>		X	
27	Installation/Removal of <i>Mechanical Equipment</i> , such as air conditioning units, Vents and Ventilators		X	
28	Repair/Replacement of existing <i>Parking Lots and Parking Areas</i> when there is not change in design, materials, or general appearance	X		
29	Alteration/Removal of existing <i>Parking Lots and Parking Areas</i>		X	
30	New Construction of/Addition to <i>Parking Lots</i>			X
31	Repair/Replacement of existing covered <i>Porches</i>		X	
32	Alteration/Addition/Removal of <i>Porches</i>			X
33	Repair of <i>Roofing</i> materials when there is no change in design, materials, or general appearance	X		
34	Replacement/Alteration of <i>Roofing</i> materials		X or	X

**As Amended on 6.22.21  
DRAFT FOR DISCUSSION**

	<b>Type of Work</b>	<b>Routine Maintenance</b>	<b>Minor Work (Staff)</b>	<b>Major Work (Commission)</b>
35	Repair/Replacement of exterior <i>Stairs and Steps</i> when there is no change in design, materials, or general appearance	X		
36	Alteration/Addition/Removal/new Construction of exterior <i>Stairs and Steps</i>		X	
37	Repair/Replacement of <i>Exterior Building materials</i> when there is no change in design, materials or general appearance	X		
38	Alteration/Addition/Removal of <i>Exterior Building materials</i>		X or	✕
39	New Construction/Alteration Addition of <i>Swimming Pools</i>		X	
40	Installation/Alteration/Removal of <i>Temporary Features</i> that are necessary to ease difficulties associated with a medical condition		X	
41	Repair/Replacement of existing <i>Walks</i> and at grade <i>Patios</i> when there is no change in design. Materials or general appearance	X		
42	Alteration/Addition/Removal of existing <i>Walks and at grade Patios</i>		X	
43	Construction of new <i>Walks and at grade Patios</i>		X	
44	Repair of <i>Windows and Doors</i> when there is no change in design, materials, or general appearance	X		
45	Replacement of <i>existing Windows and Doors</i> when there is no change in design, materials, or general appearance		X	
46	Alteration/Removal/Replacement of existing <i>Windows in non-Contributing Structures</i> when there is no change in design, materials, or general appearance		X	
47	Alteration/Removal/ Replacement of existing <i>Windows and Doors or addition of new Windows or Doors</i> when there is a change in design, materials or general appearance			X
48	Installation of new <i>Windows</i> in non-			

**As Amended on 6.22.21  
DRAFT FOR DISCUSSION**

	<b>Type of Work</b>	<b>Routine Maintenance</b>	<b>Minor Work (Staff)</b>	<b>Major Work (Commission)</b>
	contributing structures		X	
49	Installation/Alteration/Removal of <b><i>Storm Windows and Storm Doors</i></b>		X or	X
50	Repair/Replacement of existing <b><i>Skylights and roof windows</i></b> when there is no change in design, materials or general appearance	X		
51	Addition/Alteration/Removal of <b><i>Skylights</i></b> and roof windows when there is a change in design, materials or general appearance		X	
52	Changes to previous Certificates of Appropriateness		Most changes	Changes deemed by staff to be substantial in nature and previously reviewed by Commission
53	Emergency installation of Temporary Features to protect a historic resource (that does not permanently alter the resource); six-month duration; replacement with in-kind reconstruction or an approved certificate of appropriateness (i.e. temporary ramps for accessibility)		X	
54	<b><i>Solar Panels and Green Roofs,</i></b>		X or	X
55	<b><i>Turbines, Wind Power Generators and other technologies</i></b>		X or	X (When visible from a street)
56	<b><i>Fountains and landscape features when a part of the Statement of Significance for a landmark</i></b>			X

**ARTICLE 6. NOMINATION OF HISTORIC DISTRICT**

Since the rules in Ordinance 2-9-5 best support nominations for individual landmarks, the following additional rules apply to nominations for historic districts.

1. In the case of the Criteria for notable architects, it is understood that a district may have structures that are designed by many notable architects. The word architect in the nomination may be *multiple architects*.
2. In the case of the criteria for architectural styles, it is understood that a district may have multiple house styles. The word style in the nomination may be *styles*.

