



AGENDA
Preservation Commission
Tuesday, May 9, 2023
Lorraine H. Morton Civic Center, Council Chambers, Room 2800 7:00 PM

1. CALL TO ORDER/DECLARATION OF A QUORUM

2. PUBLIC COMMENT

Members of the public are afforded three (3) minutes per person to provide testimony related to items listed under discussion, or to address the Commission generally. Members of the public wishing to provide testimony on new or unfinished business shall be given the opportunity to do so following presentation by the applicant in a manner and under time limits determined by the Chair.

3. PRESENTATIONS

A. Evanston Rebuilding Exchange

Representatives from the Evanston Rebuilding Exchange shall present an overview of their operations, the value of deconstruction and salvaged materials, and how these efforts align with the Commissions goals and objectives.

4. NEW BUSINESS

A. 1221 Hinman Ave - Landmark - Lakeshore Hist. Dist. - 23PRES-0064

4 - 36

Shumaker Design + Build Associates, applicant and architect, submit for a Certificate of Appropriateness to construct a single-story rear addition below an existing projecting second story, construct a single-story greenhouse addition at the rear volume; alter the structures rear-volume fenestration and roof form at an existing non-original rear addition; demolish a non-original rear deck and stair, construct a new raised deck and stair at the homes rear elevation; demolish an existing detached garage and construct a new single-story detached garage in the rear-yard.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; and Construction [1-8, and 10-15].

[1221 Hinman Staff Report](#)
[1221 Hinman Application+Plans](#)

B. 833 Michigan Avenue - Lakeshore Historic District - 23PRES-0067 37 - 64

Kaufman O'Neil, applicant and architect, submit for a Certificate of Appropriateness to enclose an existing screen porch, and construct a new one-story addition and screen porch at the homes rear volume.

Applicable Standards: Alteration [1-10]; and Construction [1-8, and 10-15]

[Michigan 833 Staff Report](#)
[Michigan 833 Application+Plans](#)

C. 1323 Elmwood Avenue - Landmark - 23PRES-0068 65 - 95

Shawn Casey, owner and applicant, submits for a Certificate of Appropriateness to alter the homes roofing material from cedar shingle to asphalt shingle.

Applicable Standards: Alteration [1-10]

[Elmwood 1323 HPC Memo](#)
[Elmwood 1323 Application+Documentation](#)

5. APPROVAL OF MEETING MINUTES

A. Minutes of April 11 96 - 99
[20230411 HPC Minutes Draft](#)

6. DISCUSSION (NO VOTE WILL BE TAKEN)

A. Chicago Avenue Multimodal Corridor Improvements 100 - 113

In accordance with Code Section 2-8-3 (G) 24. and Article 8 of the Commissions Rules and Procedures, the Commission is afforded the opportunity to review and comment on City projects or activities affecting landmarks or districts, or areas, properties, structures, sites or objects eligible for designation as landmarks or districts.

As such, the Public Works Agency will present portions of the Chicago Avenue Multimodal Corridor Improvement Project proposed within or adjacent to the Lakeshore Historic District.

[Presentation Chicago Ave HPC May 2023](#)

7. ADJOURNMENT

Order & Agenda Items are subject to change. Information about the Preservation Commission is available at: Preservation Commission Questions can be directed to Carlos Ruiz at 847-448-8687 or at cruiz@cityofevanston.org The city is committed to ensuring accessibility for all citizens; if an accommodation is needed to participate in this meeting, please contact the Planning and Zoning Division at (847-448-8687) 48 hours in advance so that arrangements can be made for the accommodation if possible. **Español** - La ciudad de Evanston tiene la obligación de hacer accesibles todas las reuniones públicas a las personas minusválidas o a quienes no hablan inglés. Si usted necesita ayuda, favor contacte a Carlos D. Ruiz de la Oficina de Planificación y Zonificación llamando al (847/448-8687) o cruiz@cityofevanston.org con 48 horas de anticipación para acomodar su pedido en lo posible



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, Planner
Subject: 1221 Hinman Avenue – 23PRES-0064
Date: February 8, 2023

Public Notice

1221 Hinman Ave - Landmark - Lakeshore Hist. Dist. - 23PRES-0064

Shumaker Design + Build Associates, applicant and architect, submit for a Certificate of Appropriateness to construct a single-story rear addition below an existing projecting second story, construct a single-story greenhouse addition at the rear volume; alter the structures rear-volume fenestration and roof form at an existing non-original rear addition; demolish a non-original rear deck and stair, construct a new raised deck at the homes rear elevation; demolish an existing detached garage and construct a new single-story detached garage in the rear-yard.

Applicable Standards: Demolition [1-5]; Alteration [1-10]; and Construction [1-8, and 10-15].

Construction Period:
1892

Style:
Shingle Style

Architect of Record:
Josiah C. Lane

Condition:
Good

Integrity:
Excellent

Status:
Landmark (1978) under criteria
A7 (exemplification of an architectural style) and,
H1 (exemplification of cultural, social, historical, or political heritage)

Setting:

1221 Hinman Avenue is located in the west central portion of the Lakeshore Historic District. The home is located on the east side of Hinman Avenue in the southern half of the block between Dempster Street to the North and Hamilton Street to the South. Surrounding resources were primarily constructed between the 1860s and 1890s in the Stick, Italianate, Greek Revival, and Queen Anne styles.

Significance:

The structure was designed by architect Josiah C. Lane. Little is known of Lane other than he was a prolific architect in late 19th Century Evanston, designing 14 homes in the Lakeshore District, four of which are designated Landmarks including the home at 1221 Hinman.

The home was commissioned and occupied by Thaddeus P. Stanwood and his wife Louise P. Stanwood, a prominent Evanston family involved in late 19th century education reform. Louise Stanwood was influential in the early integration of Kindergarten in Evanston's public school system and was the first woman to serve on an Evanston School Board. Louise was also an influential and founding member of the Womens Club of Evanston, serving as its secretary and later president.

The home is a refined and unusual example of the Shingle style with Queen Anne and Dutch Colonial Revival characteristics. The home exhibits excellent integrity with the majority of its character defining features present including prominent side and intersecting gambrel roof forms, shingled walls, overhanging eaves, three-part two-story front bay, inset front entry porch with decorative frieze paneling, oriel window bay at the northwest corner, Palladian windows in the south gable, tripartite window at the north gable, and a majority of the original windows extant on the primary and secondary elevations.

The Shingle Style is a uniquely American architectural style, Shingle-styled homes often incorporate features and elements of the Queen Anne style, such as projecting gables, wide porches, towers, and asymmetrical building forms and roof shapes. However, Shingle homes differ by the use of wood shingling as the primary wall and roof cladding material. Other attributes include dormers in curved, eyebrow and polygonal shapes; Palladian windows in the main gable bays; and arched or lancet ribbon windows. Several Shingle-styled homes exist in Evanston, including 17 within the Lakeshore Historic District.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Demolition

1. Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the City and the State.

2. Whether the property, structure or object relates to the distinctive historic, cultural, architectural or archaeological character of the district as a whole and should be preserved for the benefit of the people of the City and the State.
3. Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable district.
4. Whether the property, structure or object is of such old, unusual or distinctive design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.
5. Whether the property, structure or object is of such physical condition that it represents a danger and imminent hazard condition to persons or property and that retention, remediation, or repair are not physically possible or require great difficulty and/or expense.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

6. *Rhythm of entrance porches, storefront recesses, and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed** by the City of Evanston's Zoning staff **before or by no later than** the submission deadline of the completed COA application. Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 1221 Hinman Ave.	FOR STAFF USE ONLY Application Number:
2) Owner's Name: ja Jake and Katie Schtevie	Address: 1221 Hinman Ave
City: Evanston State: IL Zip: 60201	Phone: 917-855-3522 Email/Fax: Katie.schtevie@gmail.com
3) Architect's Name: Shumaker Design + Build Associates Garry Shumaker, RA, AIA, NCARB	Address: 705 Washington St.
City: Evanston State: IL Zip: 60202	Phone: 847.864.0959 Email/Fax: garry@shumakerdesignassociates.com
4) Contractor's Name:	Address:
City: State: Zip:	Phone: Email/Fax:
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).	
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No; If yes, <input checked="" type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources	
7) Refer to the completed Zoning Analysis and check as applicable if project requires: <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only. Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.	

Section B: Application for Certificate of Appropriateness

- 1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

We propose to renovate the existing non-original 1 story addition at the rear (east side) of the house as well as the existing non-original detached garage. We will construct a new roof over the 1-story structure and add a greenhouse with basement access. We will also fill in the area below the projecting second floor on the rear at the deck. We will construct a new open framed deck. We will refurbish all the original wood windows that remain. The original screen porch and front porch will be refinished and we will replicate all the original railing details. All the siding trim and details of the original house will be duplicated on the addition. The rear facing part of the uppermost portion of the main roof will receive solar panels. The panels will be mounted as flat on the roof as possible and will not be visible from the street. We also propose to construct a new detached garage at the rear of the property. The new structure will replicate the roof lines, materials and details on the original house.

- 2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input checked="" type="checkbox"/> Total	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Garage: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Restoration Style/Materials:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Air Conditioning Unit	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.							
Existing	Proposed		Existing	Proposed		Existing	Proposed
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Façades/Front Porch & Rear Porch Material	<input type="checkbox"/>	<input type="checkbox"/>	Flashing Material	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Wood Frame	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Copper	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Stone	<input type="checkbox"/>	<input type="checkbox"/>	Sheet Metal	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Brick	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Stucco	<input type="checkbox"/>	<input type="checkbox"/>	Fascias, Soffits, Rakeboards, Trim	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Siding	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Material, Type: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Shingle, Material: _____ painted cedar	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Roofing Material	<input type="checkbox"/>	<input type="checkbox"/>	Door Material	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingles	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shakes	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Slate	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Clay Tile	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Asphalt Shingles	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Metal Sheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Window Type	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Double Hung	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Chimney Material	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Casement	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Brick	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Stone	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Window Material	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Gutters/Downspouts	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Other: wood/clad	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Copper	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Aluminum	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Muntins	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Galvanized Sheet	<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>
			<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>
4) Applicant's Signature: 						Date:	
Print Name: Garry Shumaker, RA, AIA, NCARB						4/18/23	
Proceed to Section C if you are requesting a zoning or fence variation and/or special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].							

BUILDING LOT COVERAGE

	EXISTING	PROPOSED
Principal Structure Footprint (excluding front porch)	1781 sf	2132 sf
Roofed Front Porch (receives 50% credit)	45 sf (90 x .5)	45 sf (no change)
Detached Garage Footprint	514 sf	598 sf
Other Accessory Structures' Footprints	n/a	n/a
Other Roofed Areas	n/a	n/a
TOTAL BUILDING LOT COVERAGE	2340 sf	2814 sf

BUILDING SETBACKS

	EXISTING	PROPOSED
Front yard	42'-3 1/4"	No Change
Street side yard (if corner lot)	n/a	n/a
Interior side yard (1)	2'-3 3/4"	No Change
Interior side yard (2)	5'-0"	No Change
Rear yard	81'-7" (To exist. deck)	73'-6" (to new deck)



Existing Northeast Photo



Existing Southeast Photo

SCHTEVIE RESIDENCE
1221 HINMAN AVE.

4/18/2023

**SHUMAKER
 DESIGN
 ASSOCIATES**

**705 WASHINGTON ST.
 EVANSTON IL 60202
 847.864.0595**

SHUMAKERDESIGNASSOCIATES.COM

IMPERVIOUS SURFACE COVERAGE (hard surfaced areas not under a roof: asphalt, concrete, decks, brick pavers, etc.)

	EXISTING	PROPOSED
Patios & Terraces (brickwork receives 20% credit)	681 sf (852 x .8)	565 sf (705 x .8)
Sidewalks		51 sf (conc. stairs)
Driveways	417 sf (apron and pavement)	147 sf (conc. apron and pad)
Decks (maximum 3% of lot area excluded = 285 SF)	201 sf (486 - 285)	5 sf (290 - 285)
Stairs/Landings	170 sf	187 sf
Other Impervious Areas		
SUB-TOTAL	1469 sf	963 sf
+ Building Lot Coverage	2255 sf	2814 sf
TOTAL IMPERVIOUS SURFACE AREA	3724 sf	3769 sf

BUILDING HEIGHT

	EXISTING	PROPOSED
Principal Structure – Peak Height	40'-4"	No Change
Principal Structure – Number of Stories	2-1/2	No Change
Detached Garage – Peak Height	13'-0"	15'-5"
Other Accessory Structures – Peak Height	n/a	n/a



Existing Northeast Photo



Existing Southeast Photo

SCHTEVIE RESIDENCE
1221 HINMAN AVE.

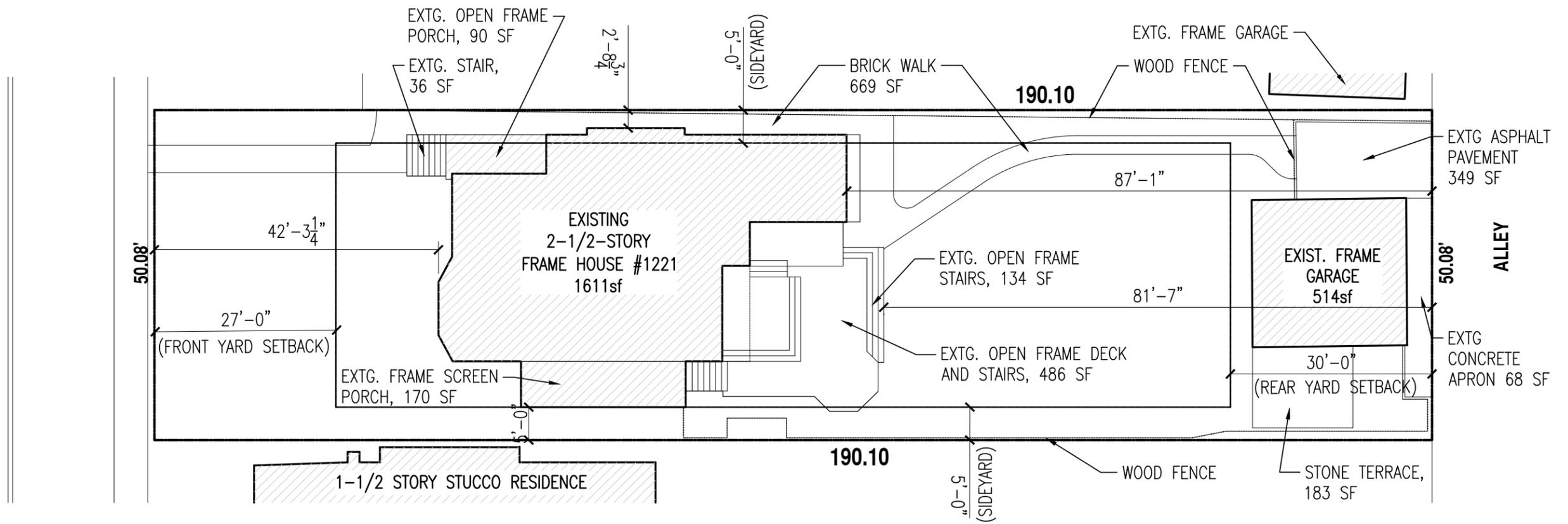
4/18/2023

**SHUMAKER
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847.864.0595

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HINMAN AVENUE



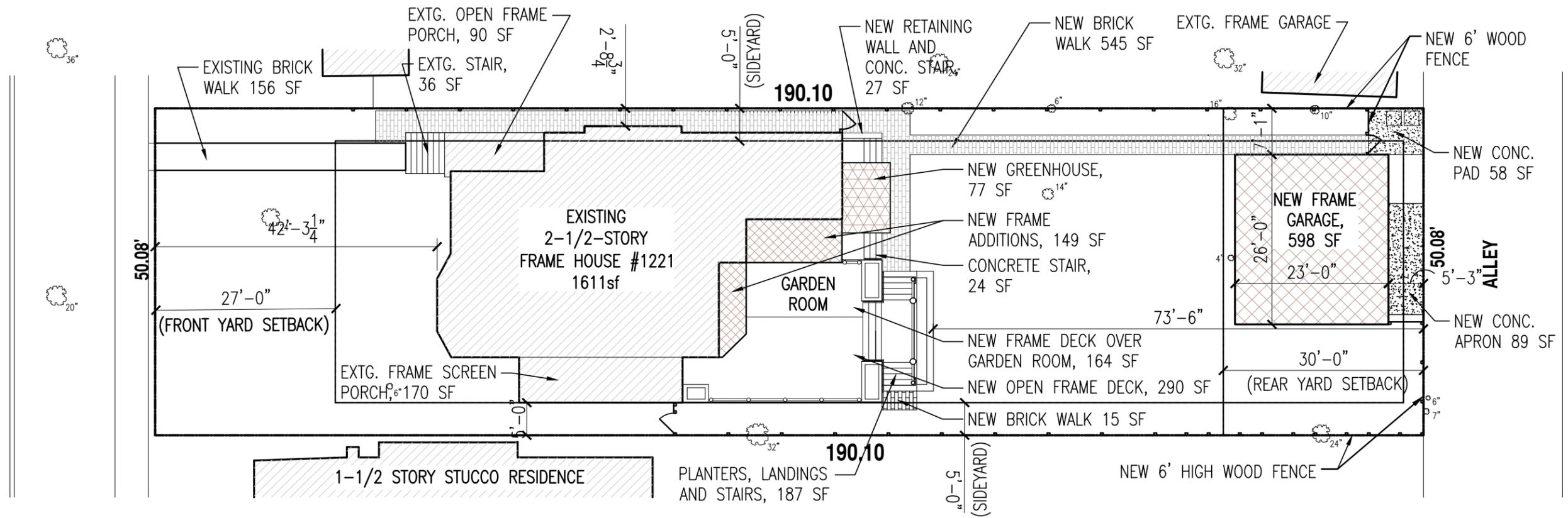
1 Existing Site Plan
 SCALE : 1"=15'-0"

SCHTEVIE RESIDENCE
1221 HINMAN AVE.

4/18/2023

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HINMAN AVENUE



1 Proposed Site Plan
 SCALE : 1"=15'-0"

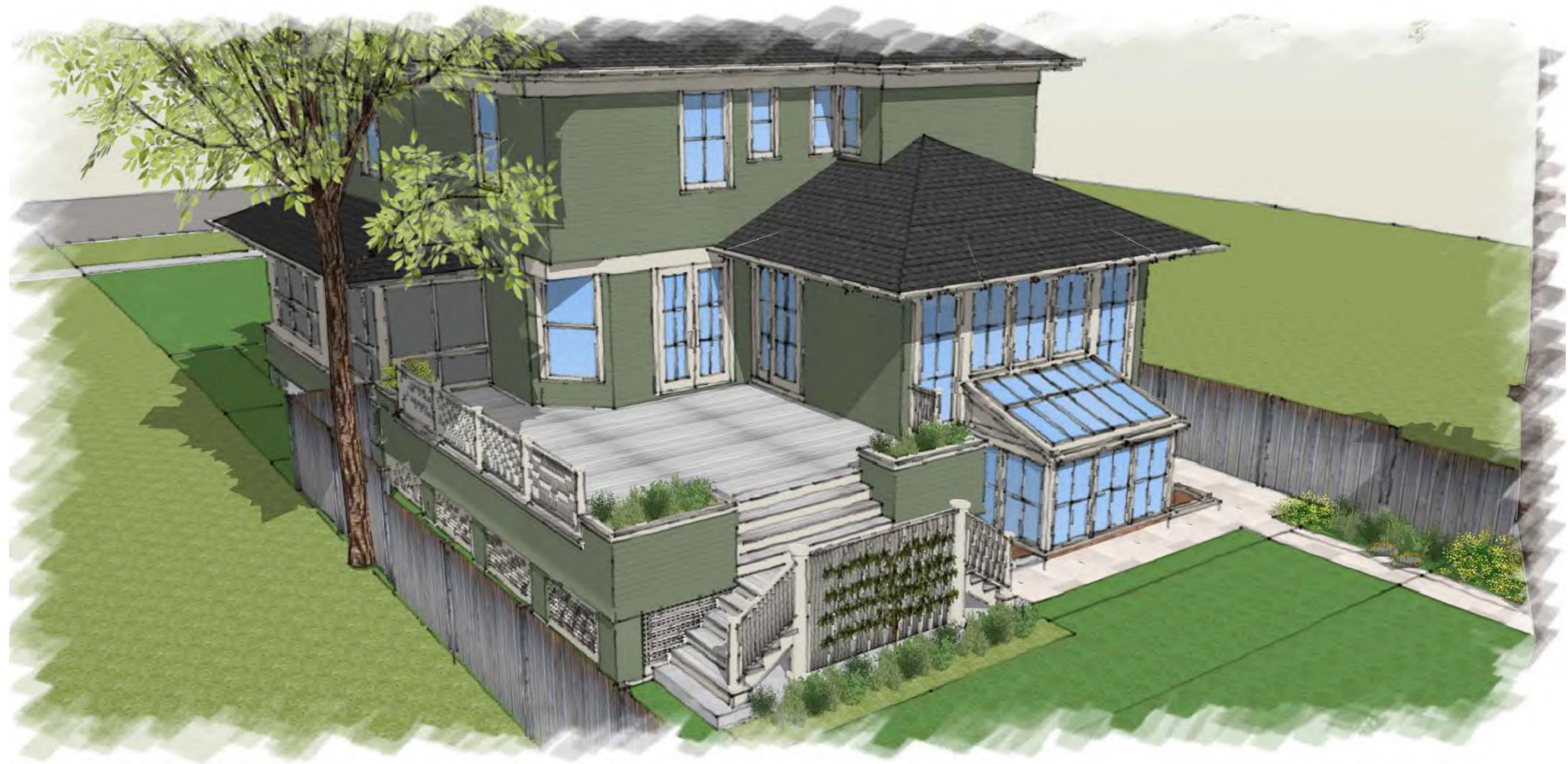
SCHTEVIE RESIDENCE
1221 HINMAN AVE.

