



AGENDA
Preservation Commission
Tuesday, April 11, 2023
Lorraine H. Morton Civic Center 7:00 PM
Room 2800, 2nd Floor City Council Chambers

Page

1. CALL TO ORDER/DECLARATION OF A QUORUM

2. PUBLIC COMMENT

A. Public Comment

At this time members of the public will have three (3) minutes per person to state comments on items listed under "**Discussion**" below.

For cases listed under **Old Business** and **New Business** below, the public will have three (3) minutes per person to state comments after the applicant's presentation and the Commission's question/answer period. The Commission's presiding Officer has the discretion to grant additional time for comment if necessary.

3. NEW BUSINESS

A. 2146 Asbury Avenue (Landmark) – 23PRES-0046

4 - 41

Zafiro Papastratakos, applicant, submit for a Certificate of Appropriateness to replace 33 existing windows with Pella or Marvin Architecture Series clad wood windows and aluminum screens to match the style and look of the original windows. Four (4) windows and one (1) rear door will be demolished, and two (2) rear doors and five (5) windows added. The original wood front door and screen will remain.

Existing windows and rear doors will be replaced to meet egress requirements (basement and second floor). Exterior wood stairs at the rear rise from the ground to the first and second stories.

Applicable Standards: Alteration [1-10]; Construction [1, 6, 7, 10, 12, and 15]

[1. Staff Report](#)

[2. COA Application](#)

[3. COA Drawings](#)

[4. Plat of Survey](#)

[5. Zoning Analysis Summary Compliant](#)

[6. Statement of Significance & Inventory](#)

4. APPROVAL OF MEETING MINUTES

Minutes of March 14, 2023

[20230314 HPC Minutes DRAFT](#)

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5. DISCUSSION (NO VOTE WILL BE TAKEN)

A. Draft Heritage Design Manual Update

City staff will provide an update on the status of the draft Heritage Resource Design Manual, and the timeline for its completion.

B. Preservation Commission Subcommittees

Commissioners shall volunteer to serve on the following Committees:

- Application Pre-Review (rotating committee)
- Education and Advocacy
- Diversity, Equity, and Inclusion

6. REPORTS OF COMMITTEES AND CITY STAFF

A. Preservation Commission Annual Report

Update from staff on presentation of the annual report to the Planning and Development Committee

B. Harley Lyman Clarke Mansion

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Update from staff on development of a letter from the Commission to the Mayor and City Manager.

[Harley Clarke Memo DRAFT](#)

7. ADJOURNMENT

Order & Agenda Items are subject to change. Information about the Preservation Commission is available at: Preservation Commission Questions can be directed to Carlos Ruiz at 847-448-8687 or at cruiz@cityofevanston.org The city is committed to ensuring accessibility for all citizens; if an accommodation is needed to participate in this meeting, please contact the Planning and Zoning Division at (847-448-8687) 48 hours in advance so that arrangements can be made for the accommodation if possible. **Español** - La ciudad de Evanston tiene la obligación de hacer accesibles todas las reuniones públicas a las personas minusválidas o a quienes no hablan inglés. Si usted necesita ayuda, favor contacte a Carlos D. Ruiz de la Oficina de Planificación y Zonificación llamando al (847/448-8687) o cruiz@cityofevanston.org con 48 horas de anticipación para acomodar su pedido en lo posible



STAFF REPORT

To: Members of the Preservation Commission
From: Carlos D. Ruiz, Planner
Subject: 2146 Asbury Avenue – 23PRES-0046
Date: April 5, 2023

Public Notice

2146 Asbury Avenue - Landmark - Case #23PRES-0046

Zafiro Papastratakos, applicant, submit for a Certificate of Appropriateness to:

- Replace 33 existing windows with Pella or Marvin Architecture Series clad wood windows and aluminum screens to match the style and look of the original windows.
- Four (4) windows and one (1) rear door will be removed, and two (2) rear doors and five (5) windows added.
- The original wood front door and screen will remain.
- Install new exterior wood stairs at the rear that rise from the ground to the first and second stories.

Applicable Standards: Alteration [1-10]; Construction [1, 6, 7, 10, 12, and 15]; Demolition [1-6]

Construction Period:

Circa 1885

Style:

Vernacular cottage farmhouse

Architect of Record:

N/A

Condition:

Good

Integrity:

Good. The integrity of the house was listed as 'Excellent' in the 2015 Inventory of Landmarks outside the Historic districts. However, a majority of the wood windows have been replaced with vinyl windows

Status:

Landmark

Setting:

2146 Asbury Avenue is located on the west side of Asbury Avenue, two houses north of Leonard Place and one house south from the alley to the north. The house sits comfortably among two houses to the south and one house to the north. The four houses on this short segment of the 2100 block of Asbury Avenue are located on legal non-conforming small lots.

The house is flanked by one late 19th Century and two early 20th Century houses. From south to north:

- 2142 Asbury Avenue, Evanston landmark. Built circa 1885. A one and a half story Vernacular wood frame farmhouse, finished in narrow clapboard wood siding. The front façade has a covered porch with 3 columns holding a hip roof. The front porch has wood railings and wood stairs flanked with wood railings on either side. The main roof is a gable intersected by twin gables. The upper half story, below the gable is wood scallop siding, followed by a wood horizontal band, and a pair of double hung windows below it.
- 2144 Asbury Avenue. Built in 1919. A one and a half story Bungalow style brick house. The front façade exhibits a curved bay with five double hung windows with 6/1 divided lights, and three basement windows below. The main roof is a series of hip roofs. A front dormer above the front bay has a pair of casement windows with nine divided lights. The front covered porch has a square column holding a flat roof. The front porch has wood railings and wood stairs with wood railings on either side.
- 2148 Asbury Avenue. Built in 1929. A one and a half story Bungalow style brick house. The front façade exhibits a curved bay with five double hung windows with 3/1 divided lights, and an arched basement window below. The covered open porch has an arched with a brick column to the side. The front concrete stairs are flanked by brick sidewalls capped with stone. The main roof is a gable with a jerkinhead roof in front. Below the jerkinhead roof are two double hung windows with 3/1 divided lights

Significance:

2146 Asbury Avenue is significant because it is a good representation of the Vernacular cottage farmhouse style, once a building type prevalent throughout Evanston, and because of its proximity to its identical sister house at 2142 Asbury Avenue, also an Evanston landmark.

Architect:

N/A

House:

The house at 2146 Asbury Avenue, an Evanston landmark, is a one story and a half wood frame Vernacular cottage farmhouse built in 1885. The house is finished in wood clapboard narrow siding. The covered open front porch has a hip roof, and a wood balustrade. Three square wood columns hold the front porch roof. The front steps are also

wood and are flanked by wood railings. The main roof is a gable intersected by twin gables. The upper half story below the gable is finished with wood scallops, followed by a wood band and a pair of double hung windows. A majority of the original windows have been replaced over time with double hung vinyl windows.

The Statement of Significance highlights that the house is distinguished because of its simplicity and fine proportions.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Demolition

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.
2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.

3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
6. Rhythm of entrance porches, storefront recesses and other projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Demolition

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.

2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.

3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.

4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

Application for Preservation Review of Certificate of Appropriateness (COA)



Window & DOOR Replacement

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts; when a permit is required and when visible from the public street or the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) **pdf format copy** of the fully completed application
- plat of survey
- interior and exterior photos of existing windows documenting current condition
- if replacing original or historic wood windows, provide information on viability of restoration
- site plan with location of new or altered windows/doors identified
- elevation drawings or photos of impacted elevations with location of new or altered windows/doors identified
- floor plans (not required but highly recommended)
- elevation and detail drawings of the existing and proposed windows/doors (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project. Dates are listed in the document below.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page 'i' fifth below].

1) Property Address: 2146 Asbury	FOR STAFF USE ONLY Application Number:
2) Owner's Name: David Gilijohann	Address:
City: Evanston State: IL Zip: 60201	Phone: (847) 708-7907 Email/Fax: davidg@exicuretx.com
3) Architect's Name:	Address:
City: State: Zip: Phone: Email/Fax:	
4) Contractor's Name:	Address:
City: State: Zip: Phone: Email/Fax:	
5) Landmark: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No; If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	

SECTION B. Checklist for Window/DOOR Materials/Style/Components/Features—Check all that apply.

Existing	Proposed	FRONT FACADE	Existing	Proposed	SIDE FAÇADE (L/R)	Existing	Proposed	REAR FACADE
		Window Type			Window Type			Window Type
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Double Hung	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Double Hung	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Double Hung
<input type="checkbox"/>	<input type="checkbox"/>	Casement	<input type="checkbox"/>	<input type="checkbox"/>	Casement	<input type="checkbox"/>	<input type="checkbox"/>	Casement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Awning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Awning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Awning
<input type="checkbox"/>	<input type="checkbox"/>	Hopper	<input type="checkbox"/>	<input type="checkbox"/>	Hopper	<input type="checkbox"/>	<input type="checkbox"/>	Hopper
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		Window Material			Window Material			Window Material
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum
<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	Steel
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Clad wood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Clad wood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Clad wood
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vinyl	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vinyl	<input type="checkbox"/>	<input type="checkbox"/>	Vinyl
<input type="checkbox"/>	<input type="checkbox"/>	Composite	<input type="checkbox"/>	<input type="checkbox"/>	Composite	<input type="checkbox"/>	<input type="checkbox"/>	Composite
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		Window Muntins			Window Muntins			Window Muntins
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing
<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input checked="" type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input checked="" type="checkbox"/>	<input type="checkbox"/>	True divided lights screen only
<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		DOOR Type			DOOR Type			DOOR Type
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Single	<input type="checkbox"/>	<input type="checkbox"/>	Single	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Single
<input type="checkbox"/>	<input type="checkbox"/>	French	<input type="checkbox"/>	<input type="checkbox"/>	French	<input type="checkbox"/>	<input type="checkbox"/>	French
<input type="checkbox"/>	<input type="checkbox"/>	Sliding	<input type="checkbox"/>	<input type="checkbox"/>	Sliding	<input type="checkbox"/>	<input type="checkbox"/>	Sliding
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		DOOR Material			DOOR Material			DOOR Material
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Metal
<input type="checkbox"/>	<input type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>	Clad	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Clad
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:
		DOOR Muntins			DOOR Muntins			DOOR Muntins
<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	Not existing
<input checked="" type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input checked="" type="checkbox"/>	<input type="checkbox"/>	True divided lights
<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Grid Screen only	<input type="checkbox"/>	<input type="checkbox"/>	Grid	<input type="checkbox"/>	<input type="checkbox"/>	Grid
<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>	Other:

Section C: Application for Certificate of Appropriateness

1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

The proposed renovations include replacing 33 existing windows with Pella or Marvin Architecture Series clad wood windows and aluminum screens to match the style and look of the original windows. 4 windows + 1 rear door will be demolished, 2 rear doors + 5 windows added. Original wood front door and screen will remain, as will the only salvagable windows on the front and side facades. Interior renovations to convert the 2-unit to a 3-unit residence account for changes to the window and rear facade door openings. Where the existing window locations remain, the units often suffer from years of neglect and are either beyond repair or the significant (60-75%), component reconstruction required is cost prohibitive.

Existing windows and rear doors will be replaced because the existing does not meet current egress requirements (basement and 2nd floor), and have serious moisture and condensation issues that degrade the health of the building as well as its inhabitants. See attached letter.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Windows <input checked="" type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> DOORs <input checked="" type="checkbox"/> Storm DOORs	<input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

New Replacement Restoration
 Window Style/Materials: wood and vinyl windows replaced with clad wood
 DOOR Style/Materials: Original wood front door to remain
 Storm Window Style/Materials: no new storm windows, 2 existing wood to remain
 Storm DOOR Style/Materials: Original front wood door + wood storm door to remain

3) Applicant's Signature: _____ Print Name: Zafiro Papastratakos	Date: 3/21/23
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NOTE: The deadline for submission of Certificate of Appropriateness applications is **no less than 15 business days** before the next scheduled Preservation Commission meeting. The Preservation Commission meets on the **second Tuesday** of each month (except when marked with *). However, both dates are subject to change. Be prepared to give a brief overview of your project (10 minutes or less) and present any information that would enhance your application (e.g., photos, letters of support from neighbors, scale models, samples of proposed materials seeking to replicate existing materials, etc.).