**ARTICLE 7. REMOVAL OF A PROPERTY FROM LANDMARK STATUS**

The Commission will follow section 2-8-5 (E) to determine whether or not property no longer meets Criteria for Designation in section 2-8-4. It is the applicant's responsibilities to complete the application for rescission and establish that the property no longer meets the criteria for designation.

The applicant must show that the landmark no longer meets a majority of the applicable criteria for designation. (For example – Many of the criteria refer to archeological sites. The applicant cannot use this as justification, if it doesn't apply).

In instances of proposed demolition of a registered Landmark, the applicant must concurrently file for Rescission of the Landmark designation. The application for rescission shall be heard first.

**ARTICLE 8. REVIEW OF CITY OF EVANSTON PROJECTS OR PROPERTIES**

Projects on properties, structures or buildings owned by the City of Evanston and designated as local, state or federal landmarks, or located within areas designated as historic districts (whether a contributing or non-contributing structure), are subject to review for appropriateness dependent on their potential impact to the area.

For the purposes of this Article, the review of these projects or activities are either conducted by the City of Evanston's Community Development Department staff or the Preservation Commission as described below (routine maintenance for City infrastructure not listed below is considered exempt from review):

City projects or activities reviewed by City of Evanston's Community Development Department staff:

- Removal of healthy trees.
- Exterior alterations of City-owned properties, conforming to the definition of Alteration in the Historic Preservation ordinance section 2-8-2. These alterations represent either no change in appearance to the historic, cultural, architectural or archaeological features and/or the in-kind replacement of materials on these same properties.
- In-kind replacement of any traffic signals or street light poles and fixtures.
- Installation of any new above-ground infrastructure and signage in City parks.

City projects or activities reviewed by the Commission:

- Reconstructing the City's brick streets
- Street widening to greater than 24 feet in width, including adding or improving bike paths, modifying lane configurations, and constructing traffic circles.
- Installation of new street light poles and fixtures or traffic signals. Replacement of existing street light poles and fixtures or traffic signals with those of a different design or configuration.
- Installation of new signage, specifically historic district signs, wayfinding signs, and monument signs.
- Installation of new playground equipment in City parks.

**As Amended on 6.22.21**  
**DRAFT FOR DISCUSSION**

- Construction, as defined in the Historic Preservation ordinance section 2-8-2, of new City-owned buildings or structures.
- Exterior alteration of City-owned buildings or structures, conforming to the definition of Alteration in the Historic Preservation ordinance section 2-8-2. Alterations requiring Commission review are those City projects or activities proposing a change to the appearance of that property, building or structure's historic, cultural, architectural or archaeological features.

**ARTICLE 9. AMENDMENT OF RULES**

The rules may be amended by an affirmative vote of a simple majority of the members of the Commission.

Any proposed amendment must be presented in writing at a regular or special meeting preceding the meeting at which the vote is taken. Copies of such proposed amendments shall be forwarded to any absent member.

**ARTICLE 10. PUBLIC COMMENT**

Opportunity for public comment for items not on the agenda shall be provided at all meetings of the Commission, in a manner determined to be appropriate by the Chair.

**ARTICLE 11. ANNUAL REPORTING**

The Chair of the Commission or his/her designee shall provide an annual report/presentation to the Planning and Development Committee during the first quarter of the calendar year.



# PRESERVATION COMMISSION ANNUAL REPORT

To: Members of the Planning & Development Committee

From: Chair Dreler and members of the Preservation Commission  
Cade W. Sterling, Planner

CC: Elizabeth Williams, Planning Manager  
Sarah Flax, Interim Director of Community Development

Subject: Preservation Commission Annual Review Report

Date: February 23, 2023

## **Structure**

1. What is the composition of the Commission?

The Commission currently has 9 members and is comprised of up to 11 members appointed by the Mayor with advice and consent by the City Council. These members must have a demonstrated interest, knowledge, or expertise and experience in historic preservation, architectural restoration and rehabilitation, or neighborhood revitalization or conservation. Members are appointed to up to two three-year terms. The current Commission includes architects, both practicing and trained, an architectural historian, a preservationist, a preservation planner, and owners of Landmarks and historic properties.