4/18/2023

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 847.864.0595

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View of Addition From Southeast

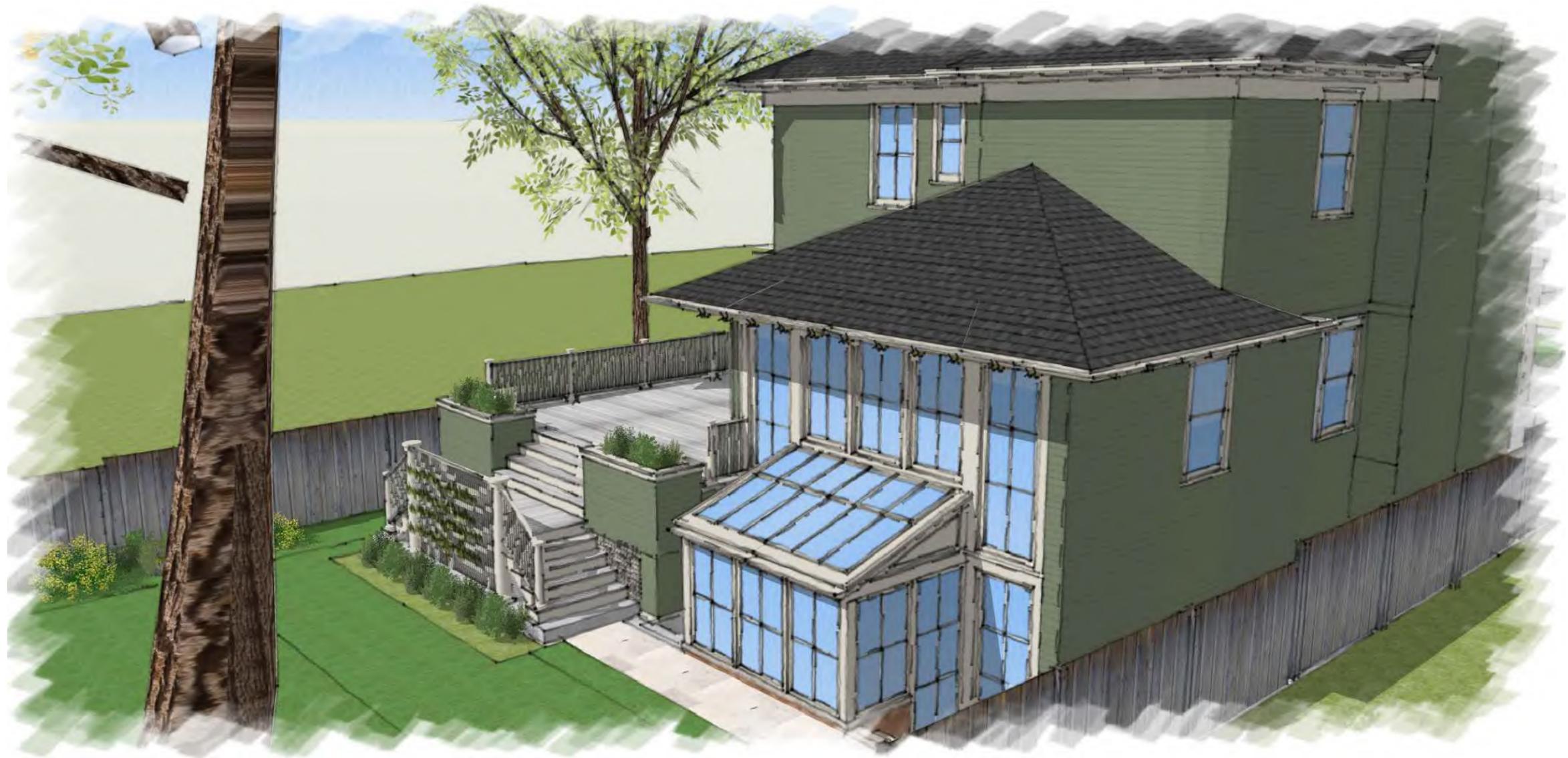
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View of Addition From Northeast

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View From Northeast

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View From Alley (Northeast)



View From Alley (South east)

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View From Backyard (Southeast)



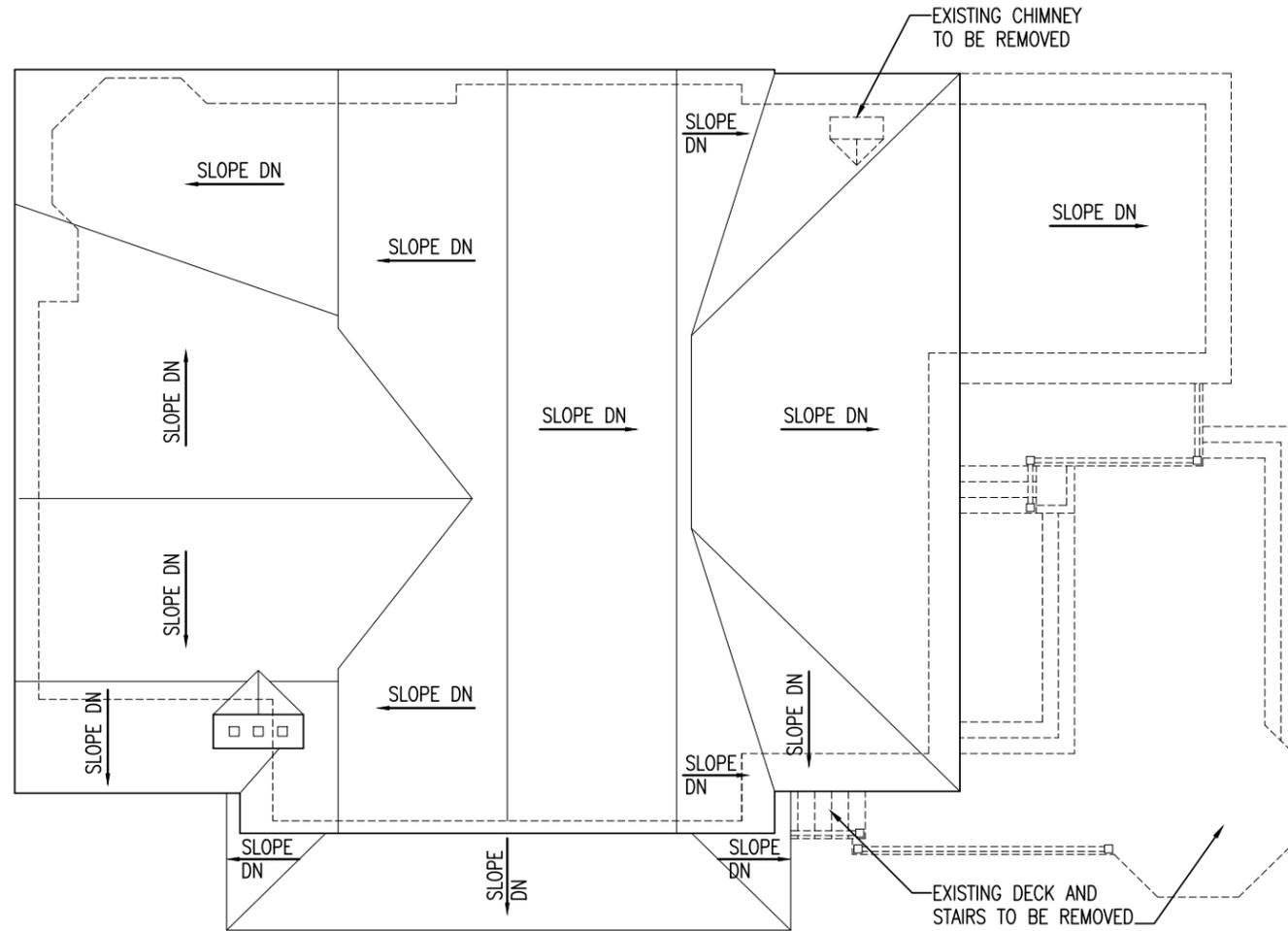
View From Backyard (Southwest)

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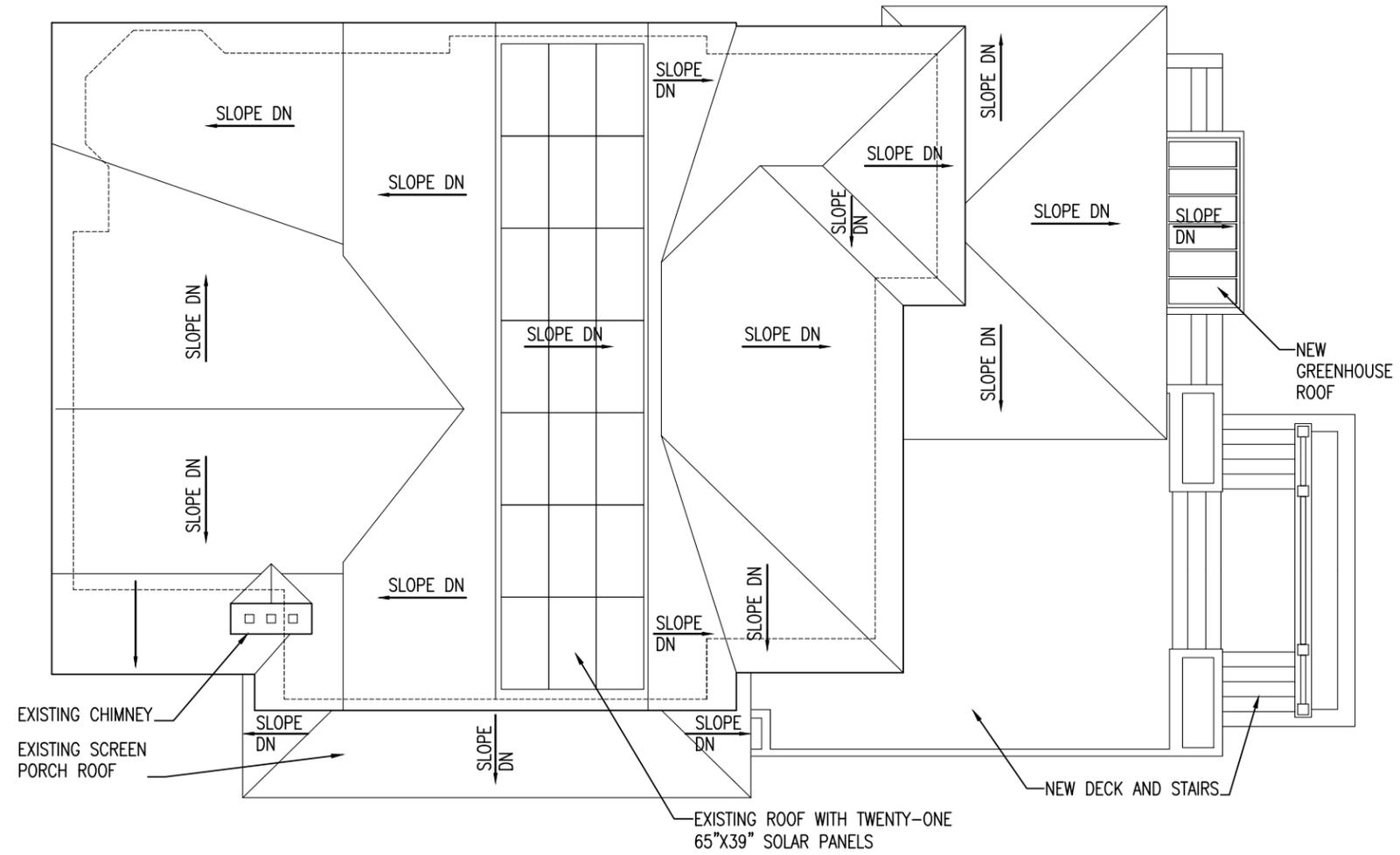
1 Existing Roof Plan
 SCALE: 1/8"=1'-0"

SCHTEVIE RESIDENCE
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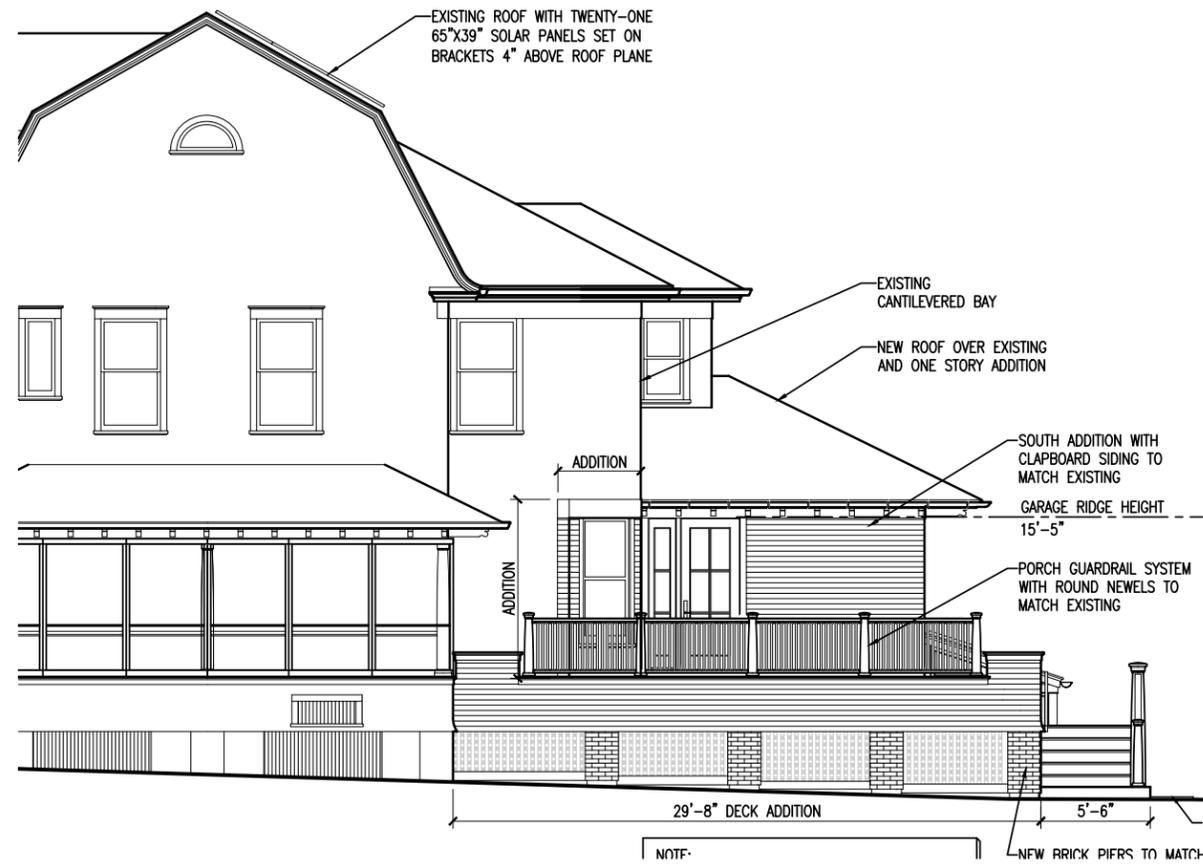


1 Proposed Roof Plan
 SCALE: 1/8"=1'-0"

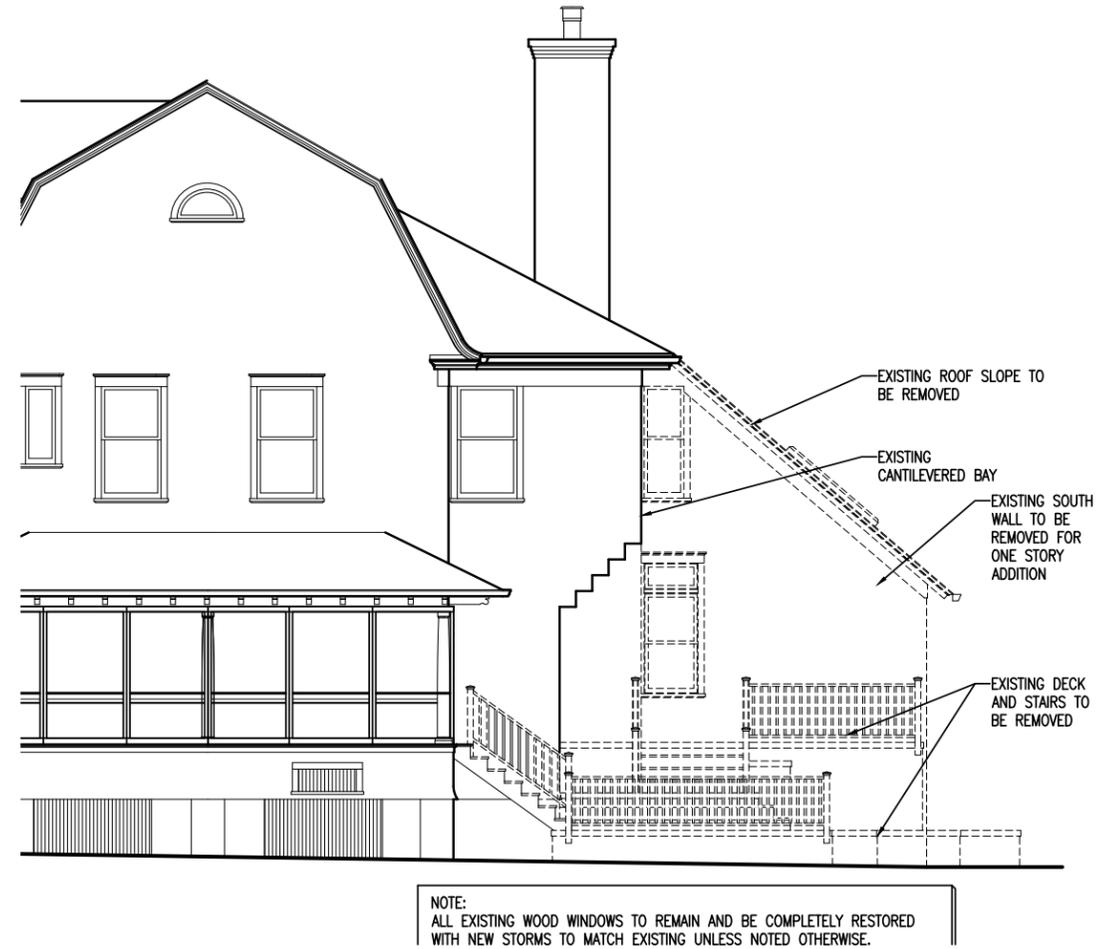
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2 Proposed South Elevation
SCALE 3/8"=1'-0"