April 11 meeting, submit by March 21

Carlos Ruiz, City Planner
City of Evanston
2100 Ridge Ave.
Evanston, IL 60201

April 04, 2023

Re: 2146 Asbury Ave., Evanston, IL
Certificate of Appropriateness Review- Window + Door Replacement

Dear Carlos,

We propose the replacement of windows and rear doors at the above referenced residence. Our purpose is to maintain original architectural elements whenever possible and replicate as closely as possible the original look of those elements that require replacement. Interior renovations to convert the 2-unit residence to a 3-unit residence account for the minimal changes to the window and door openings on the rear facade and at the basement level, which will not change the front facade fenestrations visible from the street. As an owner of multiple historic landmarks in Evanston, the homeowner will renovate this home with great sensitivity to preserving its historical character. When the project is complete, the home will reflect its original look more closely than it currently does.

The Evanston Landmark Gable-Front Cottage residence was built in 1909 and is currently the tallest and largest scaled home on the street. All but one of the original front facade windows were previously replaced with vinyl windows and aluminum screens. Similarly, many vinyl windows and most of the screens on the remaining facades were also replaced with the same flimsy materials, reducing the historical look of the home. These existing triple-track, aluminum storm windows degrade the appearance of the facade with their lack of thickness and detail.

Our objective is to return the character of the facade closer to the original construction and preserve the existing cedar siding and trim. While almost all of the existing window locations will remain exactly as they are, years of unfortunate neglect have rendered the windows either beyond repair or the significant wood component replacement required for restoration (60-75%), would be cost prohibitive. Windows that appeared whole revealed severe rot when we removed them to investigate the potential for restoration. In all cases, the replacement windows match the original composition, style, and sizes and are clad wood Pella Architectural Series or the closest match that Marvin provides to the historical profile of the originals (depending upon availability).

Original architectural elements visible on the front facade, such as the original wood window Type B, front wood door and wood storm door will remain. These architectural features were protected by the porch roof, which was not the case with other windows that will require replacement. We will replace the remaining front facade windows with clad wood windows to match the composition, style, and size of the originals to restore the home to its original appearance to the greatest extent possible. The only window that will be removed on this facade is a basement window that is not visible from the street because it is under the front porch and behind a wood slat skirt that covers the area from the floor of the front porch to grade.

On the south side facade, the only original windows that are visible from the street are Type C, which will remain as their condition permits restoration. The north side facade of the home is not visible from the street because the adjacent home, which is closer to the street, blocks most of it from view. The only two windows to be removed on this facade are not visible from any right of way (R.O.W.), and all other windows on the first and second floor will be replaced in their exact locations. All material that is removed will be salvaged to patch siding as required and to use the trim in new fenestrations. In all cases, fenestrations that have been removed will be filled in with wall material to match the existing construction and exterior siding. The basement windows will be replaced with the required egress windows that match the operation (double-hung), style, composition, and profile of the originals. Trim on all replacement windows will match the existing.

The only visible portion of the west (rear), facade from any R.O.W. is the upper story because the surrounding homes block sight-lines to lower portions. In order to accommodate current code egress requirements for the multi-family home, a new code compliant exit is required and is designed to be in keeping with the scale and style of the existing structure. The proposed wood stair on the rear of the home, which is the largest on the block, will be painted to match the existing color scheme. Every effort will be made to replicate the existing rear door with the required 90 minute fire rated egress doors. Windows which were removed from the lower stories are not visible from the R.O.W. and the replacements are in locations and rhythms typical of the cottage style (directly under the peak of the gable, one below the other, windows in pairs).

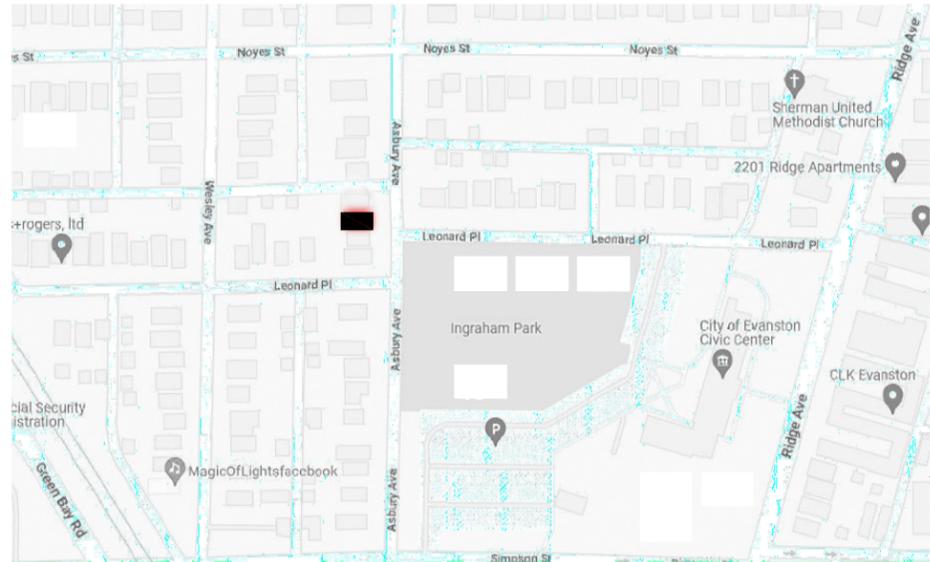
Double windows, some original and others replaced, exist on the first and second floors. Where new windows in the basement were required for current egress standards, (Type K), we designed double units to repeat the existing architectural language and rhythm of windows that on the floors above (Types C and O). The new windows and doors, which will provide significantly higher energy efficiency, will improve the health of the building and its inhabitants due to their superior moisture and condensation performance.

Feel free to reach out with any questions you may have.

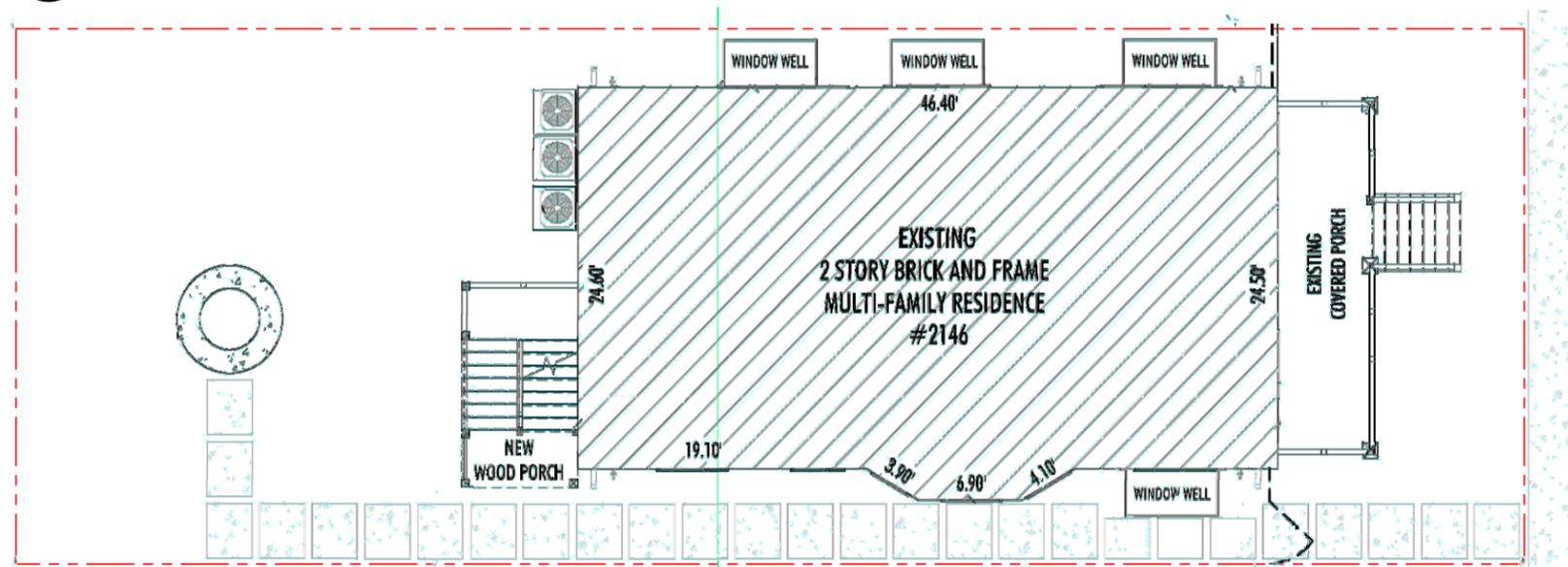
Respectfully,
Zafiro Papastratakos

DRAWING INDEX

- A1.0 TITLE SHEET + WINDOW SCHEDULE
- A2.0 PROPOSED FLOOR PLANS
- A3.0 EAST FACADE PHOTO + ELEVATION
- A3.1 SOUTH FACADE PHOTO + ELEVATION
- A3.2 WEST FACADE PHOTO + ELEVATION
- A3.2 NORTH FACADE PHOTO + ELEVATION
- A4.0 WINDOW DETAILS ALL OTHERS
- A4.1 WINDOW DETAILS B + C
- A4.2 WINDOW DETAILS M + K
- A5.0 PHOTOS: WINDOWS A, B, C
- A5.1 PHOTOS: WINDOWS D, E, F
- A5.2 PHOTOS: WINDOWS G1-G3, H, O1-O2
- A5.3 PHOTOS: WINDOWS M1 + M2
- A5.4 PHOTOS: WINDOWS M3, M5 + M6
- A5.5 PHOTOS: WINDOWS M8, M10 + M13
- A5.6 PHOTOS: WINDOWS O3-O6
- A5.7 PHOTOS: WINDOWS Q + S
- A5.8 PHOTOS: WINDOWS R, T, Z
- A5.8 PHOTOS: FRONT DOOR + SCREEN



1 CONTEXT PLAN
GRAPHIC SCALE: NTS



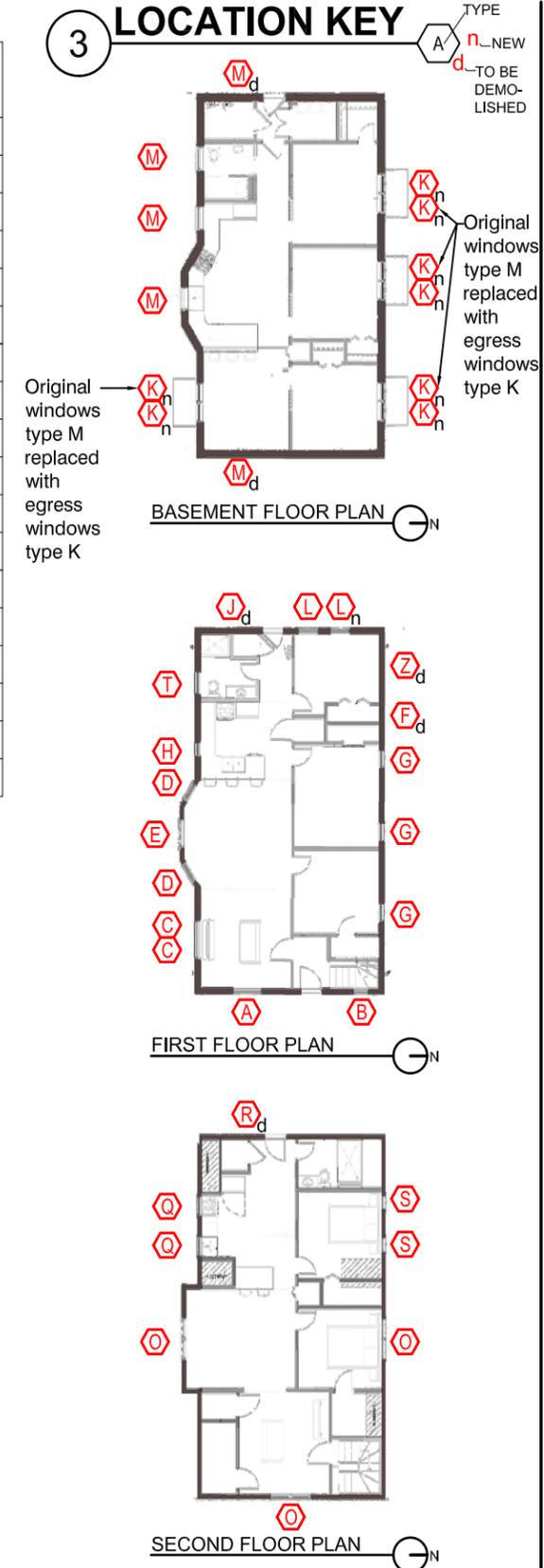
2 SITE PLAN
GRAPHIC SCALE: NTS

WINDOW SIZE CHART

WINDOW TYPE	QTY **	SIZE		OPERATION	FLOOR	DEMO NEW EXIST.
		OVERALL OPENING	SASHES			
A	1	47.50 x 65.50	not original	Double Hung	1	e
B	1	28 x 32	23.50 x 27.50	Fixed	1	e*
C	2	28.25 x 28.25	23.50 x 23.50	Awning	1	e*
D	2	30 x 65.50	not original	Double Hung	1	e
E	1	44.50 x 65.50	not original	Double Hung	1	e
F	1	24 x 57.50	not original	Double Hung	1	d
G	3	32.00 X 65.50	27.50 x 29.50	Double Hung	1	e
H	1	28.25 x 58	not original	Double Hung	2	e
J	0	36 x 61.5	not original	Double Hung	2	d
K	8	30 x 48	new	Double Hung	B	n
L	2	31.75 X 61.50	27.50 x 27.50	Double Hung	1	e
M	3	36.00 x 24.75	9.50 x 19.50	Awning	B	e
O	6	30.25 x 61.5	25.50 x 27.50	Double Hung	2	e
Q	2	36.25 x 47.50	25.50 x 19.50	Double Hung	2	e
R	0	36.25 x 62.00	25.5 x 27.5	Double Hung	2	d
S	2	24.25 x 47.50	19.50 x 19.50	Double Hung	2	e
T	1	36.00 x 61.50	31.50 x 27.50	Double Hung	1	e
Z	0	28.25 x 45.75	23.50 x 19.50	Double Hung	1-2	d