2. How many vacancies exist, and are pending vacancies imminent?

The Commission currently has two vacancies with two additional vacancies after the September 2023 meeting.

3. How many meetings are required per year?

The Commission has adopted a schedule of 11 meetings with an August recess and schedules additional special meetings and working group and subcommittee meetings as needed.

4. How many meetings were held in the past year?

In 2022 the Commission held 11 regularly scheduled meetings, two subcommittee meetings, and ten working group meetings.

5. Does the Commission achieve its administrative work through staff support? If yes, please list names and positions:

Yes, the Commission operated in 2022 with one primary staff liaison and one support staff member. Meetings are attended by both staff members. These roles will switch in 2023 with a new primary staff liaison, and the prior staff liaison stepping into a supportive role with priority over long-range plan implementation. For 2022, staff included:

**Primary:** Cade W. Sterling, Planner; **Support:** Carlos D. Ruiz, Planner

6. What was the Commission's budget for the past year? How does the budget impact, either positively or negatively, the Commission's operations?

The Commission had no budget for the 2022 calendar year and has operated without a budget for the better part of three decades. The lack of a budget impacts the ability to attend trainings, seminars, and conferences, such as the National Alliance of Preservation Commission's, as well as the Commission's ability to fully realize its education and advocacy goals and objectives. Although not budgetary for purposes of the Commission, the lack of available financial incentives for homeowners, particularly those with more vernacular resources where appropriate improvements are a higher percentage of the overall properties value, is a concern and consistent point of contention amongst residents.

7. How is citizen input encouraged and sought?

Citizen input is primarily received by way of written comments or in-person testimony as a result of mailed notification or posted agendas. Other forms of participation and engagement are limited but the Commission has set goals to improve participation and programmatic efforts related to education, advocacy, and technical assistance.

### **Goals, Objectives and Accomplishments**

1. What is the Commission's mandate?

The Commission is empowered by way of the Preservation Ordinance 29-O-18 to identify, register, and safeguard the community's historic cultural and architectural heritage and is afforded nine statements of purpose and thirty powers and duties including binding and advisory design review. The Commission is charged exclusively with oversight of the City's Preservation Program and is empowered, and has, created rules of circumstance, and a framework for staff involvement including an administrative review and assistance structure.

2. How many properties does the Commission have purview over?

The city has over 850 registered local Landmarks of which over half are individual Landmarks outside of a registered local Historic District. Additionally, the City has four local Historic Districts, the Lakeshore Historic District, Ridge Historic District,

Northeast Historic District, and the Woman's Christian Temperance Union Historic District. Between the local Landmarks and properties within local Historic Districts, the Commission has purview over ~2,500 properties or just under 10% of properties within the City.

In addition to these, the Commission, primarily administered by staff, provides advisory review and assistance if requested to properties within the Federal only portion of the Northeast Historic District, and the Federal Oakton Historic District as well as provide Section 106 review and comments in consultation with the State Historic Preservation Office.

3. What were the Commission's objectives for achieving their mandate this past year?

The Commission's primary objective over the past two-years has been to diversify its role beyond resource management (case review), to be transparent and approachable, and to put more emphasis on education and outreach, technical assistance, and diversification of its composition and the resources it is charged with overseeing.

4. What major accomplishments did the Commission undertake to achieve those objectives?

The Commission embarked on an ambitious task to write a new long-range work plan, Preserve 2040. This document was developed in consultation with the Commission's private partner organizations, and resident volunteers, and charts an ambitious path for the Commission and more broadly the City's Preservation Program to follow for the next ~20 years. This document was adopted in December of 2022 and many initiatives are already underway including:

- **Initiative 2.4:** Work with the Planning and Zoning Division to amend the zoning code to include a section for adaptive use.
- **Initiative 2.8:** Work with the Economic Development Division to enact a Legacy Business Program.
- **Initiative 2.10:** Organize a Preservation Consortium or Preservation Advisory Sub-Committee.
- **Initiative 2.12:** Actively recruit future Commissioners with a focus on building a membership reflective of Evanston's diverse demographics.
- **Initiative 3.6:** Advocate for adoption of a citywide deconstruction ordinance.
- **Initiative 3.10:** Support the retention of significant landscape features which offer citywide environmental benefits including advocating for a citywide Tree Preservation Ordinance.