1 Existing South Elevation
SCALE 3/8"=1'-0"

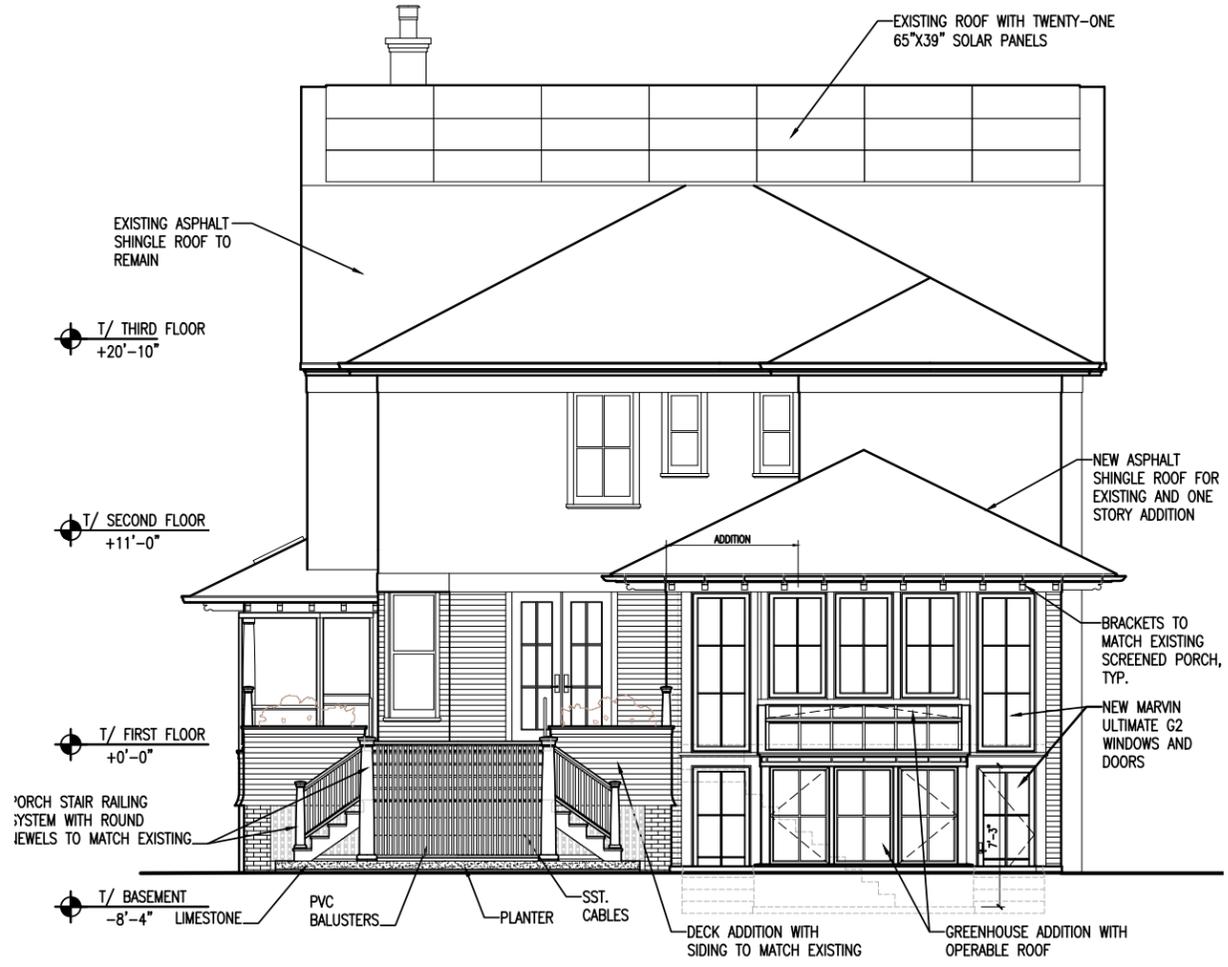
SCHTEVIE RESIDENCE
1221 HINMAN AVE.

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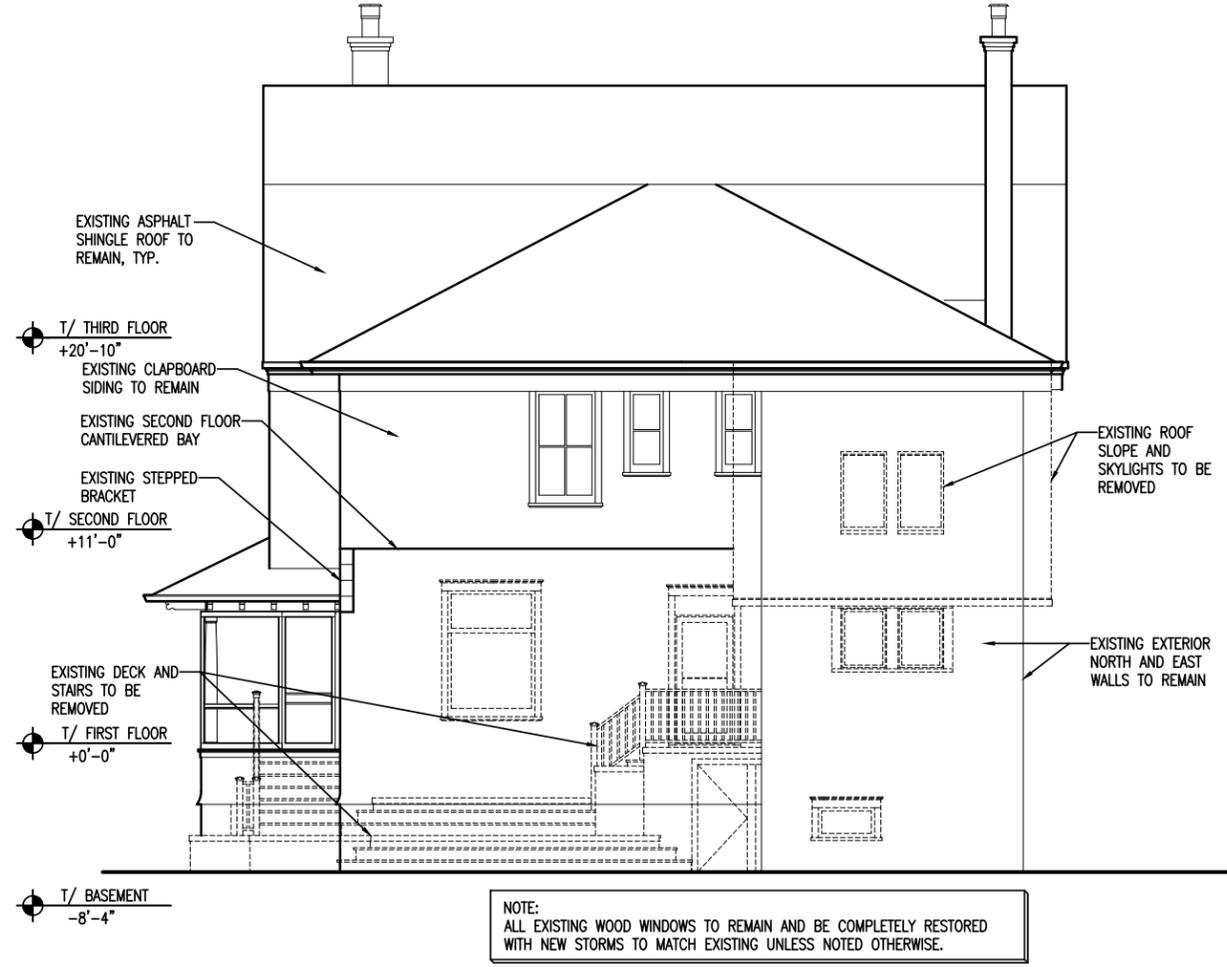
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2 Proposed East Elevation
SCALE: 3/8" = 1'-0"

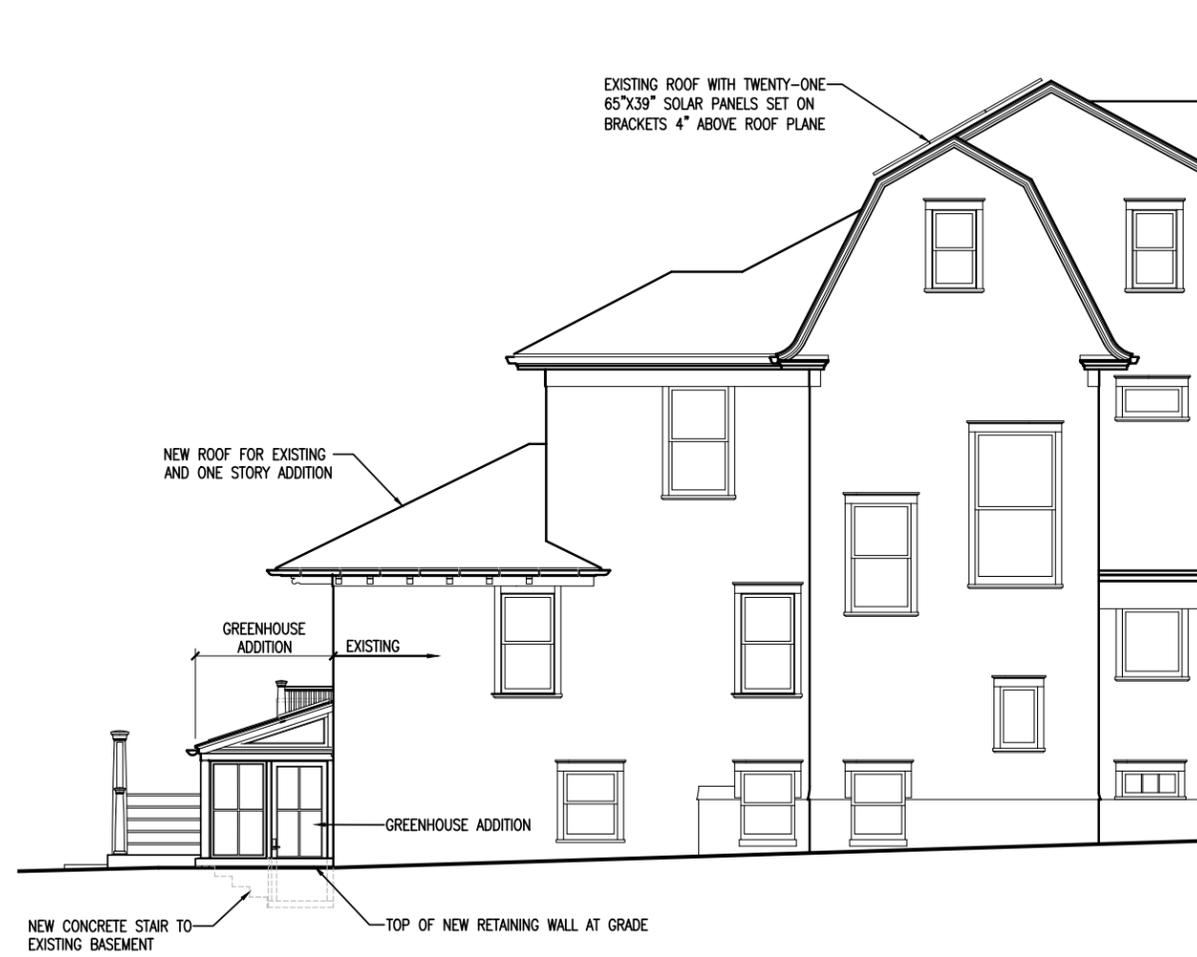


1 Existing East Elevation
SCALE: 3/8" = 1'-0"

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2 Proposed North Elevation
SCALE: 3/8"=1'-0"



1 Existing North Elevation
SCALE: 3/8"=1'-0"

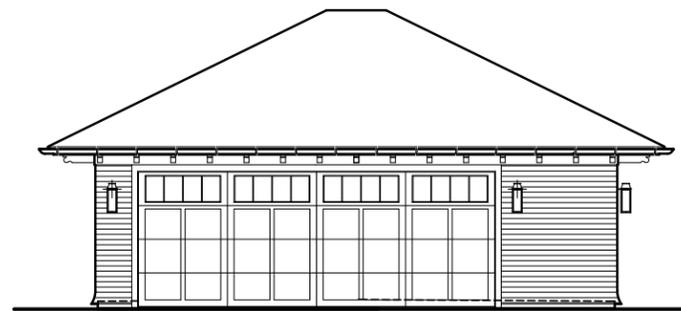
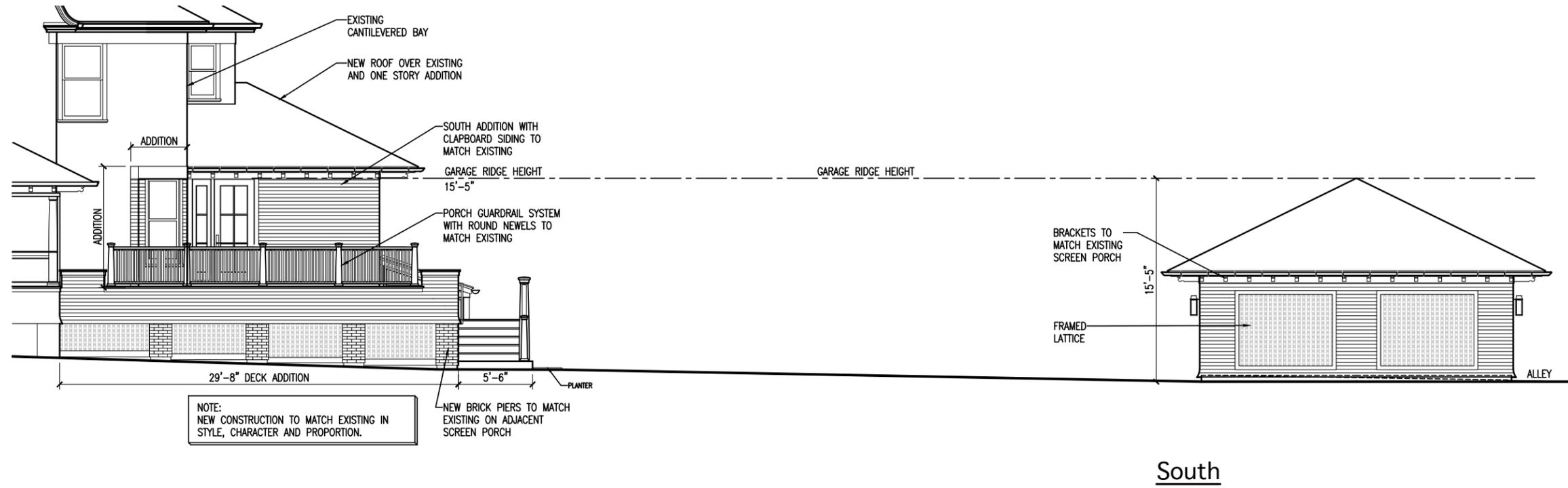
SCHTEVIE RESIDENCE
1221 HINMAN AVE.

4/18/2023

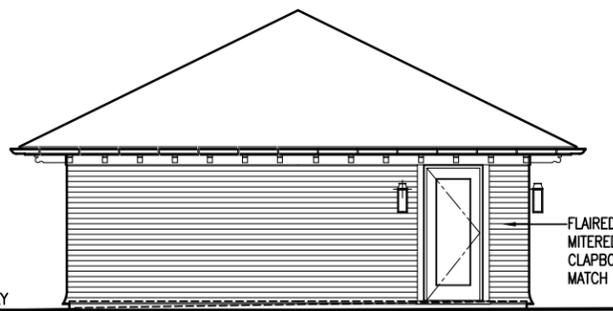
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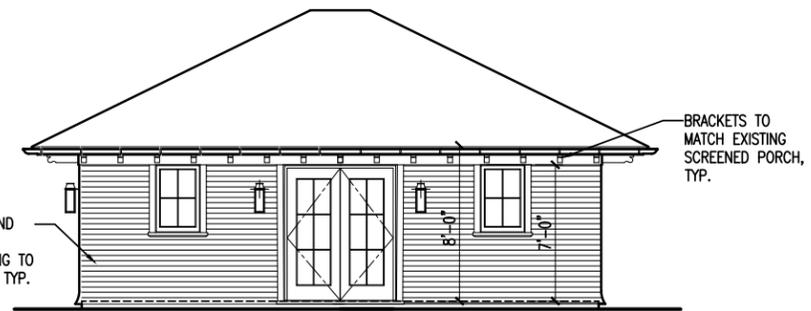
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East



North



West

NOTE:
NEW CONSTRUCTION TO MATCH EXISTING IN
STYLE, CHARACTER AND PROPORTION.

Proposed Garage Elevations

SCALE : 1/8" = 1'-0"

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Proposed New Windows

NOTE 1: . FULL WINDOW RESTORATION OF EXISTING WINDOWS WITH ORIGINAL DIVIDED LIGHT CONFIGURATION. (CONFIGURATION TO MATCH FUNCTION OF WINDOW LOCATION) REMOVE SASHES AND STOPS FROM THE SITE AND MAKE OPENINGS SECURE. SHOP DISASSEMBLE, REPAIR AND REPLACE IF NECESSARY DAMAGED PARTS. REPLACE MISSING HARDWARE TO MATCH EXISTING, REPLACE CHAINS.ADD NEOPRENE BULB WEATHERSTRIPPING ON JAMBS, SILL AND AT PARTING STOP. ABATE LEAD PAINT FROM ALL REMAINING SURFACES, REMOVE/ABATE EXISTING GLAZING PUTTY. SHOP FINISH ALL SIDES OF SASHES, STOPS AND MISC. PARTS, REINSTALL EXISTING GLAZING WITH GLAZING PUTTY AND REFINISH WOOD INSIDE AND OUT. REPAIR AND REFINISH SILLS. VERIFY ALL DIMENSIONS IN THE FIELD.

Existing Window Restoration

FULL FRAME OR NARROW FRAME

The Ultimate Casement and Ultimate Casement Narrow Frame windows are the most versatile and innovative casement windows ever produced. Featuring concealed multi-point locks, a patented Wash Mode, and durable hardware that operates smoothly even at the largest sizes.



ULTIMATE CASEMENT
A recessed sash for a traditional look, plus a full jamb offers design flexibility for new construction or full frame replacement.



ULTIMATE CASEMENT NARROW FRAME
A flush sash to the exterior and narrow jamb depth make this window an easy choice for frame-in-frame replacement or more contemporary new construction applications.

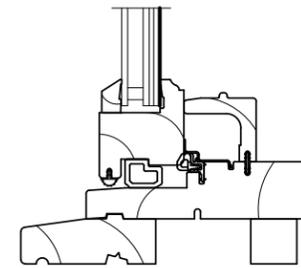
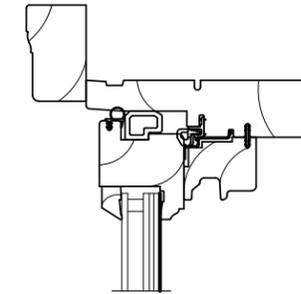


ULTIMATE CASEMENT EXTERIOR VIEW WITH 4 1/4" FULL JAMB

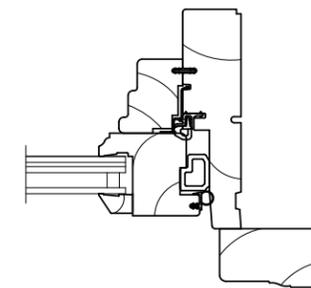
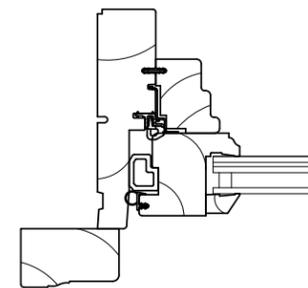


ULTIMATE CASEMENT NARROW FRAME EXTERIOR VIEW WITH 2 1/4" NARROW JAMB

JAMBS + PROFILES
The Ultimate Casement has a recessed sash for a traditional or historic look. The Ultimate Casement Narrow Frame has a flush-to-frame sash for a contemporary look.