* existing, original wood window to remain
** reflects number of replacement or new windows

3 LOCATION KEY



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E ztpstudio@gmail.com
Zafiro Papastratakos

PROJECT:

WINDOW REPLACEMENT
2146 Asbury Ave.
Evanston, IL 60201

CONTRACTOR:

OWNER:

DAVID GILJOHANN
2146 Asbury Ave.
Evanston, IL 60201

ISSUE/REVISION:

DATE:	ISSUED FOR:
03/21/23	COA application

DRAWING NAME:

TITLE SHEET + WINDOW SCHEDULE

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305

DRAWING NUMBER:

A1.0

DRAWING LEGEND:

- A—WINDOW TYPE
- 1—WINDOW NUMBER
- e—EXISTING
- e/n—EXISTING, NOT ORIGINAL
- n—NEW
- d—EXISTING, TO BE DEMOLISHED



1 Basement Floor Plan
GRAPHIC SCALE: NTS

2 1st FLOOR PLAN
GRAPHIC SCALE: NTS

3 2nd FLOOR PLAN
GRAPHIC SCALE: NTS

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2146 Asbury Ave.
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Evanston, IL 60201

DRAWING INDEX
SEE SHEET A1.0

ISSUE/REVISION:
DATE: ISSUED FOR:
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DRAWING NAME:

PROPOSED FLOOR PLANS

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305
DRAWING NUMBER:

A2.0

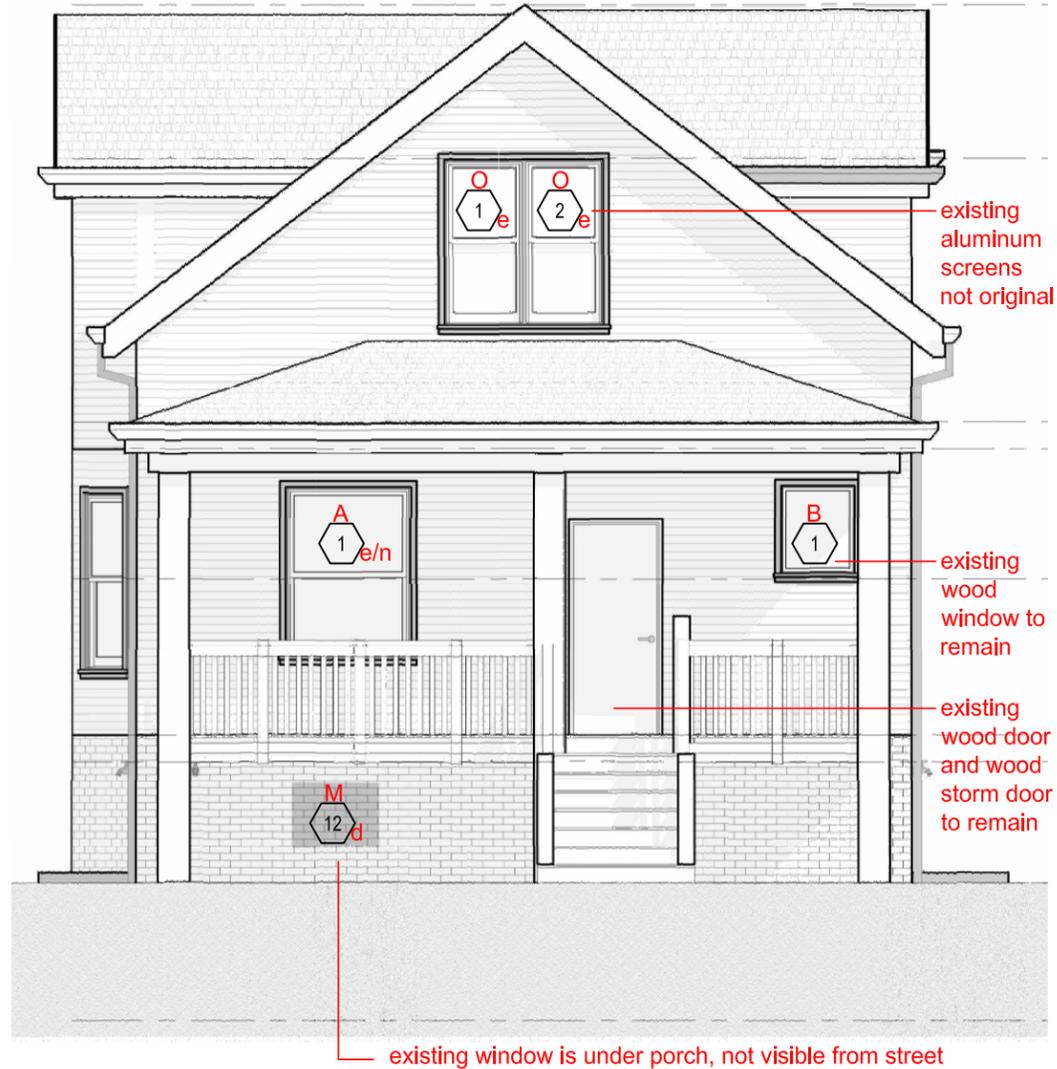
DRAWING LEGEND:

- A—WINDOW TYPE
- 1—WINDOW NUMBER
- e—EXISTING
- e/n—EXISTING, NOT ORIGINAL
- n—NEW
- d—EXISTING, TO BE DEMOLISHED

NOTE:
 All screens on floors 1 + 2 are not original. Only window Type B appears original from street view and will be preserved.



1 EAST FACADE PHOTO



2 PROPOSED EAST ELEVATION

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CONTRACTOR:

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DRAWING INDEX
 SEE SHEET A1.0

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 DATE: ISSUED FOR:
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DRAWING NAME:
EXISTING EAST FACADE PHOTO + ELEVATION
 DRAWN & CHECKED BY: ZP
 PROJECT NO: 2305
 DRAWING NUMBER:

A3.0

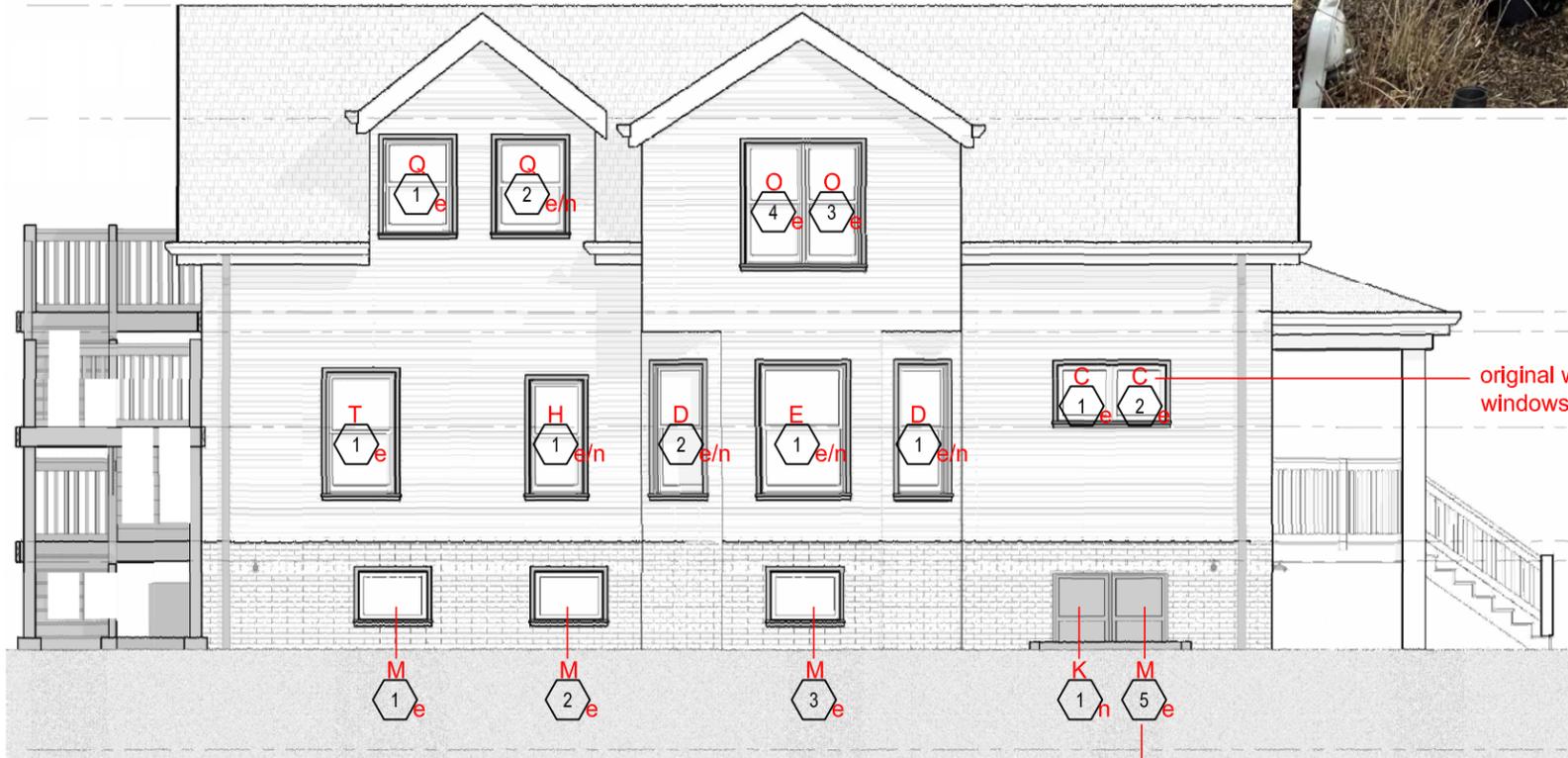
DRAWING LEGEND:

- A—WINDOW TYPE
- 1—WINDOW NUMBER
- e—EXISTING
- e/n—EXISTING, NOT ORIGINAL
- n—NEW
- d—EXISTING, TO BE DEMOLISHED

NOTE:
On Floors 1+2, the only windows that appear original are Type C, which will be preserved.