Additionally, the Commission re-surveyed the downtown area in an effort to identify contributing and Landmark eligible resources. This effort provides a significant planning tool capable of better informing and guiding decisions by other Boards, Committees, Commission's, and City Departments and agencies and can leverage

preservation-based economic development opportunities in the downtown. In total, the Commission surveyed a total of 40 supplemental resources in addition to the 143 surveyed by the Preservation Commission in 2007-2008.

- Of those 40 supplemental resources surveyed, 11 or 27.5% were identified as Landmark Eligible, bringing the total number of eligible resources in the downtown to 31 between the 2007 and 2022 surveys. The downtown has 29 registered Landmarks currently.
- Of the 40 properties surveyed, only 3 or 7.5% were identified as not contributing to the character of the downtown
- The majority of properties surveyed were identified as being in good condition (21), 9 were identified as being in excellent condition, 10 in fair condition, and 0 in poor condition.
- The majority of properties surveyed were identified as having good integrity (18), with 10 having excellent integrity, 9 having fair integrity, and 3 having poor integrity.

5. What are the Commission's current objectives for the upcoming year?

The Commission's primary objective for the upcoming year is to implement aspects of the Preserve 2040 Plan, expand education and advocacy efforts, continue to build capacity of partner organizations, actively recruit diverse Commission membership, and implement a more robust administrative review and subcommittee framework.

6. What is the Commission doing to achieve these objectives?

Many initiatives underway, especially those at the intersection of preservation, economic development, and climate resilience remain a priority. New initiatives selected for implementation that relate to Education and Advocacy efforts in the 2023 calendar year include:

- **Initiative 4.1:** Reinstate a quarterly preservation and design-oriented newsletter and make it available online and on social media.
- **Initiative 4.4:** Prepare a preservation training publication and offer one-on-one orientation for elected officials.

The Commission proposed additional changes to its Rules and Procedures to build capacity for implementation including creation of three subcommittees:

- Application Pre-Review Subcommittee
- Diversity, Equity, and Inclusion Subcommittee
- Education and Advocacy Subcommittee

Additionally, they propose a change to the Rules of Circumstance for Certificate of Appropriateness reviews to allow the Application Pre-Review Subcommittee to defer major work applications to staff under an administrative process utilizing the

same review standards. A preservation consortium continues to meet as needed (monthly) to discuss preservation issues and opportunities across Evanston and to coordinate implementation of certain initiatives. Members of the consortium include the Frances Willard House and Museum, the Shorefront Legacy Center, The Evanston History Center, the Preservation League of Evanston, and the Mitchell Museum.

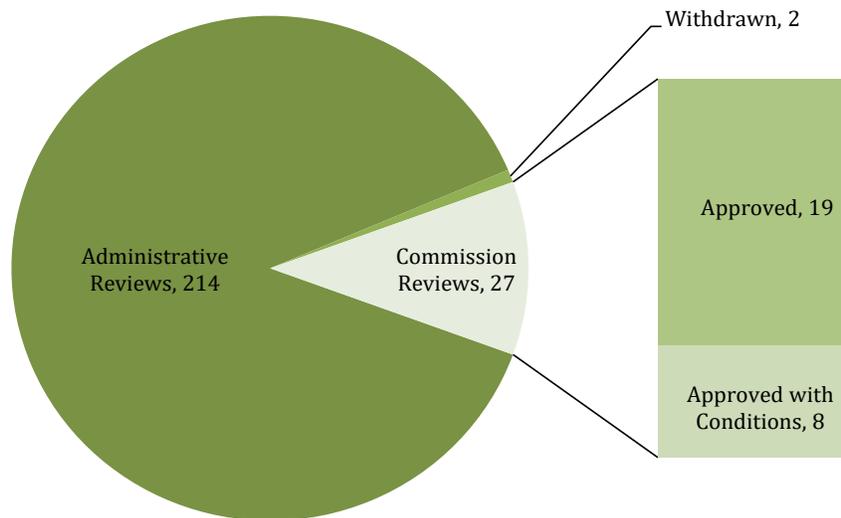
### **Evaluation**

1. How are the Commission's objectives and annual activities selected?  
Annual objectives and activities are selected by way of an Annual Work Plan which is based off the implementation matrix, implementation timeline, and priority levels outlined in the Preserve 2040 Long-Range Work Plan.
  