Head and Sill



Jambs

Proposed Window Details

SCALE :1"=1'-0"

SCHTEVIE RESIDENCE
1221 HINMAN AVE.

4/18/2023

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STATEMENT OF SIGNIFICANCE

This early, simple, shingle Queen Anne design is topped by an intersecting gambrel roof on the third floor with a four-part window on the front gable, a Palladian window on the south gable, and a tripartite window on the north gable. A polygonal protrusion appears on the first and second floors on the south end of the front, while a polygonal oriel is lodged on the second floor at the north-west corner above a deep porch with columns, header, and decorative corner braces. All this is enclosed within a basic cubic shape defined by the roofs. Clapboards, shingles, and window frames define a tight skin across the structure. The building has excellent integrity.



EVANSTON LANDMARK

ADDRESS: 1221 Hinman

COMMON NAME: Same

REAL ESTATE INDEX NUMBER:

DATE OF CONSTRUCTION: c.1880?

ARCHITECT OR BUILDER: Unknown

ORIGINAL SITE MOVED

SIGNIFICANCE:

HISTORICAL H1 H2 H3ARCHITECTURAL A4 A5 A6 A7 A8 A9

OTHER COMMENTS:



BEGINNING STREET #

END STREET #

STREET # SUFFIX

STREET NAME

SUFFIX

PIN



LOCAL

WITHIN LOCAL DISTRICT?

LOCAL DISTRICT CONTRIB/NON-CONTRIB?

LOCAL LANDMARK? YEAR

LOCAL LANDMARK ELIGIBLE?

CRITERIA:

NATIONAL REGISTER

WITHIN NR DISTRICT?

NR DISTRICT CONTRIB/NON-CONTRIB?

NR LANDMARK? YEAR

NR ELIGIBLE? CRITERIA

PHOTO ID

ALTERNATE ADDRESS?

GENERAL INFORMATION

CATEGORY CURRENT USE

CONDITION HISTORIC USE

INTEGRITY SECONDARY STRUCTURE

NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Dutch Colonial Revival"/>	ROOF TYPE	<input type="text" value="Side gambrel"/>
DETAILS	<input type="text" value="Queen Anne"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1892"/>	FOUNDATION	<input type="text" value="Parged"/>
OTHER YEAR	<input type="text"/>	PORCH	<input type="text" value="Front entry"/>
DATESOURCE	<input type="text" value="Evanston Press"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Wood"/>	WINDOW MATERIAL 2	<input type="text" value="Aluminum/vinyl"/>
WALL MATERIAL 2 (current)	<input type="text" value="Wood - shingle"/>	WINDOW TYPE	<input type="text" value="Double hung/casement/fixe"/>
PLAN	<input type="text" value="Rectangular"/>	WINDOW CONFIGURATION	<input type="text" value="1/1; 1-light; multi-light"/>
NO OF STORIES	<input type="text" value="2.5"/>		

SIGNIFICANCE

HISTORIC FEATURES

ADDRESS

1221		HINMAN	AVENUE
------	--	--------	--------

ALTERATIONS

Replacement windows in original openings under front gambrel.

HISTORIC INFORMATION

**OLD ADDRESS
(city dir.year)**

121n Hinman Ave (Starwood) , Village of Evanston. In 1893 the City of Evanston renumbered the once-separate villages of Evanston (n) & South Evanston (s).

ORIGINAL OWNER

Starwood, Thaddeus P.

ORIGINAL ARCHITECT

Lane, J. C.

BUILDING MOVED?

No

ARCHITECT SOURCE

Evanston Press 1892.04.23, p. 5.

MOVED FROM

BUILDER

ADDITIONAL PHOTOGRAPHS



PHOTO ID2 \Images\11-19-201-008-0000-2.jpg



PHOTO ID3 \Images\11-19-201-008-0000-3.jpg

OTHER PINS

SURVEYOR

Lara Ramsey

SURVEYOR ORGANIZATION

GRANACKI HISTORIC CONSULTANTS

SURVEY DATE

2/20/2012

Historic Info Compiler

aoe

SURVEYAREA

EVANSTON LAKESHORE PHASE II

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

1221 [] HINMAN AVENUE

OLD ADDRESS (city dir.year) 121n Hinman Ave (Stanwood) , Village of Evanston. In 1893 the City of Evanston renumbered the once-separate villages of Evanston (n) & South Evanston (s).

DATE OF CONSTRUCTION 1892

MOVING INFORMATION

BUILDING MOVED? No

MOVING PERMIT # [] **DATE** []

MOVED FROM []

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # Ev Press 1892.04.23 **DATE** 1892

BUILDING PERMIT DESCRIPTION [2½-story dwelling on 1899 Sanborn map]

COST []

ORIGINAL OWNER Stanwood, Thaddeus P.

ORIGINAL OWNER OCCUPIED? yes

ORIGINAL ARCHITECT Lane, J. C.

ARCHITECT SOURC Evanston Press 1892.04.23, p. 5.

BUILDER []

EXTERIOR ALTERATION PERMITS

[]

OTHER PERMIT INFO

BP34107, 1959.05.11, 1-story 2-car garage, WRECK old garage \$1480, owner Howard Grimes, carpenter Henrikson

COA INFO

[]

HISTORIC INFO

Louise Brockway Stanwood successfully lobbied IL state legislature to protect working women & children & for public kindergartens. Helped organize PTA predecessor. In 1892 she was the first woman elected to Dist, 76 school board in Evanston. [MB Perkins]

OTHER SOURCES

Evanston Landmark (1978). ELHD #106. PHOTO at EHC: Quinlan & Tyson 1954; Ward H. Harris realtor 1962.

HISTORIC INFO COMPILER ace

City of EVANSTON
LAKESHORE HISTORIC DISTRICT RE-SURVEY
CONTINUATION SHEET

STREET # 1221

STREET HINMAN AVENUE

ADDITIONAL PHOTOS OR INFORMATION

Historic Features

Side gambrel roof; intersecting front gambrel with shingled walls and overhang at peak and eaves; three-part two-story front bay; inset front entry porch at north end of front elevation, with round columns and decorative frieze panels; three-part oriel window bay above entry porch; nested two-story gambrel bay on north elevation; historic 1/1 wood windows on front and side elevations; historic paneled wood door.



**Zoning Analysis
Summary**

Review Date: 4/13/23

Case Number:

Case Status/Determination:

23ZONA-0031 - 1221 HINMAN AVE

COMPLIANT

Applicant:

**Plans prepared by: SHUMAKER DESIGN
ASSOCIATES**

Plans dated: APRIL 4, 2023

Survey dated: JUNE 20, 2022

District: R1

Proposal:

Remove existing rear deck and roof on single story structure. Construct new raised deck and rebuild roof over existing single story. Add greenhouse and new rear entry. Construct new detached 2-car garage at rear yard.

Non-compliant:

Code Section	Proposed and Required	Recommendation
		Revision required, Apply for variation (if no alternative exists), Revision recommended (with simple correction), See additional comment # below.

Additional Comments:

Principal Use and Structure:	
<i>Zoning Code Section</i>	<i>Use: Include standard, existing, and proposed; Indicate Compliant, Non-compliant, No change, Legal non-conforming</i>
6-8-2-6	Lot width: 50.08 FT - NO CHANGE
6-8-2-5	Lot size: 9,520.08 S.F. (50.08' x 190.10') – NO CHANGE
	Dwelling Units #: 1
6-8-2-7	<p>Building Lot Coverage: In R1 district maximum allowed is 30% of lot area</p> <p>Proposed:</p> <p>45 S.F. Front open porch facing the public way (after 50% credit) 170 S.F. Side screen porch facing the public way 1611 S.F. Main house 149 S.F. New rear additions 77 S.F. New greenhouse 164 S.F. New frame deck over garden room at rear yard (Non-exempt) 598 S.F. New frame garage</p> <p>2,814 S.F. TOTAL</p> <p>Maximum allowed 2,856 S.F. (9,520 x 30% = 2,856) COMPLIANT</p>
6-8-2-10	<p>Impervious Surface Coverage: Proposed:</p> <p>438 S.F. New brick walk (after 20% credit) 125 S.F. Existing front yard brick walk (no change) (after 20% credit) 28 S.F. Front porch stairs (after 20% credit) 12 S.F. New brick rear deck stair landing (after 20% credit) 150 S.F. Planters, landings and stairs at rear deck (after 20% credit) 24 S.F. Concrete stairs 27 S.F. Retaining wall and concrete stairs 58 S.F. Concrete pad next to garage 89 S.F. Concrete apron</p> <p>950 S.F. + 3019.4 S.F. lot coverage = 3,969.4 S.F. TOTAL</p> <p>Maximum allowed = 4,284 S.F. (9,520 x 45% = 4,248) COMPLIANT</p>
	Accessory Structure Rear Yard Coverage:
	Gross Floor Area
6-8-2-9	Building Height: 38'-9" to roof ridge of the primary structure. Existing, no change
	Yards:

	<p>Front: 42'-3 ¼"</p> <p>Street Side:</p> <p>Interior Side: (North) 2'-8 ¾" Existing, no change</p> <p>Interior Side: (South) 5'-0" Existing, no change</p> <p>Rear: (East) 79'-11"</p>
Accessory Use and Structure 1: NEW GARAGE	
	Location (Yard): Rear yard (east)
6-4-6-4	Height: 15'-5" ft Proposed new garage; maximum allowed = 28 ft COMPLAINT
6-4-6-2	Distance from Principal Building: 51'-7" ft; required 10'-0" COMPLIANT
6-4-1-9 (B) 1.	<p>Yards:</p> <p>Front:</p> <p>Street Side:</p> <p>Interior Side: (North) 7'-1" – 2'-6" eave = 4'-6" (no more than 10%); minimum required = 5'-0" COMPLIANT</p> <p>Interior Side: (South) 17'-0"; minimum required = 5'-0" COMPLIANT</p> <p>Rear: (EAST) 5'-3" – 2'-6" eave = 2'-3" (n more than 10%); minimum required = 3'-0" COMPLIANT</p>
Accessory Use and Structure 2:	
	Location (Yard):
	Height:
	Distance from Principal Building:
	<p>Yards:</p> <p>Front:</p> <p>Street Side:</p> <p>Interior Side:</p> <p>Interior Side:</p>

	Rear:
Parking Requirement: Single Family	
Chapter 16, TABLE 16-B SCHEDULED OF MINIMUM OFF STREET PARKING REQUIREMENTS	Use 1: Single family Use 2: Use 3: Total Required: 2
	Handicapped Spaces:
	Access:
	Vertical Clearance:
	Surface:
	Location:
	Parking Angle 1: Parking Space Size: Drive Aisle Width: Module: Parking Angle 2:
Loading Requirements:	
	Use 1: Use 2: Use 3: Total Number of Short/Long Loading Berths:
	Long Berth Size:
	Short Berth Size:
	Vertical Clearance:
	Location:
Miscellaneous:	



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, Planner
Subject: 833 Michigan Avenue – 23PRES-0067
Date: May 2, 2023

Public Notice

833 Michigan Avenue – Lakeshore Historic District - 23PRES-0067

Kaufman O'Neil, applicant and architect, submits for a Certificate of Appropriateness to enclose an existing screen porch, and construct a new one-story addition and screen porch at the homes rear volume.

Applicable Standards: Alteration [1-10]; and Construction [1-8, and 10-15]

Construction Period:
Circa 1885

Style:
Queen Anne

Architect of Record:
Unknown

Condition:
Good

Integrity:
Fair

Status:
Contributing

Setting:

833 Michigan Avenue is located in the southeast portion of the Lakeshore Historic District on the east side of Michigan Avenue midblock between Main Street to the north and Kedzie Street to the south. The block is not dissimilar to the blocks immediately north and west which were excluded from the Districts boundaries due to heavy encroachment of multi-family buildings. 833 Michigan and its adjacent single-family residences are survivors of that trend, and representative of the significant changes in land use and housing preferences that occurred in Evanston in the 1920s -- a period which saw a 70% increase in the City's population, and a building boom not seen since. This dramatic shift in the built environment ultimately led to adoption of the first zoning ordinance in Illinois – an effort to retain Evanston's verdant, suburban, single-family character. Ironically, 100 years later, the resulting juxtaposition and diversity of residential densities, socio-economic strata, architectural forms and styles, and housing choice, has created a unique identity and richness in built fabric that is desirable but not replicable under current land-use controls.

Significance:

Although alterations to materials and wall surfaces have occurred, the building retains the majority of its architectural features including its roof shape, window openings, and spare ornamentation/detailing. It contributes to the District by way of its mass and form.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Construction

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of the facades shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

6. *Rhythm of entrance porches, storefront recesses, and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

14. *Innovative design.* Innovative design for new construction and additions to existing properties shall not be discouraged when such new construction or additions do not destroy significant historic, cultural or architectural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Application for Preservation Review of Certificate of Appropriateness (COA)



**Binding Review of Certificate of Appropriateness (COA) &
Advisory Review of Zoning/Fence Variations, Special Uses, and Planned Developments**

This application is required for exterior work affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when visible from the public way.

To process your application, submit the following via email to preservation@cityofevanston.org:

- one (1) pdf format copy of the fully completed application
- plat of survey
- site plan
- floor plans (recommended, not required)
- elevation drawings of the existing and proposed windows/doors
- 3D drawings of the proposed alteration/addition/construction (not to exceed 11" x 17" paper size)

The Preservation Commission meetings are on the **second Tuesday** of the month and the completed COA must be received **15 business days** prior to the meeting to allow time for staff review and feedback. All required materials must be to scale with dimensions, and in context with the principal structure and immediate/adjacent structures on the same street block. **Incomplete applications will not be accepted.**

For new construction, additions, major alterations, and demolition, a notice of the Preservation Commission meeting will be sent to the property owners within 250 feet of the subject property, 5 business days prior to the scheduled meeting. **Zoning Analysis must be completed by the City of Evanston's Zoning staff before or by no later than the submission deadline of the completed COA application.** Zoning staff requires at least **15 business days** to complete a zoning analysis. Review times by staff can vary depending on the season so please allow plenty of time.

Completed applications will be scheduled for review at the next available meeting, as long as all the required information is provided on the deadline. Applicants are asked to present at the scheduled meeting to the Preservation Commission a brief overview of the project.

Section A. Required Information (Print) * Refer to the Supplemental Information for guidance [page "i" fifth below].

1) Property Address: 833 Michigan Ave.	FOR STAFF USE ONLY Application Number:																				
2) Owner's Name: Elizabeth Wall & Jorge Alonso	Address: 833 Michigan Ave.																				
<table style="width: 100%; border: none;"> <tr> <td style="width: 25%;">City:</td> <td style="width: 25%;">State:</td> <td style="width: 25%;">Zip:</td> <td style="width: 25%;">Phone:</td> <td style="width: 20%;">Email/Fax:</td> </tr> <tr> <td>Evanston</td> <td>Il.</td> <td>60202</td> <td>847-899-9386</td> <td>jorgebeth@att.net</td> </tr> </table>	City:	State:	Zip:	Phone:	Email/Fax:	Evanston	Il.	60202	847-899-9386	jorgebeth@att.net	<table style="width: 100%; border: none;"> <tr> <td style="width: 25%;">City:</td> <td style="width: 25%;">State:</td> <td style="width: 25%;">Zip:</td> <td style="width: 25%;">Phone:</td> <td style="width: 20%;">Email/Fax:</td> </tr> <tr> <td>Evanston</td> <td>Il.</td> <td>60201</td> <td>847.440.2180</td> <td>koa@kaufmanoneil.com</td> </tr> </table>	City:	State:	Zip:	Phone:	Email/Fax:	Evanston	Il.	60201	847.440.2180	koa@kaufmanoneil.com
City:	State:	Zip:	Phone:	Email/Fax:																	
Evanston	Il.	60202	847-899-9386	jorgebeth@att.net																	
City:	State:	Zip:	Phone:	Email/Fax:																	
Evanston	Il.	60201	847.440.2180	koa@kaufmanoneil.com																	
3) Architect's Name: Kaufman / O'Neil Architecture	Address: 1102 Davis Street																				
4) Contractor's Name: TBD	Address:																				
<table style="width: 100%; border: none;"> <tr> <td style="width: 25%;">City:</td> <td style="width: 25%;">State:</td> <td style="width: 25%;">Zip:</td> <td style="width: 25%;">Phone:</td> <td style="width: 20%;">Email/Fax:</td> </tr> </table>	City:	State:	Zip:	Phone:	Email/Fax:	<table style="width: 100%; border: none;"> <tr> <td style="width: 25%;">City:</td> <td style="width: 25%;">State:</td> <td style="width: 25%;">Zip:</td> <td style="width: 25%;">Phone:</td> <td style="width: 20%;">Email/Fax:</td> </tr> </table>	City:	State:	Zip:	Phone:	Email/Fax:										
City:	State:	Zip:	Phone:	Email/Fax:																	
City:	State:	Zip:	Phone:	Email/Fax:																	
5) Landmark: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * Refer to the Supplemental Information for guidance on page (i) (fifth page below).																					
6) Within Local Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No; If yes, <input checked="" type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Apartment Thematic Resources																					
7) Refer to the completed Zoning Analysis and check as applicable if project requires: <input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Minor Zoning Variance; <input type="checkbox"/> Fence Variance → If one or more is checked, then fill out Sections B and C (next 2 pages). If project does not require any Zoning Variance or Fence Variance or Special Use → Complete section B only. Check if your project requires: <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Development → Refer to Supplemental Information on page (i) below.																					

Section B: Application for Certificate of Appropriateness

- 1) In addition to the required site plans, drawings, and photos, briefly describe the proposed activity and reason for obtaining a Certificate of Appropriateness. Attach a separate sheet if necessary, and refer to the Supplemental Information for guidance.

The proposed project is a one-story addition to the rear of the home to expand the existing Kitchen and create a new screened in porch. An existing enclosed porch will be permanently enclosed to become interior tempered space. The addition will provide a covered landing outside the rear entry door and wider stairs to allow for better access to the rear of the home.

The existing exterior materials consist of asphalt shingle roof and aluminum siding. At this time it is not known what material is under the aluminum siding. The new addition, screened in porch, and east facade will be fiber cement siding. The existing aluminum siding will be removed to the nearest inside or outside corner. The entire home is not being re-sided at this time but it is the intent of the homeowner to eventually complete the exterior. The new roof will be asphalt shingles to match the existing roof.

2) Checklist (Check all that apply and attach any additional information)

Type of Exterior Activity	Location / Details	Visible from Public Way (e.g. Streets and Alleys)?
<input checked="" type="checkbox"/> Construction	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (alley)
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Partial <input type="checkbox"/> Total previously enclosed rear porch, siding	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Landscaping	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (alley)
Garage: <input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Windows <input type="checkbox"/> Storm Windows <input checked="" type="checkbox"/> Doors <input type="checkbox"/> Storm Doors	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Style/Materials:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Roof: <input checked="" type="checkbox"/> New <input type="checkbox"/> Re-roof	<input type="checkbox"/> Front <input type="checkbox"/> Side <input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fence / Gate: <input type="checkbox"/> New <input type="checkbox"/> Replacement	<input type="checkbox"/> Front <input type="checkbox"/> Side <input type="checkbox"/> Rear	<input type="checkbox"/> Yes <input type="checkbox"/> No
Siding: <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> Front <input checked="" type="checkbox"/> Side <input checked="" type="checkbox"/> Rear Material:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Sign <input type="checkbox"/> Awning	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Restoration Material:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Air Conditioning Unit	<input type="checkbox"/> New <input checked="" type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Relocation	New Address for Relocation:	

3) Checklist for Exterior Materials—Check all that apply.