1 SOUTH FACADE PHOTO



2 PROPOSED SOUTH ELEVATION

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PROJECT:
WINDOW REPLACEMENT
2146 Asbury Ave.
Evanston, IL 60201

CONTRACTOR:

OWNER:
DAVID GILJOHANN
2146 Asbury Ave.
Evanston, IL 60201

DRAWING INDEX
SEE SHEET A1.0

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DATE: ISSUED FOR:
03/21/23 COA application

DRAWING NAME:
EXISTING SOUTH FACADE PHOTO + ELEVATION

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305
DRAWING NUMBER:

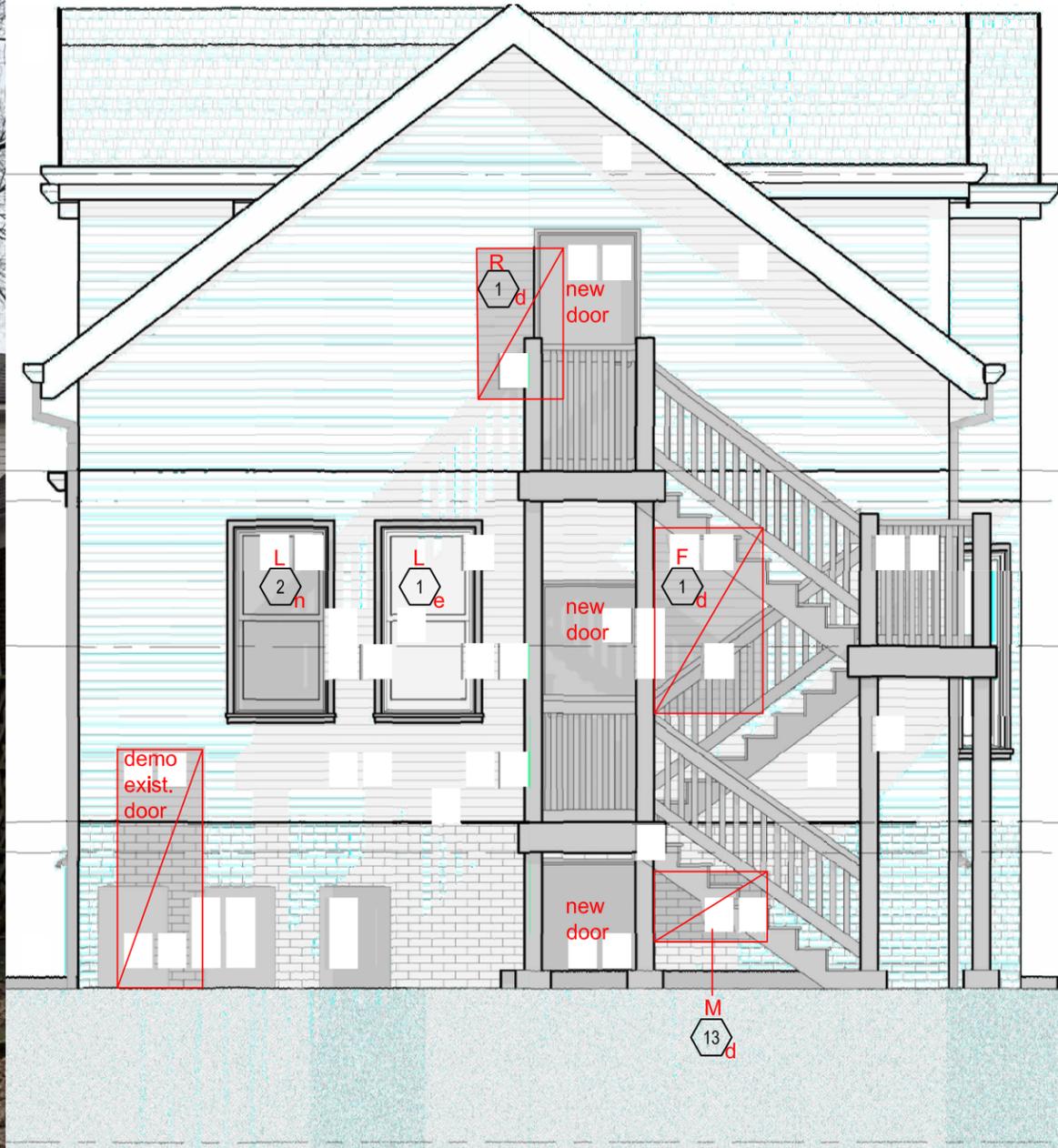
A3.1



1 WEST FACADE PHOTO

DRAWING LEGEND:

- A—WINDOW TYPE
- 1—WINDOW NUMBER
- e—EXISTING
- e/n—EXISTING, NOT ORIGINAL
- n—NEW
- d—EXISTING, TO BE DEMOLISHED



2 PROPOSED WEST ELEVATION

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WINDOW
 REPLACEMENT
 2146 Asbury Ave.
 Evanston, IL 60201

CONTRACTOR:

OWNER:

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 2146 Asbury Ave.
 Evanston, IL 60201

DRAWING INDEX

SEE SHEET A1.0

ISSUE/REVISION:

DATE:	ISSUED FOR:
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DRAWING NAME:

**EXISTING
 WEST FACADE
 PHOTO + ELEVATION**

DRAWN & CHECKED BY: ZP
 PROJECT NO: 2305

DRAWING NUMBER:

A3.2



1 NORTH FACADE PHOTO

DRAWING LEGEND:

- A—WINDOW TYPE
- 1—WINDOW NUMBER
- e—EXISTING
- e/n—EXISTING, NOT ORIGINAL
- n—NEW
- d—EXISTING, TO BE DEMOLISHED



2 PROPOSED NORTH ELEVATION

Note: Basement typical egress well: existing window type M to be replaced with egress window type K. Double window style matches architectural rhythm of windows on upper stories (type O)

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WINDOW REPLACEMENT
 2146 Asbury Ave.
 Evanston, IL 60201

CONTRACTOR:

OWNER:
DAVID GILJOHANN
 2146 Asbury Ave.
 Evanston, IL 60201

DRAWING INDEX

SEE SHEET A1.0

ISSUE/REVISION:

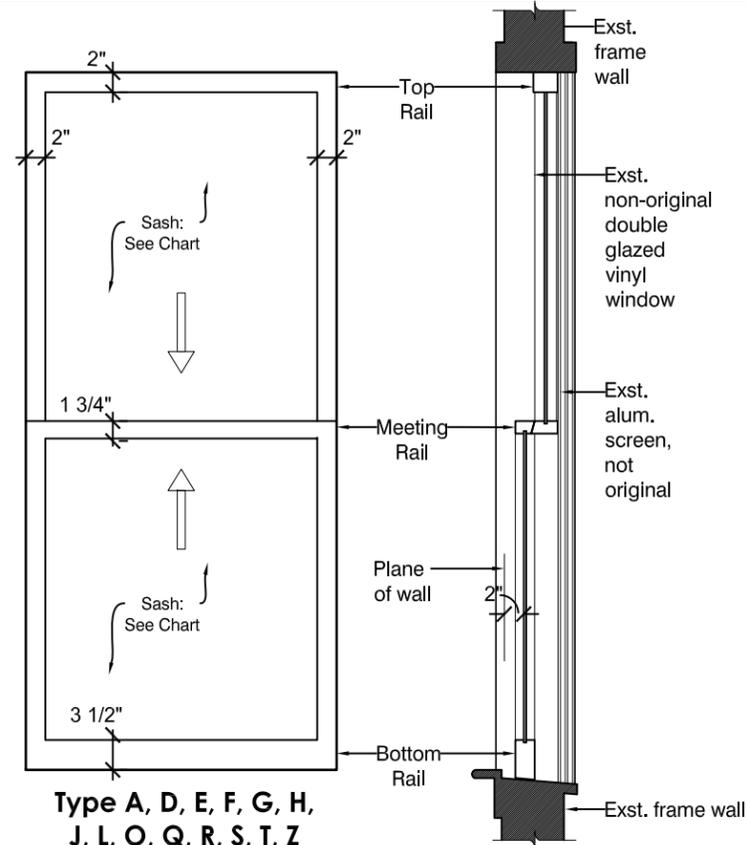
DATE:	ISSUED FOR:
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DRAWING NAME:
EXISTING NORTH FACADE PHOTO + ELEVATION

DRAWN & CHECKED BY: ZP
 PROJECT NO: 2305

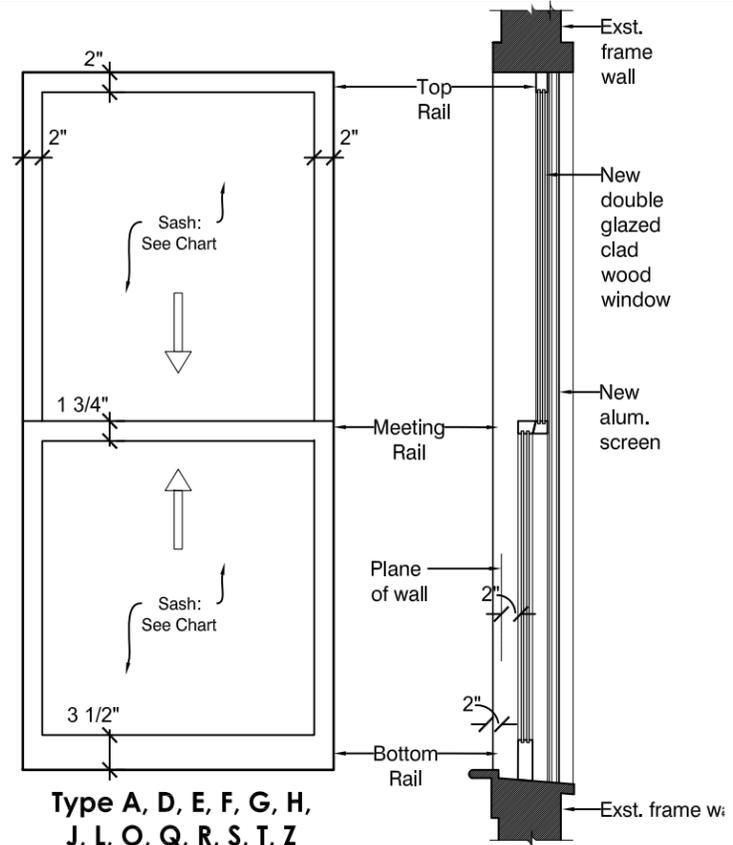
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A3.3



Type A, D, E, F, G, H, J, L, O, Q, R, S, T, Z

1 EXISTING ELEVATION

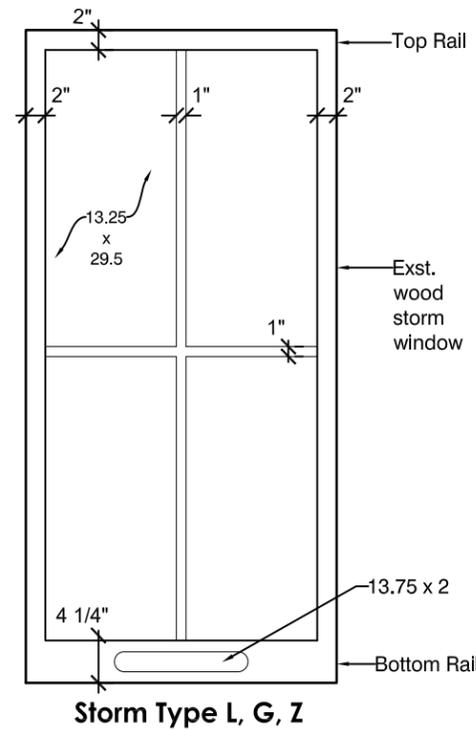


Type A, D, E, F, G, H, J, L, O, Q, R, S, T, Z

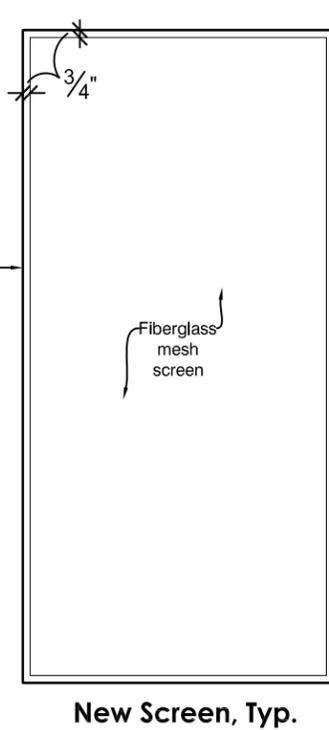
4 NEW ELEVATION

2 EXISTING SECTION

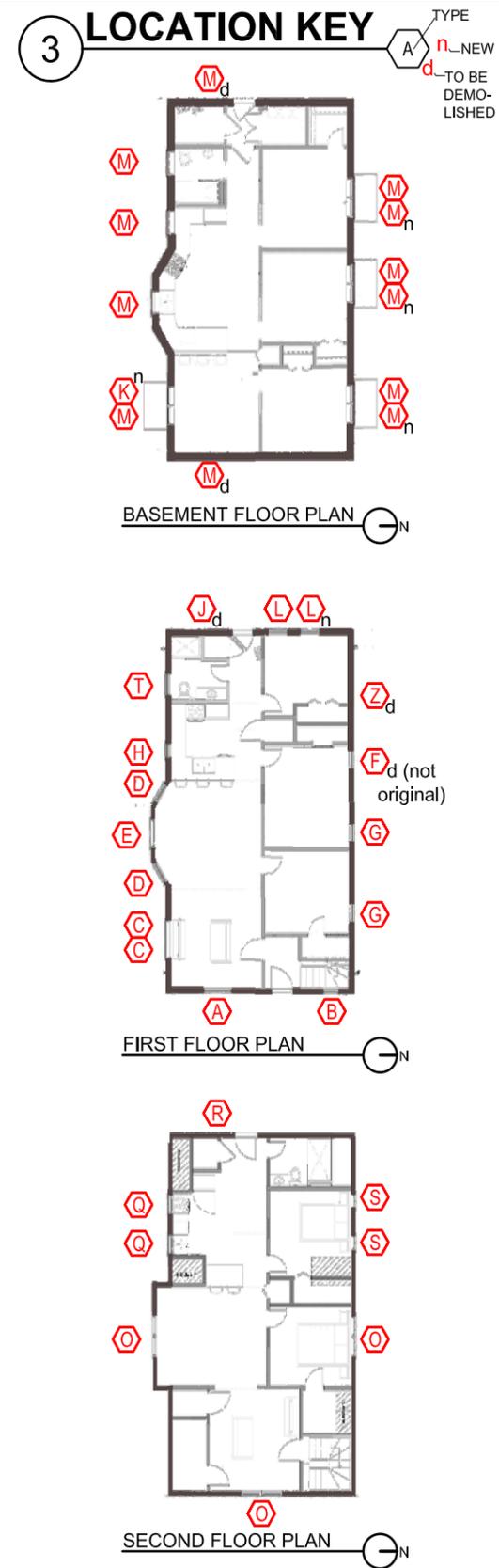
5 NEW SECTION



Storm Type L, G, Z



New Screen, Typ.