2. How often does the Commission evaluate its goals and performance?  
Annually
  
3. What is the Commission's evaluation of its performance in the following areas?
  - a. **The appropriateness of its purpose and mandate:** The Commission has an appropriate purpose, mandate, and powers and duties. However, since receiving binding design review roughly two decades ago, the capacity for the Commission to fulfill those duties which rest outside of resource management, have been limited. The current Commission has worked diligently to create additional capacity to perform these essential duties by way of more efficient Rules of Circumstance and administrative review processes, activation and coordination of partner organizations, and creation of new subcommittees and working groups. They have also worked to create a long-range vision for the City's Preservation Program, and created a realistic and forward-thinking framework for implementation of that vision by way of the Preserve 2040 Plan.
  
  - b. **Community needs to be filled by the Commission:** Many needs of the community relate to historic preservation, and the Commission has made significant strides in utilizing historic preservation as a tool to achieve the community's climate resilience and sustainability goals, as well as human-centered and preservation-based economic development. The Commission has also prioritized identification and registration of diverse community resources, particularly those of cultural and social significance, to have a more representative registry of protected resources which reflect the community as a whole. Additionally, the Commission seeks to diversify its membership to more closely reflect the demographics and perspectives of the community at-large, and to be more transparent in their processes and goals. These aforementioned needs by the Commission rest outside of the

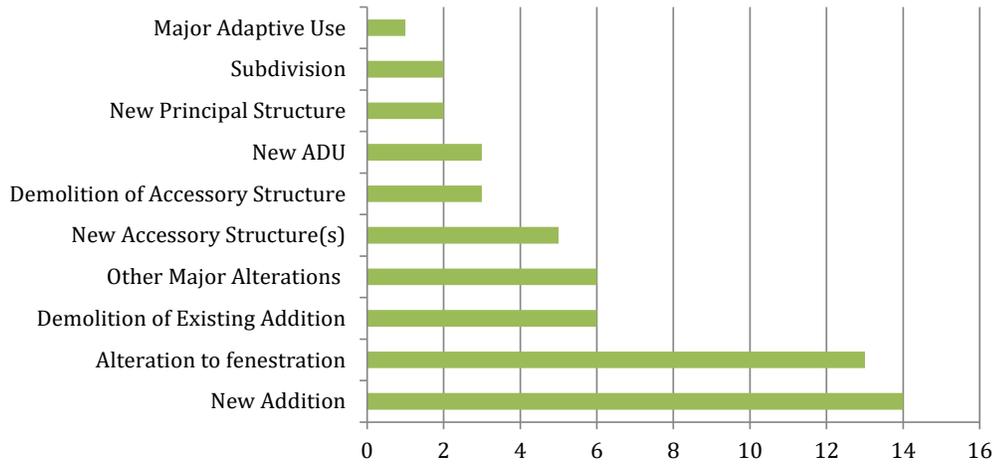
body's traditional resource management role, which it undertakes by efficiently processing requests for Certificate of Appropriateness while providing expert advice and technical assistance to applicants and homeowners whom come before the body. Recent (past year or two) modifications to the Commission's Rules of Circumstance and a subsequent increase in cases handled administratively have increased capacity at the Commission level and created a logical review framework homeowners and design professionals understood and were able to buy into. This has created additional buy-in for the program in whole and reduced overall burden, either perceived or real, for homeowners. The Commission has also created a significant vision and implementation plan that seeks to re-root itself as a working body that produces documents, reports, and other materials, and as a resource for the community and for homeowners of historic properties.

- c. Performance of the Commission's regulatory framework:** In the 2022 calendar year, 243 preservation reviews were conducted. This was up from 211 in 2021 but down from 334 in 2020. Of the 243 total cases, 29 (12%) were reviewed by the Commission. Of those reviewed by the Commission, eight (27.5%) were approved with conditions and 19 (65.5%) were approved as presented. Two cases withdrew, making the total number of cases approved or approved with conditions 27 (97%). No cases were denied and no cases were appealed to City Council in 2022.