Existing	Proposed		Existing	Proposed		Existing	Proposed	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Façades/Front Porch & Rear Porch Material	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Flashing Material	<input type="checkbox"/>	<input type="checkbox"/>	Fences
<input type="checkbox"/>	<input type="checkbox"/>	Wood Frame	<input type="checkbox"/>	<input type="checkbox"/>	Copper	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Stone	<input type="checkbox"/>	<input type="checkbox"/>	Sheet Metal	<input type="checkbox"/>	<input type="checkbox"/>	Wrought Iron
<input type="checkbox"/>	<input type="checkbox"/>	Brick	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum
<input type="checkbox"/>	<input type="checkbox"/>	Stucco				<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Stucco						Height: _____
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding			Fascias, Soffits, Rakeboards, Trim			Length: _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Terraces, Patios, Decks
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Wood
<input type="checkbox"/>	<input type="checkbox"/>	Shingle, Material: _____	<input type="checkbox"/>	<input type="checkbox"/>	Synthetic Material, Type: _____	<input type="checkbox"/>	<input type="checkbox"/>	Stone
	<input checked="" type="checkbox"/>	Other: <u>Fiber Cement Siding</u>	<input type="checkbox"/>	<input type="checkbox"/>	<u>Fiber Cement to match siding boards</u>	<input type="checkbox"/>	<input type="checkbox"/>	Brick Pavers
					Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Concrete Pavers
						<input type="checkbox"/>	<input type="checkbox"/>	Poured Concrete
						<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>Composite</u>
		Roofing Material	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Door Material			Driveway Material
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingles	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input type="checkbox"/>	<input type="checkbox"/>	Asphalt
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shakes	<input type="checkbox"/>	<input type="checkbox"/>	Metal	<input type="checkbox"/>	<input type="checkbox"/>	Poured Concrete
<input type="checkbox"/>	<input type="checkbox"/>	Slate	<input type="checkbox"/>	<input type="checkbox"/>	Clad	<input type="checkbox"/>	<input type="checkbox"/>	Brick Pavers
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Clay Tile	<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	Concrete Pavers
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Asphalt Shingles	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	Crushed Stone
<input type="checkbox"/>	<input type="checkbox"/>	Metal Sheet				<input type="checkbox"/>	<input type="checkbox"/>	Other: _____
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____				<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Chimney Material	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Window Type			Add Other Materials/AAlterations Not Listed Here (Explain and Attach Information As Needed):
<input type="checkbox"/>	<input type="checkbox"/>	Brick	<input type="checkbox"/>	<input type="checkbox"/>	Double Hung			
<input type="checkbox"/>	<input type="checkbox"/>	Stone	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Casement			
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>sliders @ kitchen</u>			
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>				
<input type="checkbox"/>	<input type="checkbox"/>	Gutters/Downspouts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Window Material			
<input type="checkbox"/>	<input type="checkbox"/>	Copper	<input type="checkbox"/>	<input type="checkbox"/>	Wood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Air Conditioning Unit
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>	Aluminum	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Galvanized Sheet	<input type="checkbox"/>	<input type="checkbox"/>	Steel	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>Aluminum Clad Wood</u>	<input type="checkbox"/>	<input type="checkbox"/>	
			<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	
			<input type="checkbox"/>	<input checked="" type="checkbox"/>	Muntins	<input type="checkbox"/>	<input type="checkbox"/>	
			<input type="checkbox"/>	<input type="checkbox"/>	Not existing	<input type="checkbox"/>	<input type="checkbox"/>	
			<input checked="" type="checkbox"/>	<input type="checkbox"/>	True divided lights	<input type="checkbox"/>	<input type="checkbox"/>	
			<input type="checkbox"/>	<input type="checkbox"/>	Simulated divided lights	<input type="checkbox"/>	<input type="checkbox"/>	

4) Applicant's Signature: Elizabeth Wall Date: _____
 Print Name: Elizabeth Wall Jorge Arango

Proceed to Section C if you are requesting a zoning or fence variation and/or a special use. Refer to the Supplemental Information for guidance [page (i) below]. For Planned Development refer to Supplemental Information [page (i) below].



www.exactaland.com | office: 773.305.4011

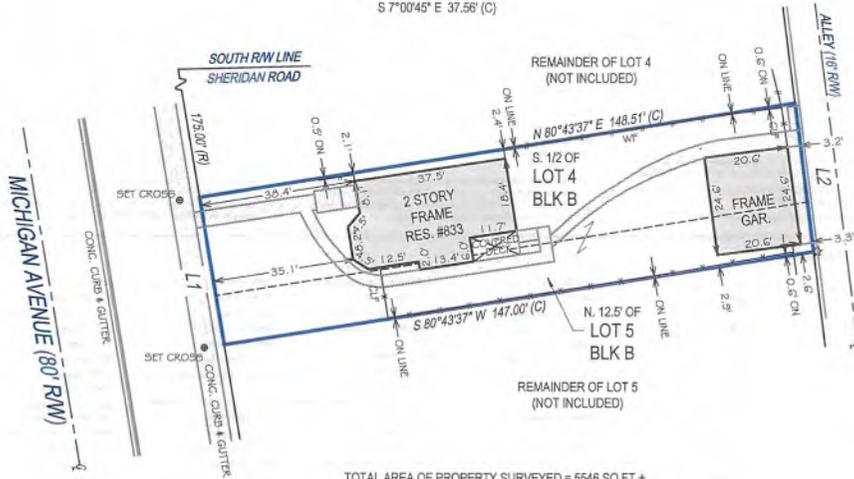


PROPERTY ADDRESS: 833 MICHIGAN AVENUE, EVANSTON, ILLINOIS 60202

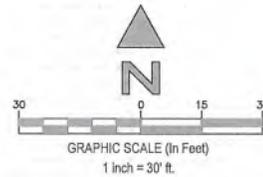
SURVEY NUMBER: IL2205.6170

IL2205.6170
BOUNDARY SURVEY
COOK COUNTY

LINE TABLE:
L1 37.50' (R)
N 9°18'40" W 37.50' (M)
L2 37.50' (R)
S 7°00'45" E 37.56' (C)



TOTAL AREA OF PROPERTY SURVEYED = 6546 SQ.FT.±



STATE OF ILLINOIS } SS
COUNTY OF LASALLE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

Warren D. Johnson



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:
NONE VISIBLE

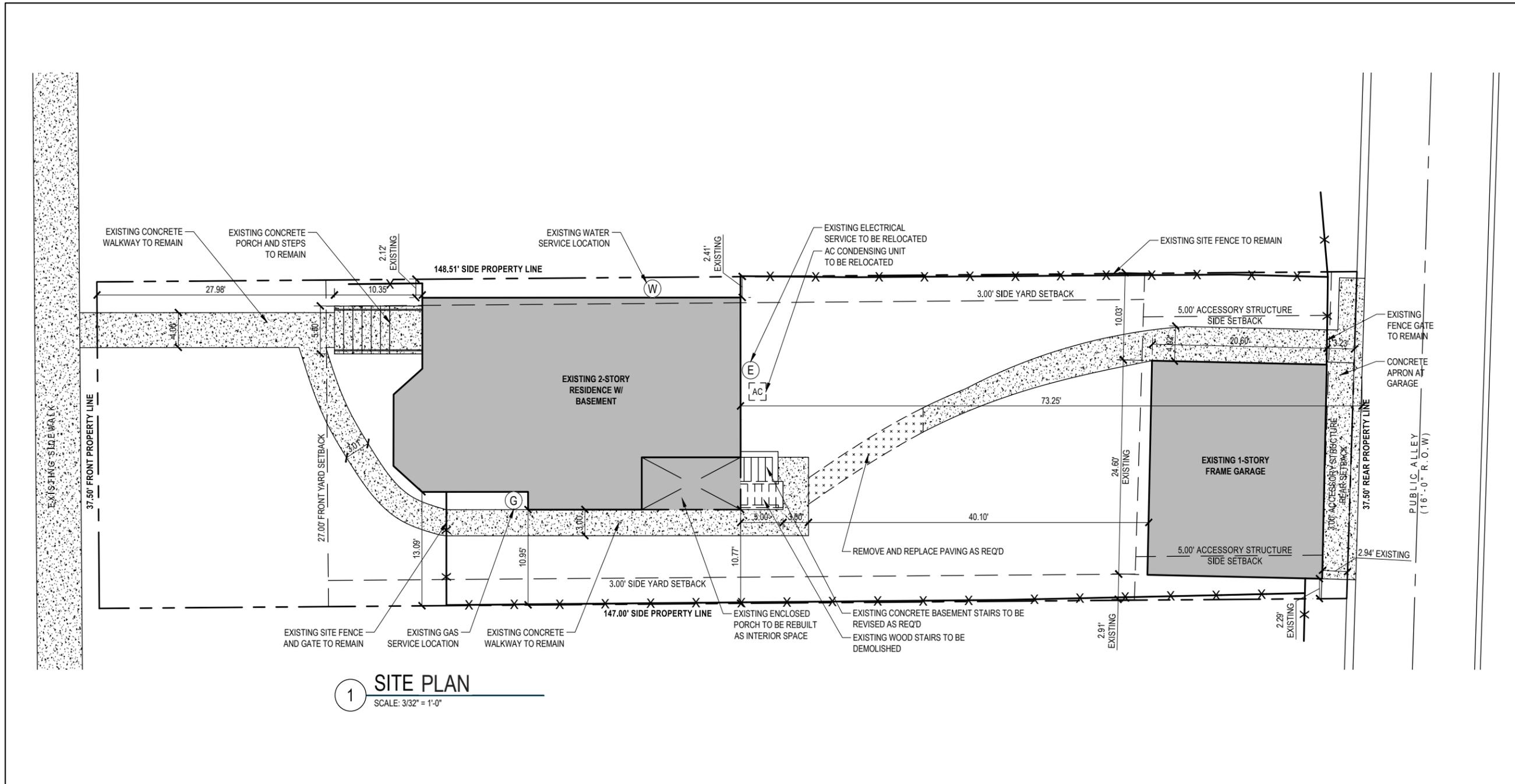


Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



DATE OF SURVEY: 06/10/22
FIELD WORK DATE: 6/9/2022
REVISION DATE(S): (REV.D 6/10/2022)

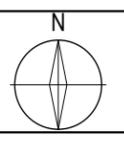
SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES



1 SITE PLAN
SCALE: 3/32" = 1'-0"

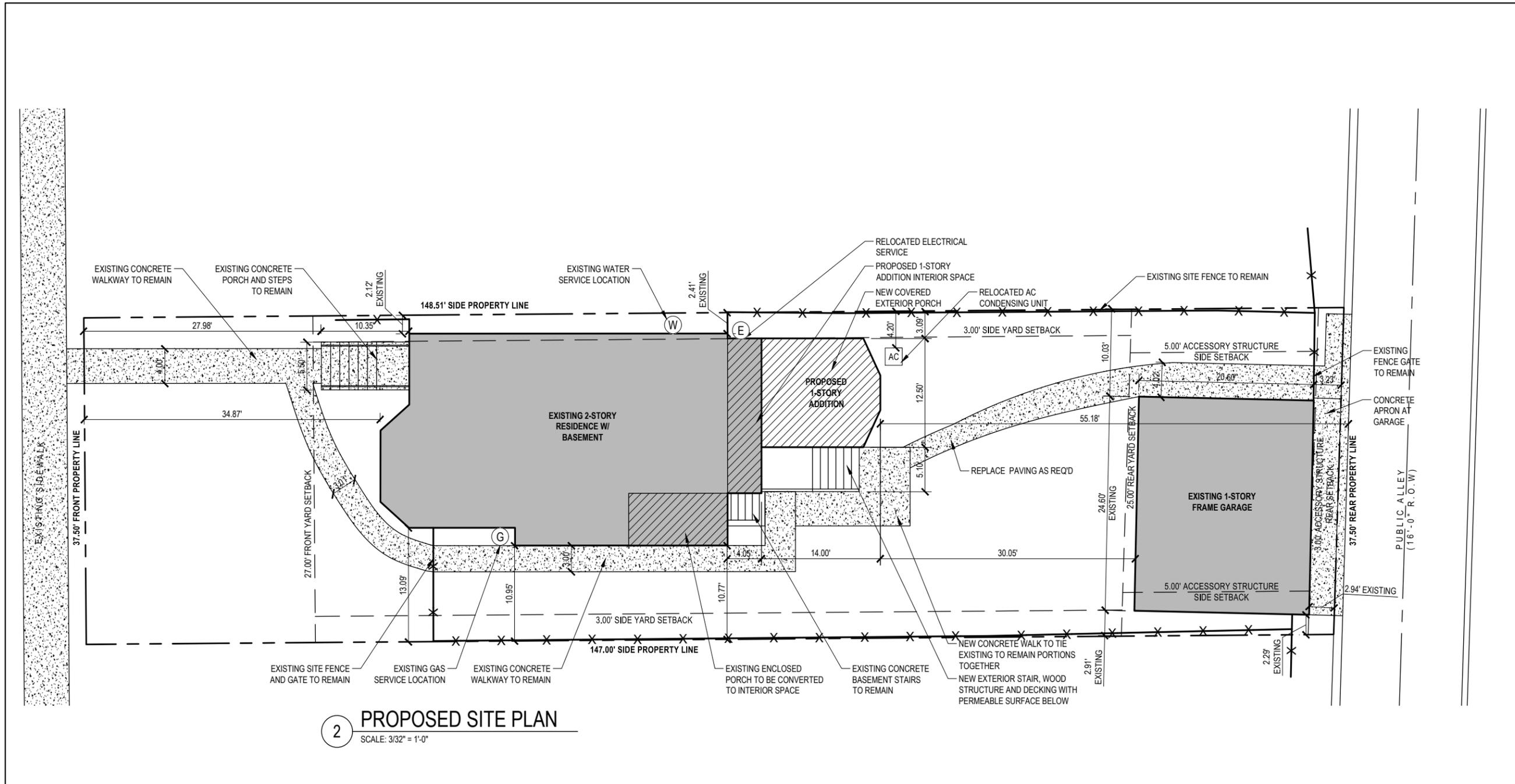
ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

CONCEPT PLANS
SCALE: 3/32" = 1'-0"



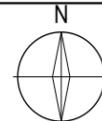
EXISTING SITE PLAN
04.24.2023





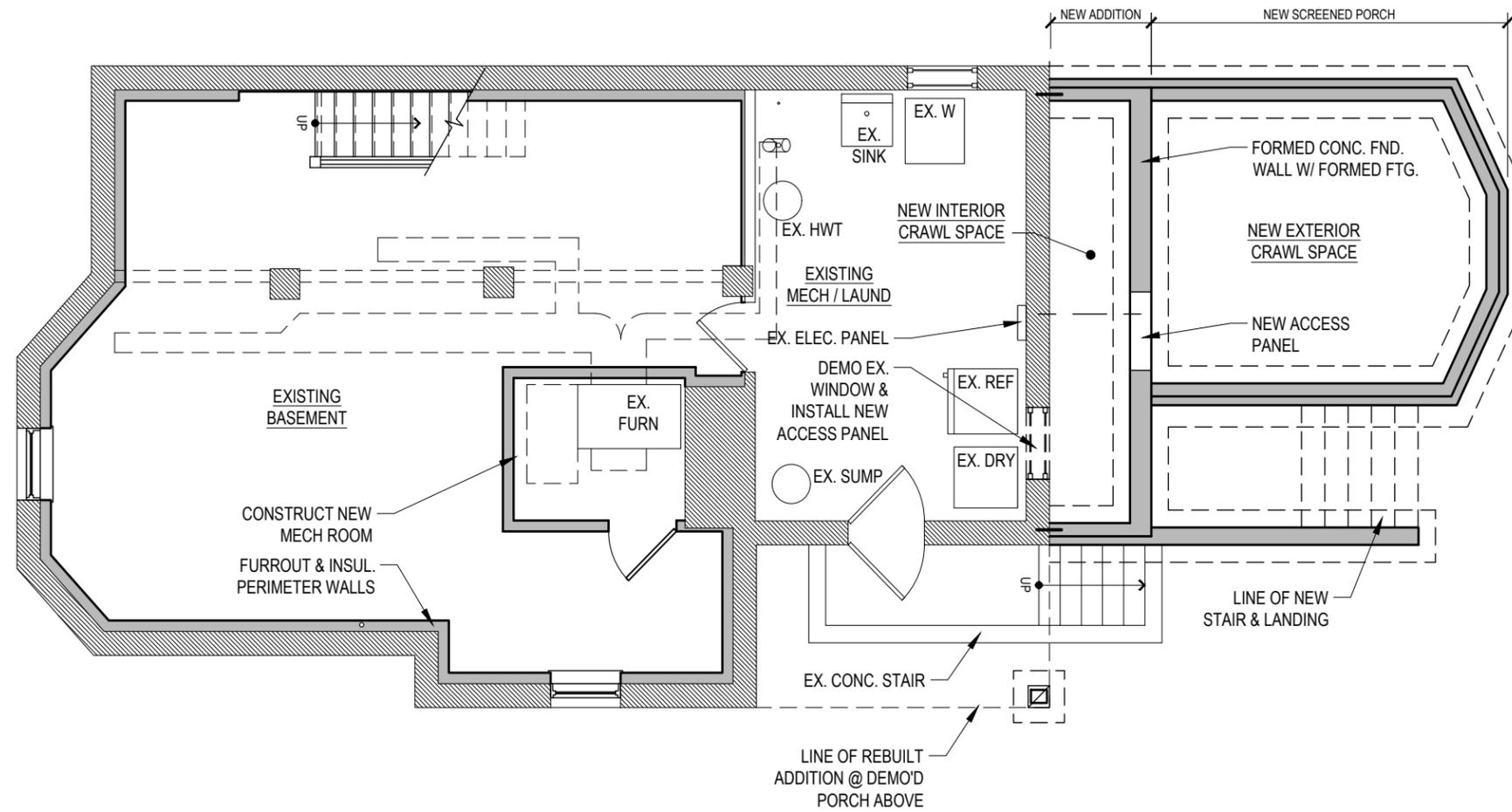
ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

CONCEPT PLANS
SCALE: 3/32" = 1'-0"



PROPOSED SITE PLAN
04.24.2023

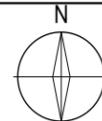
kaufman o'neil
architecture



1 **BASEMENT FLOOR PLAN**
SCALE: 3/16" = 1'-0"

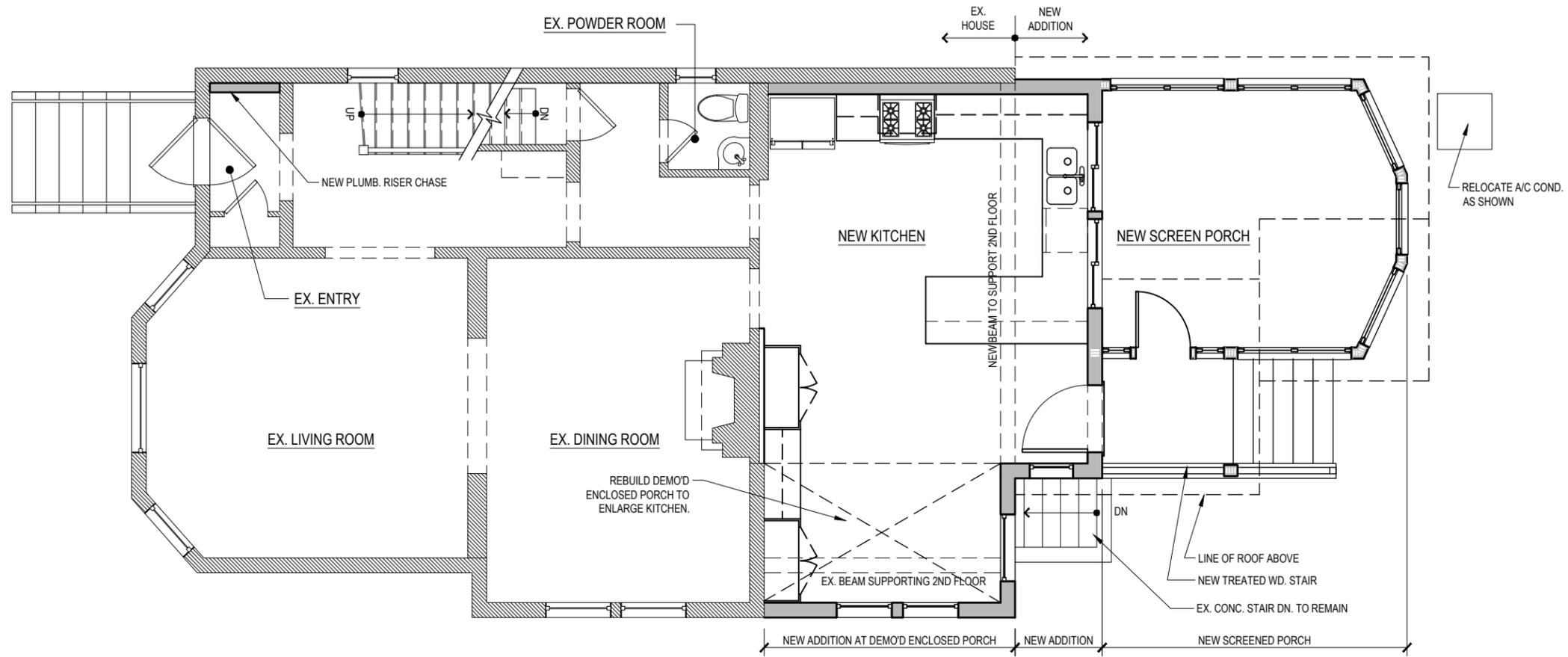
ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