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WINDOW REPLACEMENT
 2146 Asbury Ave.
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CONTRACTOR:
CONTRACTOR COMPANY NAME

0000 Street Name
 City, IL 6XXXX
 xxx.XXX.xxxxx

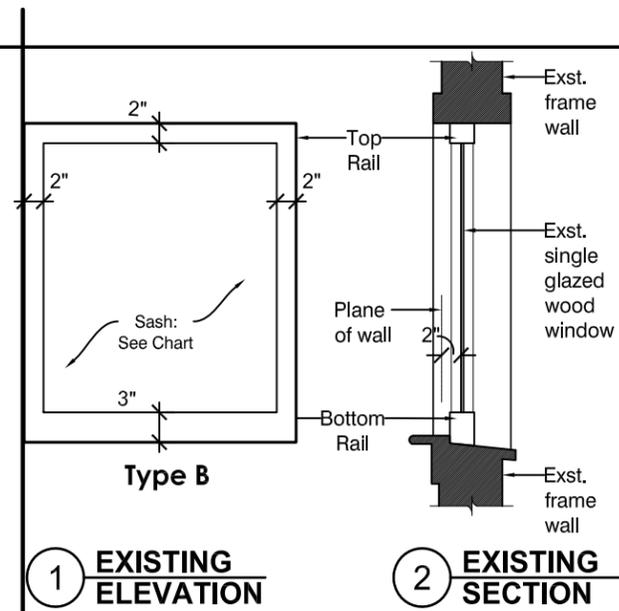
OWNER:
DAVID GILJOHANN
 2146 Asbury Ave.
 Evanston, IL 60201

DRAWING INDEX
 SEE SHEET A1.0

ISSUE/REVISION:
 DATE: ISSUED FOR:
 03/21/23 COA application

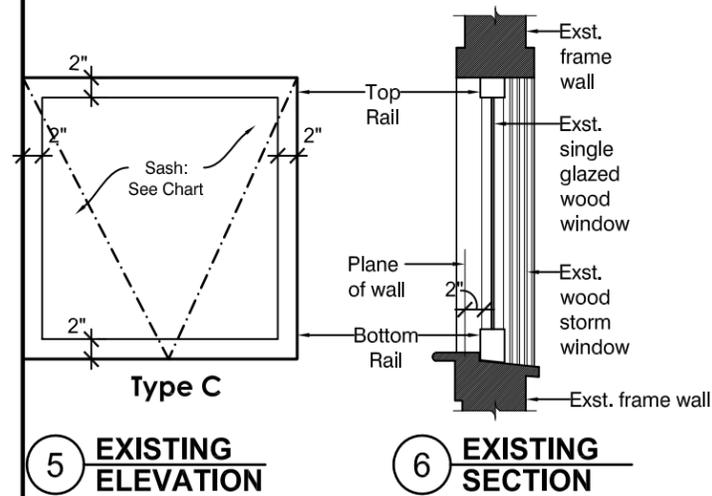
DRAWING NAME:
WINDOW DETAILS A, D, E, F, G, H, J, L, O, Q, R, S, T, Z
 GRAPHIC SCALE: 3/4" = 1'-0"
 DRAWN & CHECKED BY: ZP
 PROJECT NO: 2305
 DRAWING NUMBER:

A4.0



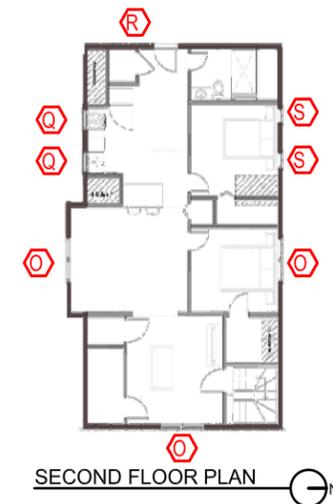
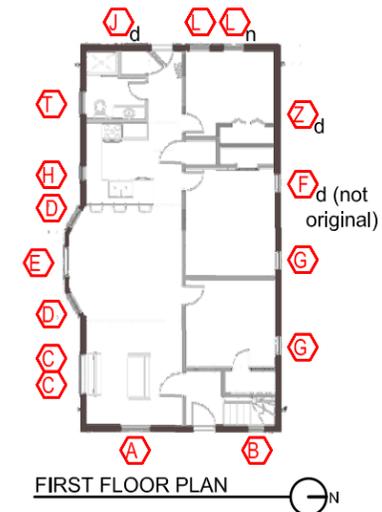
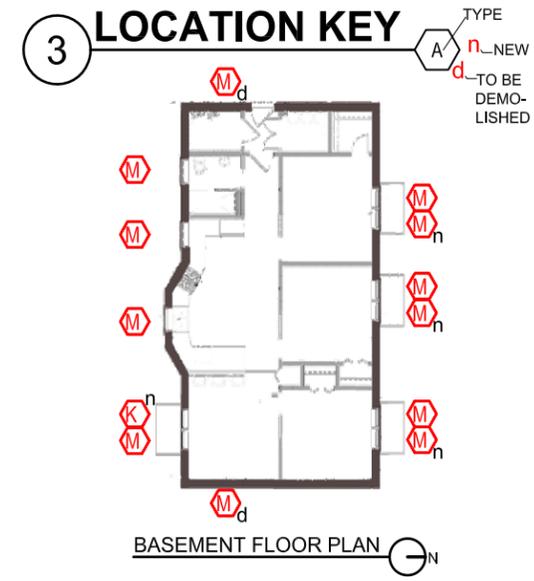
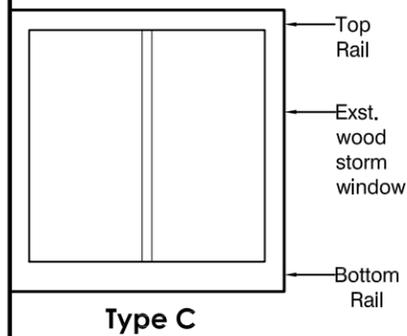
Type B original wood window to remain, no change

4 NEW ELEVATION + SECTION



Type C original wood windows and storm windows to remain, no change

7 NEW ELEVATION + SECTION



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WINDOW REPLACEMENT
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CONTRACTOR:
CONTRACTOR COMPANY NAME

0000 Street Name
 City, IL 6XXXX
 xxx.XXX.xxxxx

OWNER:
DAVID GILJOHANN
 2146 Asbury Ave.
 Evanston, IL 60201

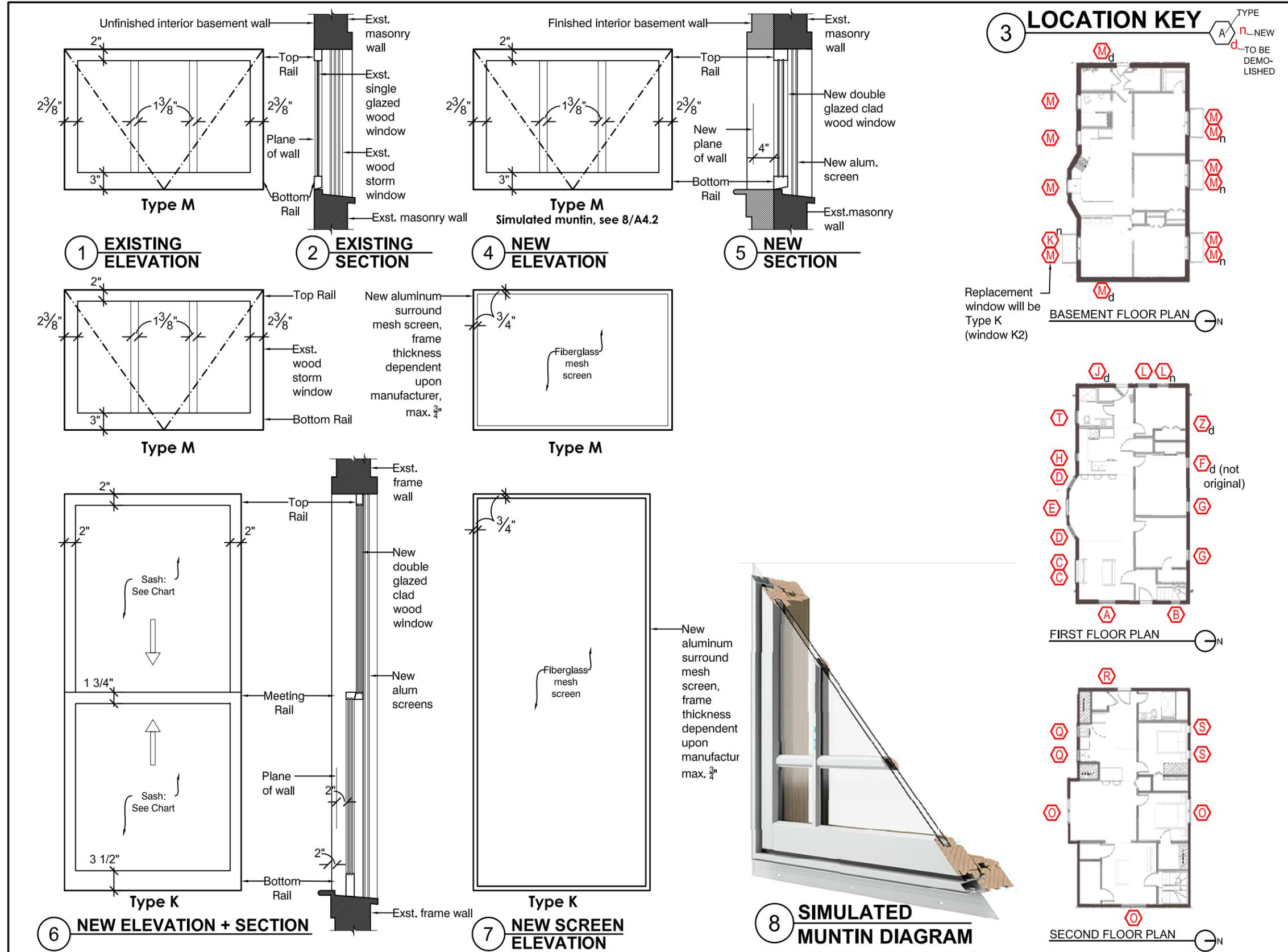
DRAWING INDEX
 SEE SHEET A1.0

ISSUE/REVISION:
 DATE: 03/21/23 ISSUED FOR: COA application

DRAWING NAME:
WINDOW DETAILS B + C

GRAPHIC SCALE: 3/4" = 1'-0"
 DRAWN & CHECKED BY: ZP
 PROJECT NO: 2305
 DRAWING NUMBER:

A4.1



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 E ztpstudio@gmail.com
 Zafiro Papastratakos

PROJECT:
WINDOW REPLACEMENT
 2146 Asbury Ave.
 Evanston, IL 60201

CONTRACTOR:
MIKE RULEY NORTHSHORE RESTORATION + REPAIR
 9435 Central Park
 Evanston, IL 60201
 847.812.7082

OWNER:
DAVID GILJOHANN
 2146 Asbury Ave.
 Evanston, IL 60201

DRAWING INDEX
 SEE SHEET A1.0

ISSUE/REVISION:
 DATE: ISSUED FOR:
 03/21/23 COA application

DRAWING NAME:
WINDOW DETAILS M + K

GRAPHIC SCALE: 3/4" = 1'-0"
 DRAWN & CHECKED BY: ZP
 PROJECT NO: 2305
 DRAWING NUMBER:

A4.2



Ext. **A**
1_e Int.