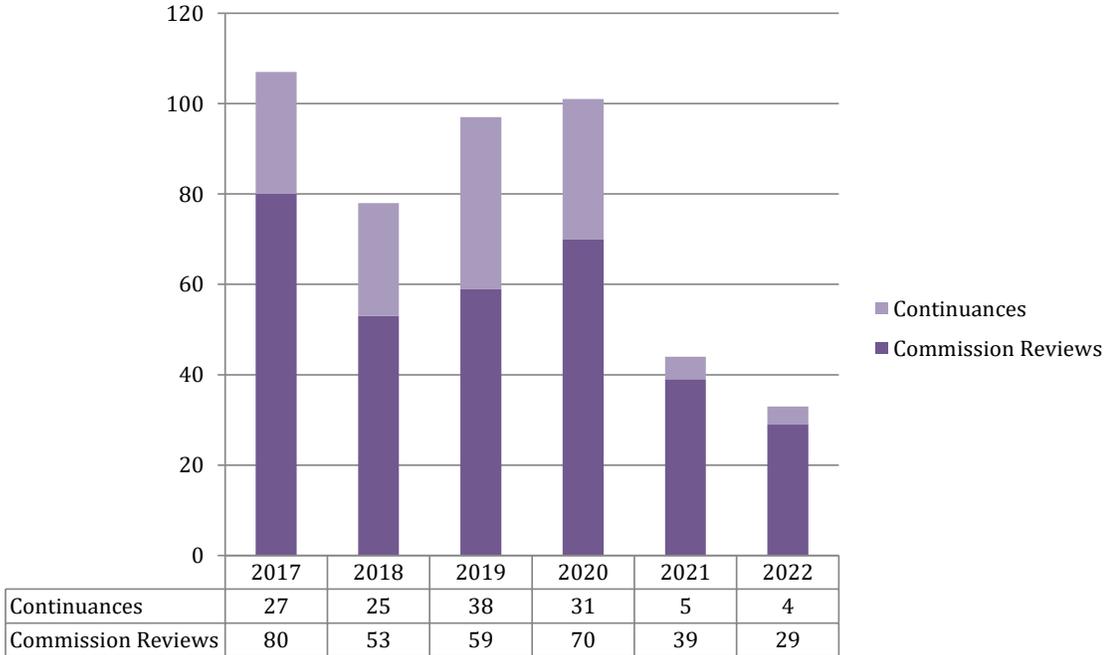
**2022 Commission Review Breakdown**



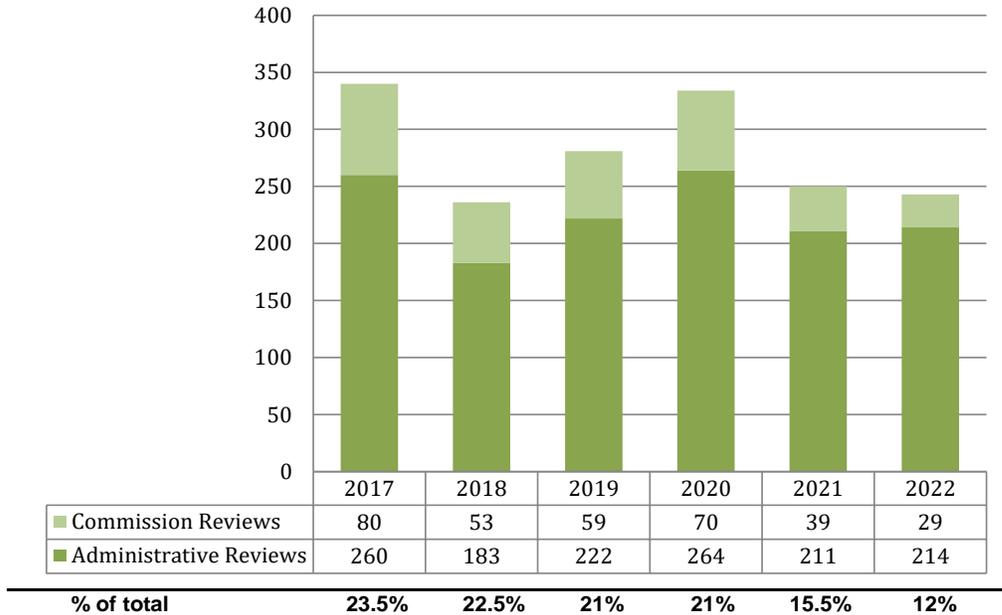
**2022 breakdown of types of work reviewed by the Commission**



**Year to Year Commission Case Review Comparison**



**Year to Year Overall Case Review Comparison**



**Common Standards of Concern**

Of the standards applied by the Commission, the following were frequently used as a means to vote against, apply conditions, or request modifications to proposals.