CONCEPT PLANS
SCALE: 3/16" = 1'-0"



BASEMENT
04.25.2023

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architecture



1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

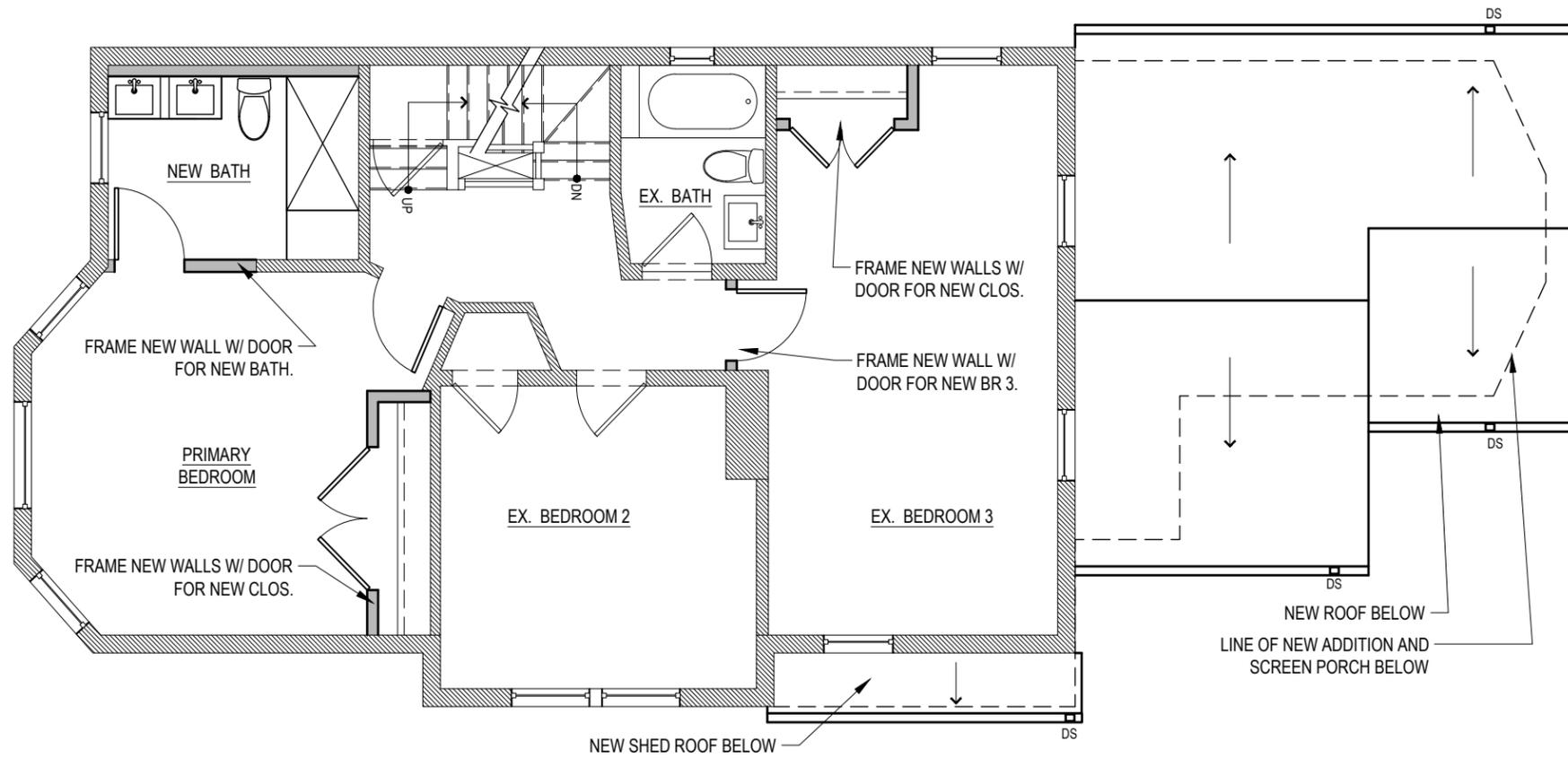
ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

CONCEPT PLANS
SCALE: 3/16" = 1'-0"



FIRST FLOOR
04.25.2023

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architecture



1 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

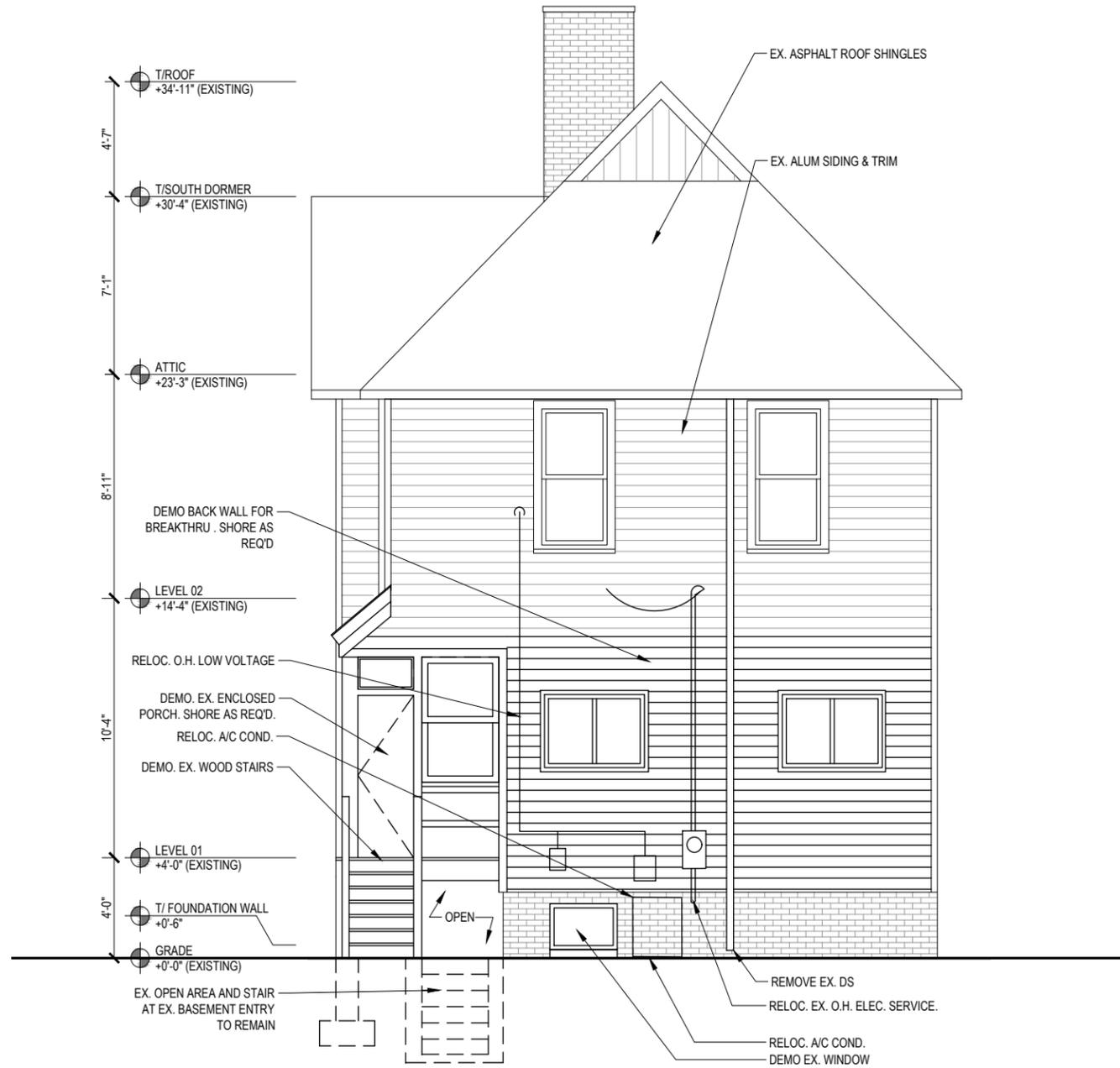
ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

CONCEPT PLANS
SCALE: 3/16" = 1'-0"

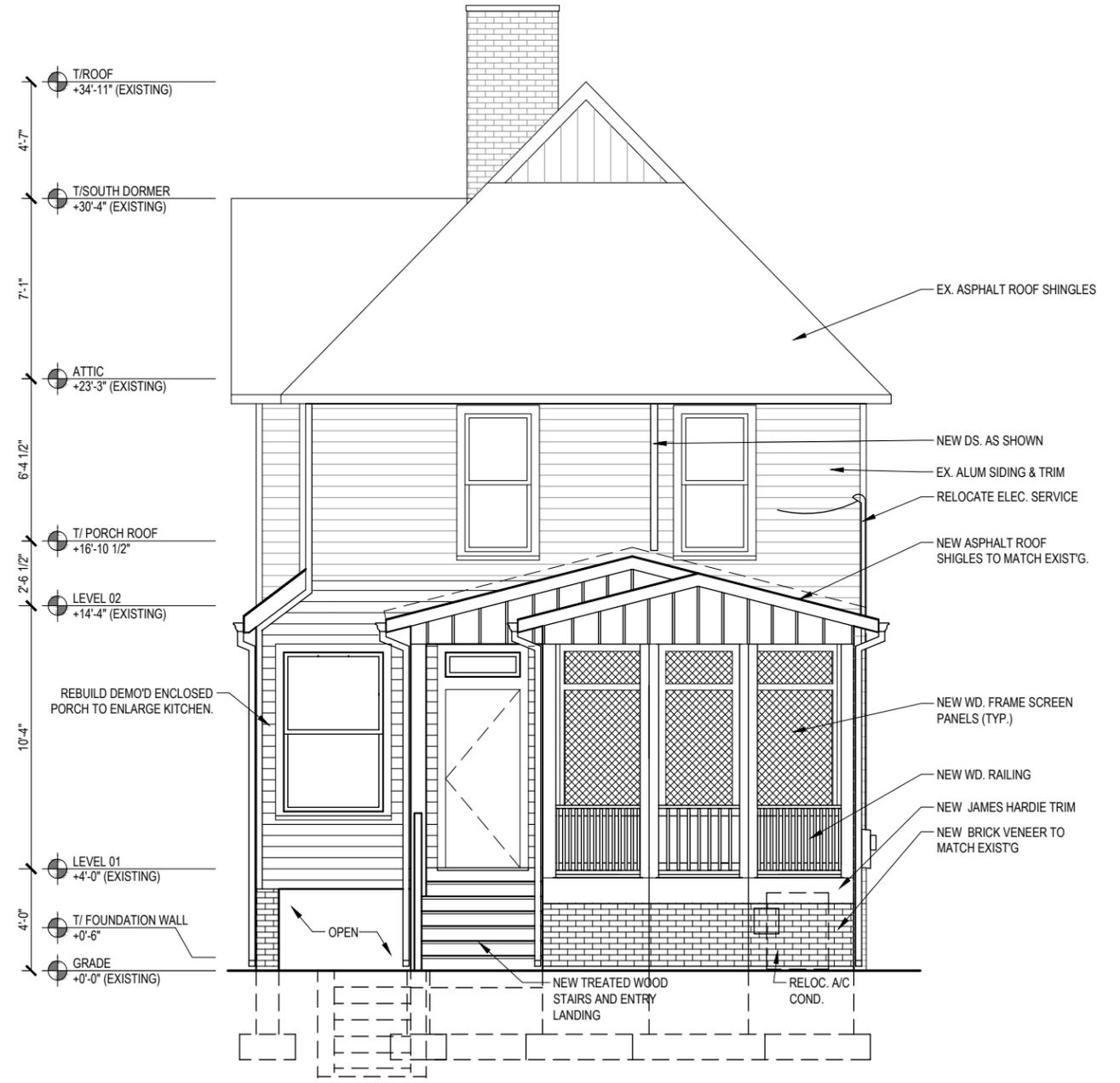


2ND FLOOR PLAN
04.25.2023

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1 EXISTING EAST ELEVATION
SCALE: 3/16" = 1'-0"



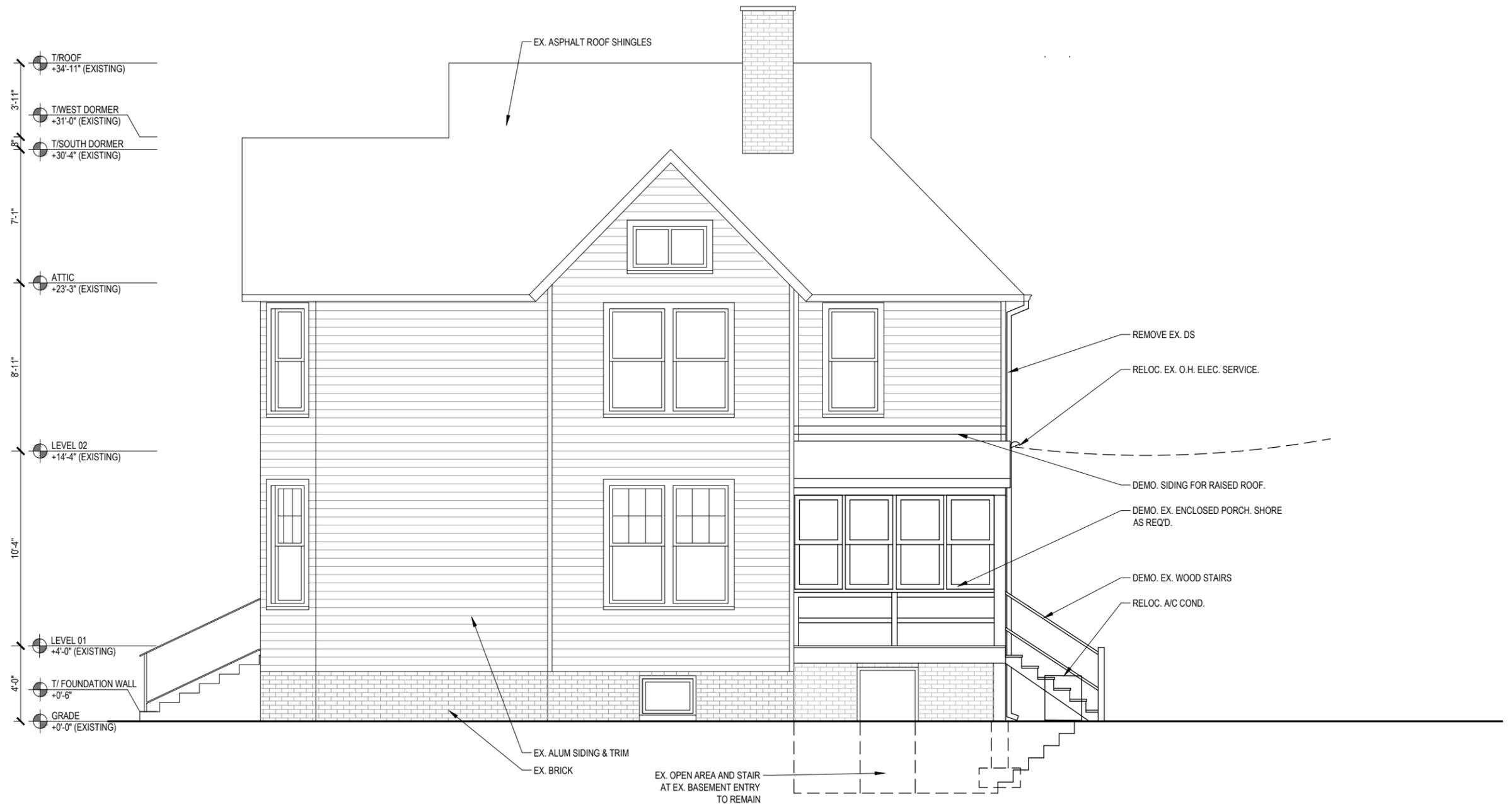
2 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

ELEVATIONS
SCALE: 3/16" = 1'-0"

EAST ELEVATION
04.25.2023

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1 EXISTING SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

ELEVATIONS
 SCALE: 3/16" = 1'-0"

EXISTING SOUTH ELEV.
 04.25.2023

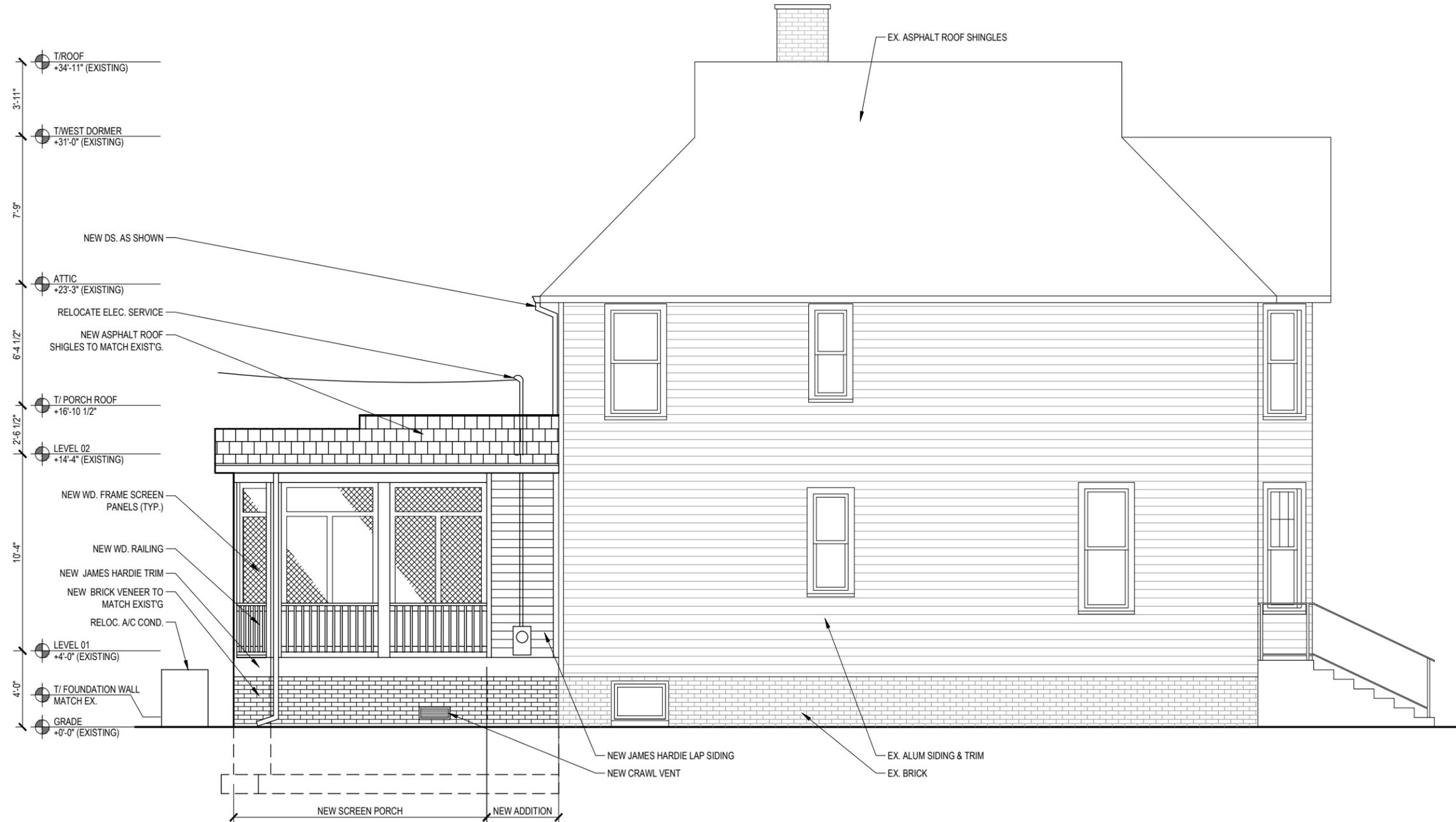
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1 PROPOSED SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