Ext. **B**
1_e Int.



Ext. **C**
1_e 2_e

Int. **C**
2_e 1_e

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PROJECT:

**WINDOW
REPLACEMENT**
2146 Asbury Ave.
Evanston, IL 60201

CONTRACTOR:

OWNER:

DAVID GILJOHANN
2146 Asbury Ave.
Evanston, IL 60201

DRAWING INDEX

SEE SHEET A2.0

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DATE:	ISSUED FOR:
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DRAWING NAME:

**PHOTOS:
WINDOWS A,B,C**

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305

DRAWING NUMBER:

A5.0



Ext. **D**
1
e Int.



Ext. **E**
1
e Int.



Ext. **D**
2
e Int.



Ext. **F**
1
e Int.



Ext. **J**
1
e Int.

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Zafiro Papastratakos

PROJECT:

**WINDOW
REPLACEMENT**
2146 Asbury Ave.
Evanston, IL 60201

CONTRACTOR:

OWNER:

DAVID GILJOHANN
2146 Asbury Ave.
Evanston, IL 60201

DRAWING INDEX

SEE SHEET A2.0

ISSUE/REVISION:

DATE:	ISSUED FOR:
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DRAWING NAME:

**PHOTOS:
WINDOWS D, E, F,,
+ J**

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305

DRAWING NUMBER:

A5.1



Ext. **G**
1
e



Int.



Ext. **G**
2
e



Int.



Ext.
O O
e 1 2 e
Int.



Ext. **G**
3
e



Int.



Ext. **H**
1
e



Int.



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2146 Asbury Ave.
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OWNER:

DAVID GILJOHANN
2146 Asbury Ave.
Evanston, IL 60201

DRAWING INDEX

SEE SHEET A2.0

ISSUE/REVISION:

DATE:	ISSUED FOR:
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DRAWING NAME:

**PHOTOS:
WINDOWS G1-G3,
H, + O1-O2**

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305

DRAWING NUMBER:

A5.2



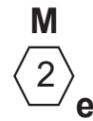
Ext.



Int.



Ext.



Int.



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2146 Asbury Ave.
Evanston, IL 60201

DRAWING INDEX

SEE SHEET A2.0

ISSUE/REVISION:

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DRAWING NAME:

**PHOTOS:
WINDOWS M1 +
M2**

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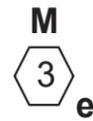
PROJECT NO: 2305

DRAWING NUMBER:

A5.3



Ext.



Int.



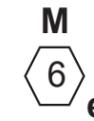
Ext.



Int.



Ext.



Int.



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DRAWING INDEX

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DRAWING NAME:

**PHOTOS:
WINDOWS M3, M5
+ M6**

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305

DRAWING NUMBER:

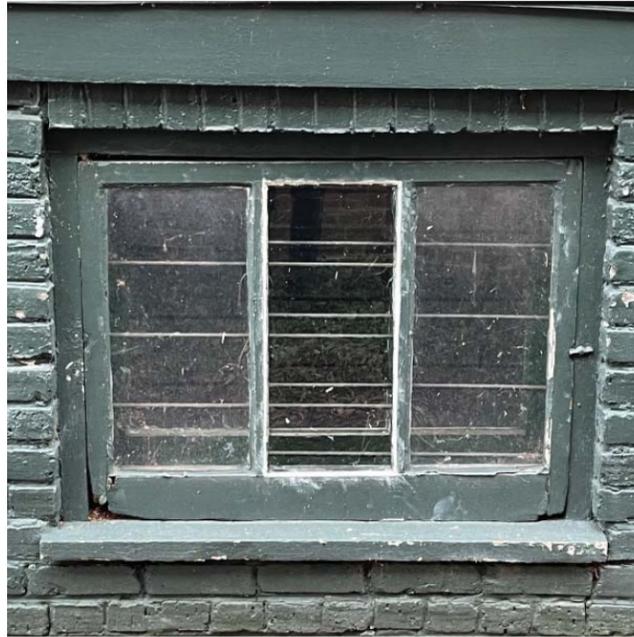
A5.4



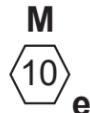
Ext.



Int.



Ext.



Int.



Ext.



Int.



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DRAWING INDEX

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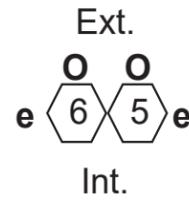
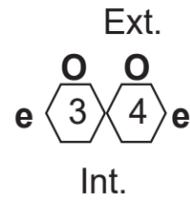
DRAWING NAME:

**PHOTOS:
WINDOWS M8,
M10 + M13**

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305

DRAWING NUMBER:

A5.5



Typical jamb detail,
Window O2



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2146 Asbury Ave.
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2146 Asbury Ave.
Evanston, IL 60201

DRAWING INDEX

SEE SHEET A2.0

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DRAWING NAME:

**PHOTOS:
WINDOWS O3-O6**

DRAWN & CHECKED BY: ZP
PROJECT NO: 2305

DRAWING NUMBER:

A5.6



Ext.
 Q Q
 e 1 2 e
 Int.



Ext.
 S S
 e 2 1 e
 Int.



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PROJECT:

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REPLACEMENT**
 2146 Asbury Ave.
 Evanston, IL 60201

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DAVID GILJOHANN
 2146 Asbury Ave.
 Evanston, IL 60201

DRAWING INDEX

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DRAWING NAME:

**PHOTOS:
WINDOWS Q + S**

DRAWN & CHECKED BY: ZP
 PROJECT NO: 2305

DRAWING NUMBER:

A5.7



Ext. **R**
1
e Int.



Ext. **T**
1
e Int.



Ext. **Z**
1
e Int.



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DRAWING INDEX

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DRAWING NAME:

**PHOTOS:
WINDOWS R, T, Z**

DRAWN & CHECKED BY: ZP

PROJECT NO: 2305

DRAWING NUMBER:

A5.8



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DRAWING INDEX

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DRAWING NAME:
**PHOTOS:
 FRONT DOOR +
 SCREEN**

DRAWN & CHECKED BY: ZP
 PROJECT NO: 2305

DRAWING NUMBER:

A5.9



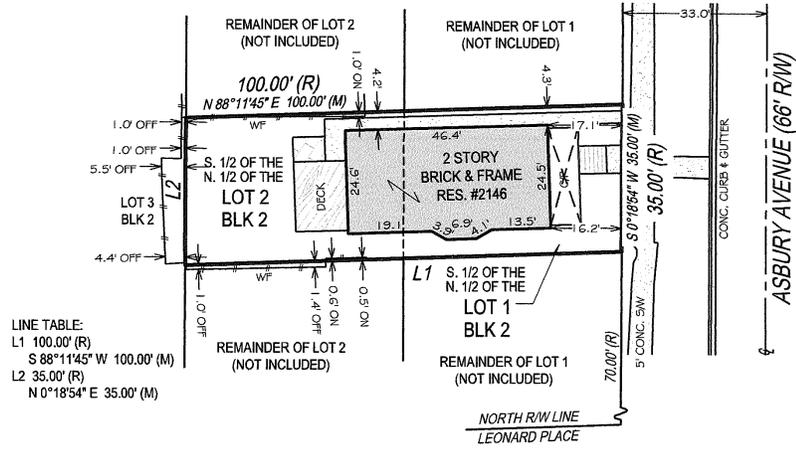
www.exactland.com | office: 773.305.4011



PROPERTY ADDRESS: 2146 ASBURY AVENUE, EVANSTON, ILLINOIS 60201

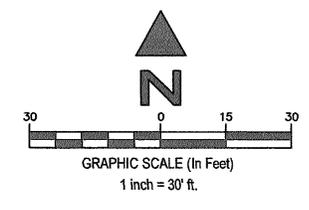
SURVEY NUMBER: IL2207.4697

IL2207.4697
BOUNDARY SURVEY
COOK COUNTY



LINE TABLE:
L1 100.00' (R)
S 88°11'45" W 100.00' (M)
L2 35.00' (R)
N 0°18'54" E 35.00' (M)

TOTAL AREA OF PROPERTY SURVEYED = 3499 SQ.FT.±



STATE OF ILLINOIS }
COUNTY OF LASALLE } SS

POINTS OF INTEREST:
NONE VISIBLE

JOB SPECIFIC SURVEYOR NOTES:

LEGAL DESCRIPTION:

THE SOUTH 1/2 OF THE NORTH 1/2 OF LOTS 1 AND 2 IN BLOCK 2 IN EVANSTON CENTRE 2ND ADDITION IN THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

GENERAL SURVEYOR NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
- If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
- This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
- Alterations to this survey map and report by other than the signing surveyor are prohibited.
- Dimensions are in feet and decimals thereof.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.
- Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
- Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
- Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.
- Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter 6, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.
- THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

SURVEYOR'S LEGEND

	Boundary Line		Elevation		C/P - Covered Porch		FIR - Found Iron Rod		ORB - Official Records Book		S/W - Sidewalk
	Center Line		Fire Hydrant		C/S - Concrete Slab		FIRC - Found Iron Rod & Cap		ORV - Official Record Volume		SBL - Setback Line
	Chain Link or Wire Fence		Find or Set Monument		CATV - Cable TV Riser		FN - Found Nail		O/A - Overall		SCL - Sewer Closure Line
	Easement		Manhole		CB - Concrete Block		FN&D - Found Nail & Disc		O/S - Offset		SCR - Screen
	Edge of Water		Guywire or Anchor		CH - Chord Bearing		FRRSPPK - Found Rail Road Spike		OFF - Outside Subject Property		SEC - Section
	Iron Fence		Tree		CHIM - Chimney		GAR - Garage		OH - Overhang		SEP - Septic Tank
	Overhead Lines		Manhole		CLF - Chain Link Fence		GM - Gas Meter		OHL - Overhead Utility Lines		SEW - Sewer
	Structure		Tree		CME - Canal Maintenance Easement		ID - Identification		OHWL - Ordinary High Water Line		SIRC - Set Iron Rod & Cap
	Survey Tie Line		Tree		CO - Clean Out		IE/EE - Ingress/Egress Easement		ON - Inside Subject Property		SMWE - Storm Water Management Easement
	Vinyl Fence		Well		CONC - Concrete		ILL - Illegible		P/E - Pool Equipment		SN&D - Set Nail and Disc
	Wall or Party Wall				COR - Corner		INST - Instrument		PB - Plat Book		SQFT - Square Feet
	Wood Fence				CS/W - Concrete Sidewalk		INT - Intersection		PC - Point of Curvature		STL - Survey Tie Line
					CUE - Control Utility Easement		IRRE - Irrigation Easement		PCC - Point of Compound Curvature		STY - Story
					CVG - Concrete Valley Gutter		L - Length		PCP - Permanent Control Point		SV - Sewer Valve
					D/W - Driveway		LAE - Limited Access Easement		PI - Point of Intersection		SWE - Sidewalk Easement
					DE - Drainage Easement		LB# - License No. (Business)		PLS - Professional Land Surveyor		TBM - Temporary Bench Mark
					DF - Drain Field		LBE - Limited Buffer Easement		TOL - Telephone Facilities		TOB - Top of Bank
					DH - Drill Hole		LE - Landscape Easement		TLT - Planter		TUE - Technological Utility Easement
					DUE - Drainage & Utility Easement		LME - Lake/Landscape Maintenance Easement		TOB - Top of Bank		TWP - Township
					ELEV - Elevation		LS# - License No. (Surveyor)		POB - Point of Beginning		TX - Transformer
					EM - Electric Meter		MB - Map Book		POC - Point of Commencement		TYP - Typical
					ENCL - Enclosure		ME - Maintenance Easement		PRC - Point of Reverse Curvature		UE - Utility Easement
					ENT - Entrance		MES - Mitered End Section		PRM - Permanent Reference Monument		UG - Underground
					EOP - Edge of Pavement		MF - Metal Fence		PSM - Professional Surveyor & Mapper		UP - Utility Pole
					EOW - Edge of Water		MH - Manhole		PT - Point of Tangency		UR - Utility Riser
					ESMT - Easement		MHWL - Mean High Water Line		PUE - Public Utility Easement		VF - Vinyl Fence
					EUB - Electric Utility Box		NR - Non-Radial		R - Radius or Radial		W/C - Witness Corner
					F/DH - Found Drill Hole		NTS - Not to Scale		R/W - Right of Way		WF - Wood Fence
					FCM - Found Concrete Monument		NAVD88 - North American Vertical Datum 1988		RES - Residential		WM - Water Meter/Valve Box
					BSMT - Basement		NGVD29 - National Geodetic Vertical Datum 1929		RGE - Range		WV - Water valve
					C - Curve		OG - On Ground		ROE - Roof Overhang Easement		
					CL - Center Line				RP - Radius Point		
					FIP - Found Iron Pipe						
					FIRC - Found Iron Rod & Cap						



**Zoning Analysis
Summary**

Review Date: 4/6/2023; Revised 4/7/2023
By: Carlos D. Ruiz, Planner

Case Number:

Case Status/Determination:

23ZONA-0061 - 2146 Asbury Avenue

COMPLIANT

Applicant:

Plans prepared by: Katmerka Ramic

Plans dated: 4/4/2023

Survey dated: 8/4/22

District:R3

Proposal:

Construct a 101 square feet rear egress open wood porch on 2-story brick and frame multi-family residence

Non-compliant:

Code Section	Proposed and Required	Recommendation
		Revision required, Apply for variation (if no alternative exists), Revision recommended (with simple correction), See additional comment # below.