**Standards for Alteration:**

**2.** The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.

**5.** Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.

**6.** Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities.

**Standards for Construction:**

2. Proportion of facades. The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. Rhythm of solids to voids in facades. The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

6. Rhythm of entrance porches, storefront recesses and other projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. Relationship of materials and texture. The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

- d. **Staff performance:** Staff performance is reviewed by the Planning Manager by way of annual performance reviews.
- e. **Adequacy of public participation:** In 2022 staff fielded nearly 400 requests for technical assistance by design professionals, contractors, or homeowners. The Commission received 40 written comments for inclusion in the record, and 13 residents provided testimony in-person. The Commission would like to find ways to increase engagement with the public, and believes they have outlined specific initiatives to do so in the future as capacity allows. The Commission should be seen and used as a community resource.

The Commission met for 25 hours and 39 minutes between the 11 regularly scheduled meetings, and an additional 22 hours between subcommittee and working group meetings in 2022.

- f. **Coordination with City Council, other Boards, Committees, Commission's, and City departments and agencies:** Throughout the past year, the Commission has made significant efforts to support initiatives by City Council and other Boards and Commission's that intersect with the Commission's goals, objectives, and expertise. Examples include recent collaboration with the

sustainability team, the Environment Board, and participating on the Legacy Business Working Group. The Commission believes strongly that historic preservation is an underleveraged tool for meeting the City's climate action and economic development goals.

- g. Need for new goals, objectives and activities:** There are no immediate needs for new goals, objectives, or activities outside of those identified in the Preserve 2040 Plan.

### **Outlook**

What concerns of the Commission should be brought to the City Council's attention?

1. Commissioner recruitment and limited volunteer capital in the community remains a concern, especially recruitment of a more diverse Commission membership. Opportunities to expand volunteer capital and availability of potential Commissioners exist and include:
  - a. Allowing former Commissioners to serve again after a period of absence
  - b. Opening membership to those who do not live in Evanston, but work in Evanston.
  - c. Allowing the Commission to appoint associate Commissioners as non-voting members who don't sit at the dais but can populate subcommittees and working groups to accomplish initiatives outlined in the 2040 Work Plan.
2. The lack of incentives including small grants, loans, or building permit fee waivers impacts the ability for vernacular landmarks and vernacular homes in historic districts to propose appropriate alterations where these improvements constitute a much higher percentage of the homes total value.
3. Regarding the Landmark nomination process, the Commission should be afforded the opportunity to present their report to the Planning and Development Committee by way of in-person testimony.
4. The ordinance does not easily facilitate the Commission's desire to advance diversity, equity, and inclusion goals by registering more culturally and socially significant resources or to pursue Conservation Districts at a neighborhood or business district level.
5. Historic preservation, and the expertise and work of the Commission remains an underleveraged tool for the City Council to achieve their sustainability and economic development goals and objectives.

**Membership List**  
(for the 2022 calendar year)

**Total Meetings: 11**

<b>Member</b>	<b>Term Expires</b>	<b>Meetings Attended</b>	<b>Meetings Absent</b>
Beth Bodan, Secretary*	November 2025	9	2
Stuart Cohen, Vice Chair	December 2023	9	2
Sarah M. Dreller	April 2024	7	4
John Jacobs	April 2024	11	0
Carl Klein	January 2025	11	0
Jamie Morris*	September 2023	8	3
Suzi Reinhold, Chair*	September 2023	11	0
Mark Simon*	December 2022	10	1
Aleca Sullivan*	May 2025	7	4
Amanda Ziehm**	June 2025	7	0
* Second Term			
** Term started in June 2022			