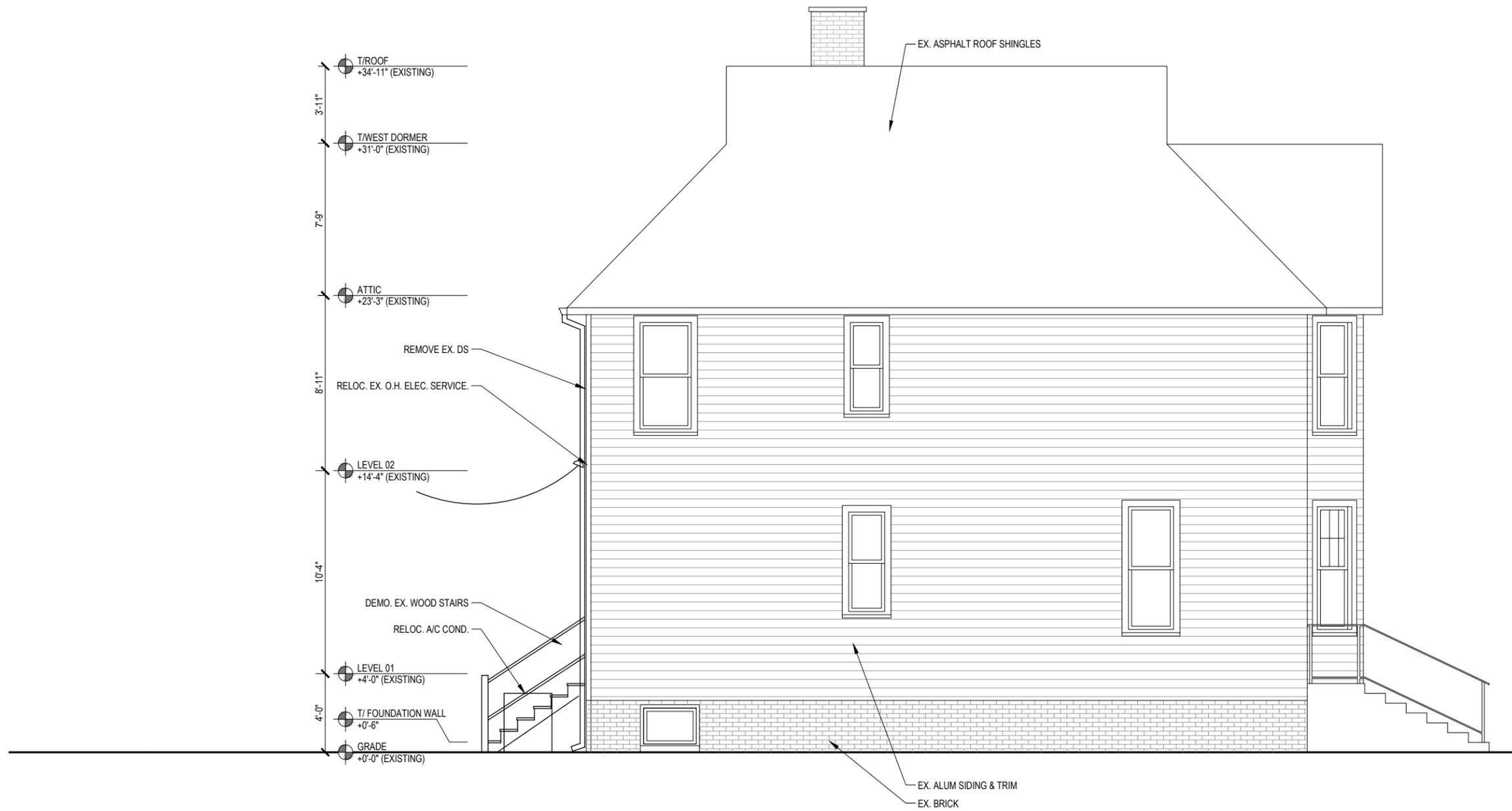
<p>ELEVATIONS SCALE: 3/16" = 1'-0"</p>	<p>NEW SOUTH ELEVATION 04.25.2023</p>	<p>kaufman o'neil architecture</p>
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1 PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"

ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

<p>ELEVATIONS SCALE: 3/16" = 1'-0"</p>	<p>NORTH ELEVATION 04.25.2023</p>	<p>kaufman o'neil architecture</p>
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1 EXISTING NORTH ELEVATION
SCALE: 3/16" = 1'-0"

ALONSO-WALL RESIDENCE | 833 MICHIGAN AVE. EVANSTON, IL

ELEVATIONS
SCALE: 3/16" = 1'-0"

EXISTING NORTH ELEV.
04.25.2023

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architecture



NEW SIDING ON EAST ELEVATION

ENCLOSED PORCH

ADDITION FOR KITCHEN

SCREENED IN PORCH

REAR YARD LOOKING NORTHWEST

ALONSO WALL RESIDENCE

833 MICHIGAN AVENUE
EXTERIOR VIEWS
04.25.2023



1102 Davis Street
Evanston, IL 60201
www.kaufmanoneil.com



REAR YARD LOOKING SOUTHWEST

ALONSO WALL RESIDENCE

833 MICHIGAN AVENUE
EXTERIOR VIEWS
04.25.2023



1102 Davis Street
Evanston, IL 60201
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FRONT (WEST) ELEVATION



REAR (EAST) EXISTING ELEVATION

ALONSO WALL RESIDENCE

833 MICHIGAN AVENUE
 EXISTING CONDITIONS PHOTOS
 04.25.2023



1102 Davis Street
 Evanston, IL 60201
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EXISTING ENCLOSED PORCH

ALONSO WALL RESIDENCE

833 MICHIGAN AVENUE
EXISTING CONDITIONS PHOTOS
04.25.2023



1102 Davis Street
Evanston, IL 60201
www.kaufmanoneil.com



**Zoning Analysis
Summary**

Review Date: 4/18/2023
By: Carlos D. Ruiz, Planner

Case Number:

Case Status/Determination:

23ZONA-0051 – 833 Michigan Avenue

COMPLIANT

Applicant: Timothy O'Neil

Plans prepared by: Kaufman/O'Neil Architecture

Plans dated: 3/31/2023

Survey dated: 6/10/2022

District: R5

Proposal:

Enclose an existing porch as interior space within the existing massing. Add a 4-foot deep, one story addition at the rear of the house, with an attached covered exterior porch and stairs. Interior renovations include various reconfigured partitions, new bathroom and gut remodel of kitchen. Electrical service to be upgraded to 200 amp, and incoming service to be relocated to work with new addition.

Non-compliant:

Code Section	Proposed and Required	Recommendation
		Revision required, Apply for variation (if no alternative exists), Revision recommended (with simple correction), See additional comment # below.

Additional Comments:

Principal Use and Structure:	
<i>Zoning Code Section</i>	<i>Use: Include standard, existing, and proposed; Indicate Compliant, Non-compliant, No change, Legal non-conforming</i>
6-8-7-5	Lot width: 37.5 Feet
6-8-7-4- (A)	Lot size: 147.89 x 37.5 = 5,546 sq ft (existing, no change); Minimum = 5,000 sq ft COMPLIANT
	Dwelling Units #: 1
6-8-7-6	Building Lot Coverage: Proposed 1,510.93 sq ft; Existing = 1,366.76 sq ft; Maximum = 2,495.7 or 45% COMPLIANT
6-8-7-9	Impervious Surface Coverage: Proposed = 2,462.12 sq ft; Maximum allowed = 3,327.6 sq ft or 60% COMPLIANT
	Accessory Structure Rear Yard Coverage:
	Gross Floor Area
6-8-7-8	Building Height: Proposed one-story rear addition = 16'- 10 1/2" ft; Maximum allowed = 50 ft COMPLIANT
6-8-7-7	Yards: Front: Existing = 38.87 ft (existing, no change); minimum 27 ft COMPLIANT Street Side: Interior Side: Proposed = 3 ft (north); existing = 2.12 ft COMPLIANT Interior Side: Proposed = 10.12 ft (south); existing = 10.12 ft no change COMPLIANT Rear: Proposed = 71.93 ft; minimum required 25 ft COMPLIANT
Accessory Use and Structure 1: DETACHED GARAGE (existing, no change)	
	Location (Yard):
	Height:
	Distance from Principal Building:
	Yards: Front: Street Side:

BEGINNING STREET #
 END STREET #
 STREET # SUFFIX
 STREET NAME
 SUFFIX
 PIN

LOCAL

WITHIN LOCAL DISTRICT?
 LOCAL DISTRICT CONTRIB/NON-CONTRIB?
 LOCAL LANDMARK? YEAR
 LOCAL LANDMARK ELIGIBLE?
 CRITERIA:



PHOTO ID

NATIONAL REGISTER

WITHIN NR DISTRICT?
 NR DISTRICT CONTRIB/NON-CONTRIB?
 NR LANDMARK? YEAR
 NR ELIGIBLE? CRITERIA

PREVIOUSLY SURVEYED?

GENERAL INFORMATION

CATEGORY CURRENT USE
 CONDITION HISTORIC USE
 INTEGRITY SECONDARY STRUCTURE
 NRSECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Queen Anne"/>	ROOF TYPE	<input type="text" value="Gable on hip"/>
DETAILS	<input type="text" value="-"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
CONSTRUCTION YEAR	<input type="text" value="1885 (circa)"/>	FOUNDATION	<input type="text" value="Brick"/>
OTHER YEAR	<input type="text" value="-"/>	PORCH	<input type="text" value="-"/>
DATESOURCE	<input type="text" value="Surveyor"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (current)	<input type="text" value="Aluminum"/>	WINDOW MATERIAL 2	<input type="text" value="-"/>
WALL MATERIAL 2 (current)	<input type="text" value="-"/>	WINDOW TYPE	<input type="text" value="Double hung"/>
PLAN	<input type="text" value="Rectangular"/>	WINDOW CONFIGURATION	<input type="text" value="8/1; 6/1;"/>
NO OF STORIES	<input type="text" value="2.5"/>		

SIGNIFICANCE

HISTORIC FEATURES

ADDRESS

833 - MICHIGAN AVENUE

ALTERATIONS

Replacement siding; replacement windows in original openings (historic); replacement front door and surround with broken pediment (1937); concrete front steps with wrought iron railings

HISTORIC INFORMATION

**OLD ADDRESS
(city dir.year)**

421s Michigan av South Evanston. This part of Michigan av was also known as Congress/Wheeler av.

BUILDING MOVED?

Yes (unconfirmed)

MOVED FROM

Annie B. Hughes moved "2 more houses" onto her Congress av property (Ev Index 11/15/1890)

**ORIGINAL
OWNER**

-

**ORIGINAL
ARCHITECT**

-

**ARCHITECT
SOURCE**

-

BUILDER

-

ADDITIONAL PHOTOGRAPHS



PHOTO ID2 \images\11-19-405-004-0000-2.jpg

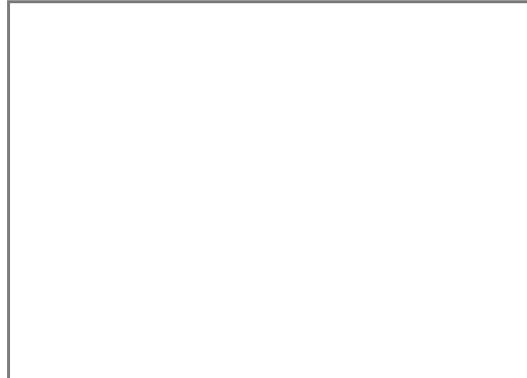


PHOTO ID3 -

SURVEYOR

Lara Ramsey

**SURVEYOR
ORGANIZATION**

GRANACKI HISTORIC CONSULTANTS

SURVEY DATE

3/28/2011

**Historic Info
Compiler**

MBM & aoe

PERMIT/HISTORIC INFORMATION

CURRENT ADDRESS

833 — - MICHIGAN AVENUE

OLD ADDRESS (city dir.year) 421s Michigan av South Evanston. This part of Michigan av was also known as Congress/Wheeler av

DATE OF CONSTRUCTION 1885 (circa)

MOVING INFORMATION

BUILDING MOVED? Yes (unconfirmed)

MOVING PERMIT # Ev Index **DATE** 1890 (circa)

MOVED FROM Annie B. Hughes moved "2 more houses" onto her Congress av property (Ev Index 11/15/1890)

ORIGINAL PERMIT INFORMATION

BLDG PERMIT # - **DATE** 1880s (?)

BUILDING PERMIT DESCRIPTION 2-story house (1899 Sanborn map)

COST -

ORIGINAL OWNER -

ORIGINAL OWNER OCCUPIED? -

ORIGINAL ARCHITECT -

ARCHITECT SOURC -

BUILDER -

EXTERIOR ALTERATION PERMITS

BP #21858. 1937.08.11. 2-story frame house imp.. New front entry & remodeling.\$2,000. Owner: Leslie M. Baker. Bldr: H.W. Dring.

OTHER PERMIT INFO

BP #9647. 1922.04.10. 1-story frame garage. \$150. Owner: A.W. Baker. Bldr: Bosley Bros. BP #19299. 1929.09.24. 1-story frame 3-car garage. \$500. Owner: A.W. Baker. Archt. & Bldr: Harris Bros.

COA INFO

Replace GAF 3-tab asphalt shingles with GAF 3-tab asphalt shingles. (2010)

HISTORIC INFO

For old address, s = number used by Village of South Evanston, which until 1893 numbered from north (Hamilton/Greenleaf) to south (Howard). This part of Michigan once called Congress/Wheeler av. SEE CONTINUATION SHEET

OTHER SOURCES

ELHD # n/a. PHOTOS: Real Estate tear sheets: 1957, Hokanson & Jenks; 1966, Samuel Sherwin Real Estate.

HISTORIC INFO COMPILER MBM & aoe

PRIMARY KEY 11-19-405-004-0000

City of EVANSTON
LAKESHORE HISTORIC DISTRICT RE-SURVEY
CONTINUATION SHEET

STREET # 833

STREET MICHIGAN AVENUE

ADDITIONAL PHOTOS OR INFORMATION

Historic Information

For old address, s = number used by Village of South Evanston, which until 1893 numbered from north (Hamilton/Greenleaf) to south (Howard). This part of Michigan once called Wheeler av. Annie B. Hughes owned 829, 833, 835 & 839 Michigan av 1889-1896 (Tract book). L. J. Waggoner lived at 833 Michigan 1892-1895 (EvD)



STAFF REPORT

To: Members of the Preservation Commission
From: Cade W. Sterling, Planner
Subject: 1323 Elmwood Avenue – 23PRES-0068
Date: May 2, 2023

Public Notice

1323 Elmwood Avenue - Landmark - 23PRES-0068

Shawn Casey, owner and applicant, submits for a Certificate of Appropriateness to alter the homes roofing material from cedar shingle to asphalt shingle.

Applicable Standards: Alteration [1-10]

Construction Period:

1892

Style:

Vernacular – Gable Front

Architect of Record:

Unknown

Condition:

Excellent

Integrity:

Excellent

Status:

Landmark (Criterion A7)

Setting:

1323 Elmwood Avenue is located on the east side of Elmwood Avenue midblock between Greenwood Street to the north and Dempster Street and the Dempster Street Business District to the south. Despite being zoned for higher density, the 1300 block of Elmwood retains good integrity of setting with an eclectic mix of building types, uses, and residential densities not dissimilar to land use patterns found throughout the City's historic districts. The block contains three additional Landmarks, 1335, 1316, and 1308 Elmwood, all registered as examples of common, every day or vernacular housing types once common in Evanston -- a contrast to the high-style resources in the Lakeshore Historic District two blocks east and the Ridge Historic District one block west.

Elmwood Avenue north of Main Street and south of Lake Street contains a high concentration of individual Landmarks (14).

Significance:

1323 Elmwood Avenue is significant in its ability to represent once common vernacular building typologies typical for this period and for this neighborhood. The Gable-Front building form includes vernacular representations of Greek Revival, Italianate, Queen Anne, and other eclectic variations which are defined by a dominant gable elevation facing the street. These vernacular building types often include spare or refined ornamentation.

The top of the structures prominent front gable has a foliate panel above a diamond-mullion window which is centered in a scalloped shingle field. A pair of windows occupies the second story which is clad in an alternate-base-level shingle field. A full front shed roofed porch is supported by thin Tuscan columns with tightly ranked balusters, shelters the clapboard-covered ground floor with a broad projecting, transomed window, entrance, and small vestibule window.

Public Comment

None.

Proposal

The applicant proposes to replace the existing cedar shingle roof with a specialty asphalt shingle, either the Camelot II, Grand Sequoia, or Timberline AS II shingle in a weathered wood color. These were considered for their ability to better complement the existing roofs general appearance. The existing cedar roof appears to be non-original, likely being replaced 30-50 years prior. The existing roof is in a state of disrepair/rot due to both age and general deterioration, as well as accelerated deterioration likely due to improper ventilation and airflow at the roofs underlayment and sheathing. The existing roof was previously proposed for replacement at the Commission in 2020, at the time with a standard asphalt shingle. That application was denied on a split vote 3-3 and was not appealed.

The applicant is receptive to suggestions for the exact asphalt shingle and color and has explored alternative composite materials. The homes gutter system, existing skylights, and a pair of clad wood double-hung non-divided lite windows at a later addition in the rear are proposed to be replaced in-kind and will be processed administratively in accordance to the Rules and Procedures.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commissions discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

Alteration

1. Every reasonable effort shall be made to adapt the property, structure, site or object in a manner that requires minimal alteration of the property, structure, site or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

	Certificate of Appropriateness Application (COA) Administrative Approval for <i>MINOR WORK</i> Only	Application Number (staff only)										
<p>IMPORTANT NOTE: Minor work involves no or minimal alteration to the integrity of a structure in terms of design and/or materials (i.e. restoration, re-roofing in kind, fences, adding a new window to match existing, or replacement in kind of certain features when restoration is not feasible). Administrative approval is not allowed for special uses, zoning or fence variances, demolition, new construction or additions. For major work, one must apply for a certificate of appropriateness for review with the Preservation Commission. Ask staff for the major work application form if needed.</p>												
1) ADDRESS: No. & Street Name of property:		Zip:										
Seeking for zoning or fence variance or special use? Check <input checked="" type="checkbox"/> Yes ___; No ___ If Yes , stop here and read IMPORTANT NOTE above!												
2) Is the property an Evanston Landmark? Check <input checked="" type="checkbox"/> Yes ___; No ___												
3) Is the Property located within a historic district? Check <input checked="" type="checkbox"/> Yes ___; No ___ If yes: Lakeshore H.D. ___; Ridge H.D. ___ Northeast Evanston H.D. ___; Suburban Apartment Thematic Resources ___												
4) Owner's name: _____ No. & Street: _____ City: _____ State: _____ Zip: _____ Phone: _____ Fax: _____ Email: _____												
5) Applicant/business name: _____ No. & Street: _____ City: _____ (If different from owner) State: _____ Zip: _____ Phone: _____ Fax: _____ Email: _____												
6) Architect's name: _____ No. & Street: _____ City: _____ (If different from applicant) State: _____ Zip: _____ Phone: _____ Fax: _____ Email: _____												
7) Contractor's name: _____ No. & Street: _____ City: _____ (If different from applicant) State: _____ Zip: _____ Phone: _____ Fax: _____ Email: _____												
8) Activity (for minor work only): Check <input checked="" type="checkbox"/> in the matrix below the proposed activity and write the requested information in box 9) below:												
Activity (circle activity as needed)	Location			Proposed Work			Existing and Proposed		Dimensions		Visible from the public way	
	Front	Side	Rear	Restoration	Replacing in kind/ Restoration is not feasible	New installation	Material(s) Write in	Style/type Write in	Height Write in	Length Width Write in	Yes	No
Altering minimally main house or other structure												
Restoring main house or other structure												
Roof on house/garage/other												
Fence/gate/masonry wall												
Doors/storm doors												
Windows/storm windows												
Stairs/railing/landings/decks												
Land altering activity, i.e. walks, patios berming, excavating												
Sign/Awning												
Air conditioning unit(s)												
9) DESCRIBE briefly below the activity as checked in the matrix and submit as applicable: photos of existing conditions, site plan or plat of survey showing the location of the activity (i.e. stairs, fences/gates/masonry walls, signs, air conditioning units, land altering activity). Also, submit proposed plans, existing and proposed exterior elevations showing the design and materials of proposed fences/gates/masonry walls, windows or doors (when appropriate), all with dimensions and materials. Documentation should not exceed 11"x17" paper size. Replace roofing for house and garage. This includes shingles, skylights, and gutters. Gutters will be replaced in kind. Wood shingles will be replaced with high quality asphalt shingles as the roof is currently set up for asphalt shingles.												
Applicant's name: (print) _____						Signature: 			Date: 4/17/23			
Submit application to: Preservation Coordinator, City of Evanston, Community & Economic Development Department, Planning & Zoning Division, room 3900, Civic Center, 2100 Ridge Avenue, Evanston, Illinois 60201, Phone: 847-448-8687; Fax: 847-448-8120; email: cruiz@cityofevanston.org .												