Additional Comments:

Principal Use and Structure:	
<i>Zoning Code Section</i>	<i>Use: Include standard, existing, and proposed; Indicate Compliant, Non-compliant, No change, Legal non-conforming</i>
6-4-6-9 SPECIAL REGULATIONS APPLICABLE TO AIR CONDITIONING EQUIPMENT	Proposed 6'-0" COMPLIANT - PROVIDED THAT SCREENING/LANDSCAPING IS INSTALLED AS NOTED BELOW. Required Yard Interior side yard: Eight-foot setback required; or six-foot setback required when located within two (2) feet of the principal structure and obscured from view by screening methods such as landscaping.
6-8-4-5 LOT WIDTH	Lot width: 35 FT
6-8-4-4 LOT SIZE	Lot size: 35 FT X 100 FT = 3,500 SF
6-8-4-2 PERMITTED USES	Dwelling Units #: 2 DWELLING UNITS AND ADU (BASEMENT)
6-8-4-6 BUILDING LOT COVERAGE	Building Lot Coverage: Max allowed 45% = 1,575 SF Proposed =1,410.52 SF COMPLIANT
6-8-4-9 6-4- IMPERVIOUS SURFACE	Impervious Surface Coverage: Max allowed 60% = 2,100 SF Proposed = 1,697 COMPLIANT
	Accessory Structure Rear Yard Coverage:
	Gross Floor Area
	Building Height:
	Yards: Front: Street Side: Interior Side: Interior Side: Rear:
Accessory Use and Structure 1:	
	Location (Yard):
	Height:

	Distance from Principal Building:
	Yards: Front: Street Side: Interior Side: Interior Side: Rear:
Accessory Use and Structure 2:	
	Location (Yard):
	Height:
	Distance from Principal Building:
	Yards: Front: Street Side: Interior Side: Interior Side: Rear:
Parking Requirement:	
	Use 1: Use 2: Use 3: Total Required:
	Handicapped Spaces:
	Access:
	Vertical Clearance:
	Surface:
	Location:

	Parking Angle 1: Parking Space Size: Drive Aisle Width: Module: Parking Angle 2:
Loading Requirements:	
	Use 1: Use 2: Use 3: Total Number of Short/Long Loading Berths:
	Long Berth Size:
	Short Berth Size:
	Vertical Clearance:
	Location:
Miscellaneous:	
6-8-4-7 YARD REQUIREMENTS (C) 4.	Rear yard setback: Required = 3 FT Proposed = 5'-0" (south side) COMPLIANT



STATEMENT OF SIGNIFICANCE

Rarely are two identical late nineteenth century vernacular cottages with excellent integrity found in close proximity to one another. Both this structure and the one located two houses to the south at 2142 Asbury Avenue are distinguished for their simplicity, fine proportions, and expression of a building type prevalent throughout Evanston. Each is a one-and-a-half story house with a gable roof intersected by twin gables having simple unornamented bargeboards framing the gable. Both buildings are sided with narrow clapboards and have square-cut shingles between the lintels of paired second floor windows and the gable peaks. As is typical, a raised front porch with a sloping roof (here hipped) supported by square Doris posts connected by two slatted balustrades, stretches across the entire front of each house. The exterior of this house differs from 2142 Asbury Avenue only in paint color; its bargeboard and window frames are painted to contrast with the white clapboard.

79Y5
2146 Asbury Avenue

EVANSTON LANDMARK

ADDRESS: 2146 Asbury Avenue
 COMMON NAME:
 REAL ESTATE INDEX NUMBER:
 DATE OF CONSTRUCTION: circa 1885
 ARCHITECT OR BUILDER:
 ORIGINAL SITE MOVED
 SIGNIFICANCE:

HISTORICAL	<input type="checkbox"/> H1	<input type="checkbox"/> H2	<input type="checkbox"/> H3	<input type="checkbox"/> H10
ARCHITECTURAL	<input type="checkbox"/> A4	<input type="checkbox"/> A5	<input type="checkbox"/> A6	<input type="checkbox"/>
	<input checked="" type="checkbox"/> A7	<input type="checkbox"/> A8	<input type="checkbox"/> A9	<input type="checkbox"/>
ENVIRONMENTAL	<input type="checkbox"/> GE11			

OTHER COMMENTS:



City of EVANSTON

2146 ASBURY AVENUE

BEGINNING STREET NUMBER
 END STREET NUMBER
 STREET #
 SUFFIX
 STREET NAME
 PIN

LOCAL

WITHIN LOCAL DISTRICT?
 LOCAL DIST CONTRIB/NON-CONTRIB?
 LOCAL LANDMARK?
 YEAR
 LOCAL LANDMARK ELIGIBLE?
 CRITERIA



PHOTO ID:

NATIONAL REGISTER

NR DISTRICT CONTRIB/NON-CONTRIB
 WITHIN DISTRICT? NR LANDMARK? YEAR
 NR ELIGIBLE? CRITERIA ALTERNATE ADDRESS?

GENERAL INFORMATION

CATEGORY CONDITION
 INTEGRITY CURRENT USE
 HISTORIC USE
 SECONDARY STRUCTURE NR SECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION
 DETAILS
 CONSTRUCTION YEAR OTHER YEAR
 DATE SOURCE WALL MATERIAL (CURRENT)
 WALL MATERIAL 2 (CURRENT) PLAN
 NO OF STORIES ROOF TYPE
 ROOF MATERIAL FOUNDATION
 PORCH WINDOW MATERIAL
 WINDOW MATERIAL 2 WINDOW TYPE
 WINDOW CONFIGURATION SIGNIFICANCE
 HISTORIC FEATURES

 ALTERATIONS

HISTORIC INFORMATION

OLD ADDRESS (CITY DIR.YEAR) BUILDING MOVED?
 MOVED FROM ORIGINAL OWNER
 ORIGINAL ARCHITECT ARCHITECT SOURCE
 BUILDER SURVEYOR SURVEYOR ORGANIZATION
 SURVEY DATE SURVEY AREA

PERMIT/HISTORIC INFORMATION

PERMIT MOVING INFORMATION

CURRENT ADDRESS OLD ADDRESS DATE OF CONSTRUCTION MOVING PERMIT # DATE MOVED

ORIGINAL PERMIT INFORMATION

BUILDING PERMIT # DATE OTHER PERMIT INFORMATION COA INFO
BUILDING PERMIT DESCRIPTION COST HISTORIC INFO OTHER SOURCES
ORIGINAL OWNER OCCUPIED? HISTORIC INFO COMPILER VOLUNTEER
EXTERIOR ALTERATION PERMITS



MEETING MINUTES

PRESERVATION COMMISSION

Tuesday, March 14, 2023
7:00 P.M.

Members Present: Beth Bodan, Stuart Cohen, John Jacobs, Carl Klein, Jamie Morris, Suzi Reinhold, Aleca Sullivan, and Amanda Ziehm

Members Absent: Sarah Dreller

Staff Present: Carlos Ruiz and Cade Sterling (Planners/Historic Preservation)

Presiding Member: Stuart Cohen, Vice-Chair

Notes Taken by: Carlos Ruiz

1. CALL TO ORDER/DECLARATION OF A QUORUM

Chair, S. Cohen called the meeting to order at 7:03 PM with a quorum of eight Commissioners present.

2. OLD BUSINESS

A. 2306 Harrison Street - Landmark - 23PRES-0010

Hauser Architects, applicant, submit for a Certificate of Appropriateness to demolish an existing single-story rear-volume addition and construct a new two-and-one-half story addition at the homes rear and side volumes, and alter the homes fenestration at the west elevation.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; and, Construction [1-8; and, 10-15].

Mike Hauser presented the application as follows:

- The addition was pulled back from the side yard, the primary volume came back, and they articulated the program with a simple bay that improves the elevation while keeping the program like it was.
- Looking at the side west elevation, the lower roof ridgeline of the addition match the existing.
- The east side was pulled-in about 3-feet. They put back some of the program with the bay. Now the addition is much more in scale with the house. The bay allows the utilization of some of the features from the house such as the fish scale at the eave

- On the east elevation, a section of the roof ridgeline is lowered.
- South elevation: the kitchen windows are more in line with the rest of the windows. They had three pairs of windows before.
- The scale of the addition is down and the projecting gable does not read so large, so now there are three windows, instead of three pairs of windows.
- The swoop roof is no longer on the south elevation. The ground entry has a smaller gable with a simplified gable truss.
- The second floor steps back, but reads as part of the whole volume, and it is articulated with some of the trim and the fish scale siding
- West elevation: keeps a consistent gutter line. The large gable has been replaced with a shed dormer that helps to maintain the gutter line, and the head height from the windows from the inside

Commissioners Comments:

- B. Bodan: the use of the bay, minimizing the extension into the side yard works really well
- J. Jacobs: this is a markedly a better solution. He liked the shed dormer on the west, the bay on the east. The existing home is not dwarfed with the revised addition.
- C. Klein: standards 8, 10, and 12 have been addressed with this design. Vice-Chair Cohen agreed.
- A. Ziehm: the proposed addition is an improvement to the previous design.

Commissioner Jacobs made a motion to issue a COA to the revised design of the addition as meeting the applicable standards. Commissioner Ziehm seconded the motion. The motion passed 8-0.

3. NEW BUSINESS

A 1139 Sheridan Road - Lakeshore Hist. Dist. - 23PRES-0021

Brad Lightner, architect, and applicant, submit for a Certificate of Appropriateness to remove the existing raised patio and existing 2-car garage. Construct new mudroom addition on the primary structure and replace the existing garage with a new detached 2-story Accessory Dwelling Unit (ADU). Replace existing windows at the rear of the house. There are several exterior improvements including a wood pergola attached to the ADU and a new raised wood deck with a pergola, fireplace, and plunge pool near the primary structure. The side and rear fences will be adjusted and replaced to match the existing.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; and Construction [1-5, 7, 8, 10-15]

Brad Lighter presented the application as follows:

- Remove a 2006 addition, a raised patio and concrete patio at grade.
- Construct a 1-story mudroom addition, a 2-story detached ADU, a wood deck, a plunge pool, a pergola structure attached to the ADU, and a second pergola attached to the house, and an outdoor kitchen.
- The ADU is a single gable structure, matching the roof pitch and asphalt shingles of the existing garage.

- The mudroom addition is a flat roof with a pitched skylight to create a conservatory feel.
- South elevation: replace windows on the 1st and 2nd floors. Three of the 1st floor windows will become a slider door.
- The replacement windows are Marvin Ultimate aluminum clad interior wood casement windows; two windows with screens are slightly shifted to the sides.
- North elevation: new conservatory, and replacing several windows in the basement.
- ADU: replace the 1-story detached garage with a 2-story ADU with stucco finish, aluminum clad windows, asphalt roofing, two awnings with standing seam metal roofs over the ADU entry and over the garage.
- West elevation: second floor has a large grouping of windows and a pergola

Comments/Questions/Answers

- Commissioner Jacobs: What was the inspiration for the design of the conservatory panels above the doors that read like a classical freeze? B. Lightner: the inspiration was a traditional conservatory which is complementary and pleasing to look at.
- Vice-Chair Cohen: The windows in the ADU are 3/1 double-hung windows. The windows under the gables are casement, similar to those in the addition. Has it been considered to upgrade to 3/1 double-hung windows. Alternatively, using a narrower casement in the ADU. B. Lightner: the casement windows on the addition are being replaced in place, similar to the casement windows with muntins in the front and side of the house. The muntins broke down. The windows on the addition do not have muntins, neither the replacement windows.

Deliberation

Commissioner Jacobs liked pretty much everything about the proposal, except for what it feels a different style on the addition. He did not know what an early Prairie style conservatory would look like. It has a little of the Classical order with those panels above the door, which he was not comfortable with at the moment.

Commissioner Reinhold said the conservatory is the least visible from the public way, and the adjacent house blocks, and it will not be seen from the alley. She thought that the proposed conservatory meets the standards.

Commissioner Bodan said that in regard to standard 10 for construction, the rear addition does not fully cover the rear of the house, which is compliant with standard 10.

Commissioner Bodan made a motion to issue a COA for 1139 Sheridan Road as submitted, and meet all the applicable standards. Commissioner Klein seconded the motion. The motion passed 7 ayes -1 nay (Jacobs).

B. 630 Central Street - Landmark - 23PRES-0022

Mike Hauser, architect, and applicant, submit a Certificate of Appropriateness to replace 22 single-paned true divided light wood casement windows with a lead window grill (several of these windows have a stained glass round accent in the pattern). The replacement windows are clad wood Marvin Ultimate casement windows with an applied divider grill that would replicate the original dimensionally and functionally. The stained glass detail would be applied to the inside of the window in the lead circle. The original windows would be

salvaged for reuse.

Applicable Standards: Alteration [1-10]

Mike Hauser, architect, presented the application as follows:

- M. Hauser said that he and Rob Berry, the owner, have worked two years to come up with restoration and modifications strategies for the historic windows. They have considered also the cost. They have a hardship being the triple expense in material and installation. The strategy would be to restore and other means of maintaining the windows, as oppose to replacing them fully.
- The windows are listed as the defining characteristic of the historic house. The windows have several strikes against them in their practicality and in their construction.
- The windows art glass is thin and the glass flexes when the wind blows. Several pieces have fallen out. The windows are not up to par as serviceable windows. Existing holes in the windows have caused water damage inside the house. The windows are not energy efficient.
- Jeff Edinger of Oak Brothers Windows, window restorers, assessed the windows to restore then or remove the sash and install the sash as a storm window outside of in-swinging casement windows. J. Edinger was unable to commit to a timeline or a price, nor determine that the proposed solution would solve all the thermal issues. J. Edinger also discussed the thinness of the glass and how difficult it would be to fabricate a strong sash with the thin glass.
- The solution they are proposing is having the art glass removed from the circular art glass and applied to the inside of the new windows that have the lead patterning that would match the original. The original sashes would be destroyed in the process. There are two areas where the glass has been completely removed and replaced with a single pane and then the lead tape applied to the outside.
- Rob Barry, the owner, said they love the house and the windows and they have invested considerable time to find a solution; balancing preservation with evolution and sustainability. Also, the thin glass and the degradation of the windows make them not viable. The house is cold and drafty. In some cases the glass has pulled away from the lead. The proposed solution is good for the house, replicating the pattern and even the circle, and reusing the stain glass and meeting their objectives of being warm, environmentally and functionally viable. The restoration of the windows is not sustainable or viable.

Vice-Chair Cohen said the presentation and documentation does not explain what is being proposed to do with the decorative leaded glass windows. Pella and Marvin make triple glazed windows, which is a double glazed window with clips that hold a storm pane. The decorative glass can be put into a metal frame that will fit into the storm panel that the Marvin Windows accommodate.

- Mike Hauser said the proposal is to replace the windows; the question is whether it would be worth it to remove the art glass or whether maintaining the sash. Meaning, storing the window sashes and when the technology is available, restore them.
- Mike Hauser described the existing windows as having a unique sill; the casing is inlaid into stucco. A new window will require removing part of the existing window, but maintaining the wood trim, that kind of bleeds into the stucco. The leaded

dividers would be replaced with lead tape applied to the glass, allowing the windows to be double paned and allowing energy conservation.

- One solution that they discussed is to take the sash and hang it on the outside. The cost would be triple, and there was no guarantee to cause no more problems. That solution has been abandoned.
- The solution is to replace the windows with Marvin Ultimate clad-wood windows.

Vice-Chair Cohen said if they do not want to buy the triple glazed windows, then restore the windows one at time, and hold them in place with butterfly clips. He described the process of restoring leaded glass windows and said is not a complicated process. Have the leaded glass then installed inside. He said the proposed solution is not something that he feels he can approve.

- Mike Hauser said he appreciated Vice-Chair Cohen's suggestion. He needs to price the triple glazed windows and discuss a solution with his client.
- Rob Barry said restoring the windows one at the time is unreasonable. The solution they proposed has the windows look exactly as they look now.

Cade Sterling said the Preservation Ordinance does not take into account the economic considerations. What he heard the Commission saying is that the solution presented does not meet the standards, nor is compatible. Standard 6 talks about when replacement is necessary. The applicant demonstrated that restoring the windows is not a viable solution. He thought the Commission had offered a good solution. The difficulty is that the economic considerations are not one of the standards.

- Rob Barry said that economic consideration has to be one of the standards, otherwise is not sustainable. The other solutions have been estimated in hundreds of thousands of dollars versus the solution they proposed

Commissioner Bodan said noted the alteration standards 1, 2, 5, and 6 are applicable. She wanted to be confident that all due diligence was done, and that the art glass is the whole window, and the significance of the house needs to be considered,

Commissioner Ziehm said that she is the owner of a landmark with stain glass windows. Storm overlay windows help with winterizing of the house. She is sympathetic with the owner's window issues.

Commissioner Jacobs said if the storm panel does not work, double pane window replacement might. Rather than repairing all windows, repair the windows that are not in worst shape.

- Mike Hauser said the wall thickness inside of the wall does not work without building out the inside of the wall 4-5 inches. Commissioner Jacobs said in regard to the exterior ledge, the sash will not fit in there.
- Mike Houser aske to continue the project;

After additional discussion of whether continuing the application or withdrawing the application, Mike Hauser withdrew the application.

C. **Rules and Procedures**

For action. The Commission discussed and reviewed written changes to the Rules and Procedures at the February 15, 2023. Action is required at this meeting per Article 10 of the current Rules and Procedures.

Cade Sterling said the discussion at the February meeting was how cases are processed. Regarding the procedure requiring a motion before deliberation, there is a friendly amendment process, which the Commission does already. The Commission offers solutions. Assuming the person that made the original motion does not object to that, then that can become the motion. Also, Commissioners can still ask questions to the applicant.

Some of the changes are:

- The nomination process for officers. It conflicted with the Ordinance which spells out the process.
- Removal of the three previous committees that had been relatively inactive and incorporating some new committees that are intended to achieve some of the goals and objectives of the Long Range Plan (the Application Pre-Review Committee, The Advocacy Committee, and the Diversity Committee)
- Article IV requiring a motion before deliberation. That aligns with City Council Rules and the Robert's Rules of Order
- The section of reconsideration of applications was struck.
- Under section on COA reviews, the rules of circumstance for the Commission under major work projects, allows the Application Pre-Review Committee to defer projects back to staff administratively.
- One change in the rules of circumstance #38 it was listed as minor work or Commission review.
- A change under Article VII, removal of a property from landmark status. Applications for demolition of landmarks, that they also apply for rescission concurrently.
- Wholesale removal of the solar guidelines from the Commission. It will be a stand-alone document.
- An addition under Article X that changes Article XI requiring annual reporting by the Commission to the Planning and Development Committee.

Commissioner Ziehm asked about the Pre-Review Committee, and some major work going back to administrative review. C. Sterling said it has happened occasionally. The Pre-Review Committee is composed now by the Commission Officers. Commissioner Reinhold said as former Chair, she participated in the Pre-Review Committee. It usually involves window projects, that happens in an area that is not highly visible. Commissioner Ziehm asked if there is a way to define those projects that would skip major review. Cade Sterling said it would be difficult to do that. However, those cases that are being deferred could be separated and tracked. Carlos Ruiz said Staff is providing the applications that have been approved by Staff. Vice-Chair Cohen said in regard to siding replacement, the Commission has already approved the use of Hardie board siding, the thing that has to be known is the exposure, that can be looked at and administratively approved.

Commissioners discussed the benefits of rotating Commissioners and participating in the Pre-Review Committee. Commissioner Reinhold said that whoever is doing the Pre-Review, it should be solely done on the completeness of the application, not based on any discussion on what should be changed. The applicants receive a summary of the things

needed for the meeting.

Commissioner Reinhold made a motion to formally adopt the Rules and Procedures. Commissioner Klein seconded the motion. The motion passed unanimously 8-0.

4. APPROVAL OF MEETING MINUTES

A. **Minutes of February 15, 2023**

Commissioner Klein made a motion to approve the February 15, 2023, meeting minutes as amended. Commissioner Bodan seconded the motion. The motion passed 4 ayes – 4 abstentions (Morris, Reinhold, Sullivan, and Ziehm)

5. DISCUSSION (NO VOTE WILL BE TAKEN)

A. **Preservation Commission Annual Report**

Discussion on the Preservation Commission's Annual Report for Fiscal Year 2022.

Cade Sterling said the report will be presented to the Planning and Development Committee of the City Council. C. Sterling presented a complete summary of the report.

Vice-Chair Cohen asked if a former Commissioner could be re-appointed to the Commission. C. Sterling said no. Commissioner Ziehm asked if there are applications for appointment to the Commission. C. Sterling said there is one application

There is a report required for landmark and historic district nominations. The report emphasizes the importance of allowing the Commission present its report to designate a landmark or historic district to the City Council at a meeting.

Economic hardship in the Ordinance refers to a taking when the Commission makes a decision

Commissioner Ziehm said she would like to see a list of preservation contractors online specially window restoration contractors. Also, she suggested adding photos of projects that the Commission approved.

6. ADJOURNMENT

The next Preservation Commission meeting is scheduled for April 11, 2023.

5. ADJOURNMENT

Commissioner Klein made a motion to adjourn the meeting at 9:18 PM on Tuesday, March 14, 2023. Commissioner Reinhold seconded the motion. The motion passed 8-0.

DRAFT



City of Evanston
Preservation Commission
2100 Ridge Avenue
Evanston, Illinois 60201

Honorable Mayor Biss and City Manager Stowe,

The Preservation Commission believes that important places like the Harley Clarke Mansion and Jens Jensen and Alfred Caldwell designed grounds are not expendable and can, in fact, serve as valuable opportunities for renewed life and vibrancy rather than obstacles to addressing our shared challenges and achieving our shared goals. In support of that effort, the Preservation Commission urges the City and City Council to call upon our collective expertise, time, and passion to assist as you envision, discover, and realize the Harley Clarke Mansion's future.

Rehabilitation of the Harley Clarke Mansion and its grounds presents an opening for the City Council to think strategically about both giving new life to a significant Evanston Landmark and advancing community goals by:

1. Solidifying Evanston's role in, and commitment to, the celebration and discovery of innovative solutions that maintain vibrant, human-scaled environments.
2. Leading by example and embodying the fundamental principle that historic preservation is an essential climate resilience tool. Historic building materials and methods are rich with embodied energy; retaining these valuable resources can help achieve lower life-cycle carbon emissions and reduced commodification of our built environment.
3. Forging impactful and mutually beneficial partnerships by rehabilitating the Harley Clarke Mansion and its grounds in a way that revitalizes its architectural, environmental, social, and cultural significance as a one of a kind regional destination for current and future generations to experience.
4. Providing opportunities for diverse and realistically scaled local organizations to share in Harley Clarke's success. This could include income-producing and non-profit entities offering parallel programmatic opportunities that benefit all of Evanston while sensibly activating the lakefront.

Cordially,

Sarah M. Dreller, Chair

Beth Bodan

Jamie Morris

Stuart Cohen, Vice-Chair

Susan Reinhold

Amanda Ziehm

Carl Klein, Secretary

John Jacobs

Aleca Tesseris Sullivan