Proposal

IL Lic.# 104.015602



Titan Construction Ent.
 23831 w Andrew Rd, Plainfield, IL 60585
(630) 272-8204 Office
Info@mytitanconstruction.com



PROPOSAL SUBMITTED TO Shawn Casey	PHONE (847) 912-6130	DATE 4/27/23
STREET 1323 Elmwood Ave.	EMAIL shcasey01@gmail.com	
CITY, STATE and ZIP CODE Evanston IL 60201	PROJECT Roof Replacement	

We Propose hereby to furnish material and labor – complete in accordance with specifications below, for the sum of:

Eleven Thousand Seven Hundred Seventy and 00/100 -dollars (\$ **\$11,770.00**).

Payment to be made as follows: **50% of the contract price due upon approval,**
balance due upon completion of project.

All material is guaranteed to be as specified. All work to be completed in a workmanlike Manner according to standard practices. Any alteration or deviation from specifications below involving extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature _____

Note: This proposal may be Withdrawn by us if not accepted within **60** days.

We hereby submit specifications and estimates for:

1. Remove existing Perfection wood shingles down to decking, re-nail any loose decking.
2. Remove and replace any bad deck boards, 20 ft. included in bid (\$8/ft extra).
3. Install 6ft. (2 rows) Ice and water shield at all eaves, 3ft in all valleys and around all protrusions.
4. Install synthetic underlayment over remaining exposed decking. Install drip edge on all gable ends.
5. Install GAF Timberline HDZ Lifetime warranted shingles (color TBD).
6. Cut in and install GAF Snow country ridge vent at all ridge lines
7. Replace existing plumbing boots with new lead boots. Install new aluminum flashing on chimney.
8. All debris will be removed and hauled away in our dump trailer, perimeter to be magnetically swept.
9. All required permits to be acquired by Titan Construction.
10. Lifetime (limited) workmanship warranty included in price.

Total = \$11,770.00 cash price (includes check and credit card payments)

Options : (initial to accept)

- Install new half round gutters (color TBD, retaining existing downspouts) Add \$2875 _____
- Remove existing decking over cathedral area in upper roof, add insulation baffles, install 5/8" CDX Add \$1500 _____
- Replace Two (2) existing skylights with Velux VS M04 skylights Add \$1850 _____
- Remove and replace detached garage roof Add \$1700 _____
- Upgrade to Armor Shield 2 shingles on house Add \$1600 _____
- Upgrade to Armor Shield 2 shingles on detached garage Add \$320 _____
- Upgrade to Grand Sequoia shingles on house Add \$10,000 _____
- Upgrade to Grand Sequoia shingles on detached garage Add \$3500 _____
- Synchrony Plan 605 (18 mos. 0% interest) \$1175/month _____
- Synchrony Plan 602 (37 mos. 5.99% interest) \$635/month _____
- Synchrony Plan 604 (61 mos. 7.99% interest) \$423/month _____
- Synchrony Plan 600 (132 mos. 9.99% interest. \$265/month _____

(Note: Synchrony plans are figured with all options included, except shingle upgrades, pending approval)

Proposal Acceptance: X _____ **Date:** _____

In the event that customer does not pay according to the terms of the above signed contract, Titan Construction Ent. Inc. has the right to pursue any and all legal remedies at law or in equity to enforce the contract or to collect any sums under the contract. Titan Construction Ent. Inc. has the right to collect reasonable attorney's fees and any and all cost, including cost of collection, enforcement, and 18%APR interest on the balance due after 30days. In the event the customer refuses to pay according to the contract, Titan Construction Ent. Inc. has the option to use binding arbitration in Will County, IL to enforce the contract.

GAF

Residential Reference Guide

The one-stop guide from North America's largest roofing manufacturer



GAF shingles and roof accessories are made to work together. They provide a system that's built to protect homes—so the people who live inside them can enjoy what matters most.

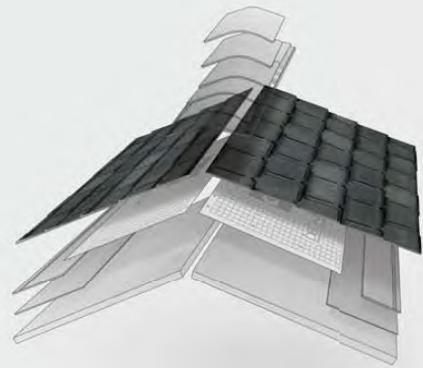
GAF

We protect what matters most™



Lifetime[†] Designer Shingles Collection

Sophisticated designs, custom color palettes, and high performance, GAF Lifetime[†] Designer Shingles are only a fraction of the cost of traditional slate or wood shakes.



Designer Lifetime[†] Shingles

<p>Grand Canyon[®] pg 13</p>				<p>Rugged sophistication with striking depth</p>
<p>Camelot II[®] pg 14</p>				<p>Contemporary slate-inspired elegance in an asphalt shingle</p>
<p>Grand Sequoia[®] pg 14</p>				<p>Rustic charm meets 21st-century style</p>
<p>Woodland[®] pg 15</p>				<p>The beauty of natural wood shakes in an asphalt shingle</p>
<p>Slateline[®] pg 15</p>				<p>An asphalt shingle with the dramatic look of slate</p>

For specifications see pages 20-21

Lifetime[†] Designer Shingles LRS



For the full collection visit gaf.com/Designer



GAF GrandCanyon®
Designer Lifetime[†] Shingles

The ultimate choice for a rugged wood-shake look, offering incredible depth and dimension.



For more details visit gaf.com/GrandCanyon

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



GAF Grand Sequoia® Designer Lifetime+ Shingles

Artisan-crafted shapes combined with oversized tabs result in a sophisticated beauty unmatched by typical shingles.



For more details visit gaf.com/GrandSequoia

GAF Camelot II® Designer Lifetime+ Shingles

Designed to complement your home's exterior color scheme, these shingles give your home the luxury look you want without breaking your budget.



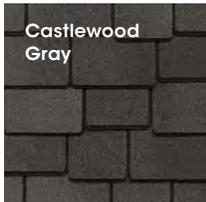
For more details visit gaf.com/CamelotII

14 NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

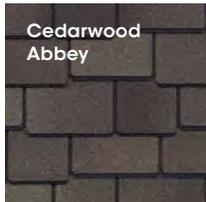
 Available regionally

GAF Woodland®
Designer Lifetime[†] Shingles

The stylish look of hand-cut European shingles at an incredibly affordable price.



Castlewood Gray



Cedarwood Abbey

For more details visit gaf.com/Woodland

GAF Slateline®
Designer Lifetime[†] Shingles

Bold shadow lines and tapered cut-outs create the look of slate at a fraction of the cost.



Royal Slate



Weathered Slate



English Gray



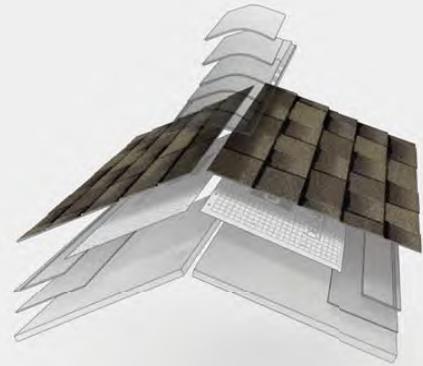
Antique Slate

For more details visit gaf.com/Slateline

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

SBS Modified Impact Resistance (IR) Shingles Collection

SBS modified asphalt formula results in rubber-like flexibility and increased impact resistance.

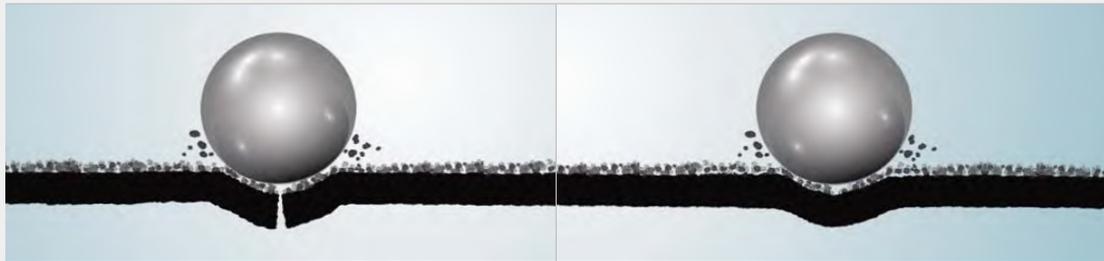


<p>Timberline® AS II</p> <p>pg 17</p>	  	<p>UL2218 Class 4 impact resistance to help protect your most valuable asset</p>
<p>Grand Sequoia® AS</p> <p>pg 17</p>	  	<p>The look of rugged wood shakes in an asphalt shingle with UL2218 Class 4 impact resistance</p>

For specifications see pages 20-21

UL 2218 Class 4 Impact-Resistance Test

A 2" steel ball is dropped twice from a 20' height onto various target locations to evaluate the shingles' ability to withstand the impact.



✘ Fail

✔ Pass

Result on a standard shingle

Evidence of visible ruptures or cracks through the shingle immediately after impact

Results on a Class 4 shingle

No evidence of ruptures or cracks through the shingle immediately after impact

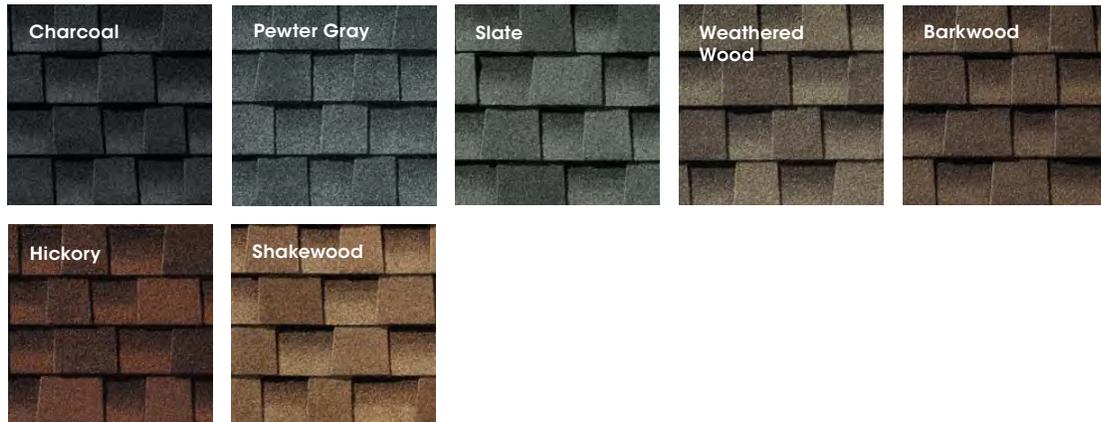


For the full collection visit gaf.com/ArmorShield



GAF **Timberline® ASII**
ArmorShield® II SBS-Modified IR Shingles

Crafted with the finest attention to detail, this striking shingle captures the essence of wood in a thick, triple-layer asphalt design.



For more details visit gaf.com/AS

GAF **GrandSequoia® AS**
ArmorShield® SBS-Modified IR Shingles

The ultimate choice for a rugged wood-shake look, offering incredible depth and dimension



For more details visit gaf.com/GrandSequoiaAS

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



Shingle Specifications

Shingle	Warranty	Technology	Shingle Construction
Timberline® Lifetime® Shingles Collection			
Timberline HDZ®	† 2	4 	
Timberline UHD	†	4 	
Timberline NS	†	3 	
Timberline CS	† 2	4 	
Lifetime® Designer Shingles Collection			
Grand Canyon®	†	4 	
Grand Sequoia®	†	4 	
Woodland®	†	4 	
Camelot® II	†	4 	
Slateline®	†	4 	
SBS Modified IR Shingles Collection			
Timberline AS II	†	4 	
Grand Sequoia AS	†	4 	
3-Tab Shingle			
Royal Sovereign®	1	3 	

† Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime Shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime Shingle and at least 3 qualifying GAF Accessories. See the *GAF Roofing System Limited Warranty* for complete coverage and restrictions. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*. Visit gaf.com/LRS for qualifying GAF products.

¹ See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

² 15-year WindProven™ limited wind warranty on GAF Shingles with LayerLock™ Technology requires the use of GAF Starter Strips, Roof Deck Protection, Ridge Cap Shingles, and Leak Barrier or Attic Ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*.

³ 10-year StainGuard® Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard® logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.



Approximate Physical Attributes					Codes										Special Features		
					Fire	Wind		National				Regional					
Pieces/Square	Bundles/Square	Nails/Square ⁵	Exposure	Dimensions	UL Listed to ANS/UL 790 Class A	ASTM D7158, Class H	ASTM D3161, Class F	ASTM D3018 Type 1	ASTM D3462 ⁶	Classified in accordance with ICC-ES ESR-1475	Miami-Dade County Product Control Approved	State of Florida Approved	Texas Department of Insurance Listed	ICC-ES ESR-1475	ICC-ES ESR-3267	Passes UL 2218, Class 4 Impact Test	Cool Roof Rating Council (CRRC) Rated
64	3	256	5 5/8" (143 mm)	13 1/4" x 39 3/8" (337 x 1,000 mm)	●	●	●	●	●	●	7	●	●	●	●		8
64	4	256	5 5/8" (143 mm)	13 1/4" x 39 3/8" (337 x 1,000 mm)	●	●	●	●	●	●	7,10	●	●	●	●		
64	3	256	5 5/8" (143 mm)	13 1/4" x 39 3/8" (337 x 1,000 mm)	●	●	●	●	●	●	7	●	●	●	●		9
64	3	256	5 5/8" (143 mm)	13 1/4" x 39 3/8" (337 x 1,000 mm)	●	●	●	●	●	●	7	●	●	●	●		
72	6	360	5" (127 mm)	17" x 40" (432 x 1,016 mm)	●	●	●	●	●	●	●	●	●	●	●		
70	5	360	5" (127 mm)	17" x 40" (432 x 1,016 mm)	●	●	●	●	●	●	●	●	●	●	●		
56	4	280	6 1/2" (165 mm)	17" x 40" (432 x 1,016 mm)	●	●	●	●	●	●	●	●	●	●	●		
56	4	280	7 1/2" (191 mm)	17" x 34 1/2" (432 x 876 mm)	●	●	●	●	●	●	●	●	●	●	●		
48	3	288	7 1/2" (191 mm)	17" x 40" (432 x 1,016 mm)	●	●	●	●	●	●	●	●	●	●	●		
64	3	256	5 5/8" (143 mm)	13 1/4" x 39 3/8" (337 x 1,000 mm)	●	●	●	●	●	●	●	●	●	●	●		
72	4	360	5" (127 mm)	17" x 40" (432 x 1,016 mm)	●	●	●	●	●	●	●	●	●	●	●		
English 79	3	English 316	English 5" (127 mm)	English 12" x 36" (305 x 914 mm)	●	●	●	●	7	●	7	●	●	7	●		7
Metric 64		Metric 256	Metric 5 5/8" (143 mm)	Metric 13 1/4" x 39 3/8" (337 x 1,000 mm)	●	●	●	●	7	●	7	●	●	7	●		7

⁴25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions.

⁵Steeper slopes and maximum wind warranties may require more nails.

⁶Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

⁷Applies to some plants (that make referenced product).

⁸Applies to White only.

⁹ Applies to Arctic White only.

¹⁰ Formerly known as Timberline Ultra HD®.

Grand Sequoia® Shingles

Extra-large design with oversized tabs creates a wood-shake look — at a fraction of the cost!



GRAND SEQUOIA®
LIFETIME *Designer* SHINGLES

Grand Sequoia® Value Collection Lifetime Designer Shingles Offer You These Great Benefits:

Affordable Luxury

Grand Sequoia® Shingles are only a fraction of the cost of traditional slate or wood shakes

Sophisticated Design

Artisan-crafted shapes combined with oversized tabs and a dimensional design result in a sophisticated beauty unmatched by typical shingles

Custom Color Palette

Specially formulated color palette is

designed to accentuate the shingle's natural appeal

Highest Roofing Fire Rating

UL Class A, Listed to ANSI/UL 790

High Performance

Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/APS/ to learn more)

Stays in Place

Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)!¹

StainGuard® Protection

Helps ensure the beauty of your roof against unsightly blue-green algae²

The Ultimate Peace of Mind

Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage for 20 years)³

Perfect Finishing Touch

For the best look, use TimberTex® Premium Ridge Cap Shingles or Ridglass® Premium Ridge Cap Shingles; also use color-coordinated StarterMatch™ Starter Strip Shingles⁴

¹This wind speed coverage requires special installation; see *GAF Shingle & Accessory Ltd. Warranty* for details.

²StainGuard® Protection applies only to shingles with StainGuard®-labeled packaging. See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

³See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the *GAF Shingle & Accessory Ltd. Warranty* and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

⁴These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

Colors & Availability

Regional Availability
Northeast, Southeast, Southwest,
West, and Central Areas



Cedar



*Slate***



Charcoal



*Weathered Wood**



Autumn Brown



Mesa Brown



*Weathered Timber***

*Only available in the Southwest and West Areas **Only available in the Northeast, Southeast, and Central Areas

Applicable Standards & Protocols

- UL Listed to ANSI/UL 790 Class A
- Miami-Dade County Product Control approved
- State of Florida approved
- UL 997 modified to 110 mph
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462¹
- ICC ES Evaluation Reports ESR-1475 and ESR-3267
- Texas Department of Insurance listed
- CSA A123.5²

Product/System Specifics³

- Fiberglass Asphalt Construction
- Dimensions (approx.): 17" x 40" (432 x 1016 mm)
- Exposure: 5" (127 mm)
- Bundles/Square: 5
- Pieces/Square: 72
- StainGuard® Protection: Yes⁴
- Hip/Ridge: Timbertex®; Ridglass®
- Starter: WeatherBlocker™ & StarterMatch™

Installation

Detailed installation instructions are provided on the inside of each bundle wrapper of Grand Sequoia® Shingles. Installation instructions may also be obtained at gaf.com.

¹Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

²Refers to shingles sold in Canada only.

³Refer to complete published installation instructions.

⁴StainGuard® Protection applies only to shingles with StainGuard®-labeled packaging. See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

GAF Camelot® II
Designer Lifetime® Shingles



Camelot® II Shingles

Camelot® II Shingles complete a home with their classic, artisan-crafted look — at a surprisingly affordable price. Now with GAF Time-Release Algae-Fighting Technology for long-lasting algae-fighting power so strong it allows us to offer a 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration.⁴



Camelot® II Shingles

Benefits:

- **Affordable Luxury** — Camelot® II Shingles are only a fraction of the cost of traditional slate or wood shakes
- **Sophisticated Design** — Artisan-crafted shapes combined with a dimensional design result in a sophisticated beauty unmatched by typical shingles
- **Custom Color Palette** — Specially formulated color palette is designed to accentuate the shingle's natural appeal
- **High-Performance** — Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/aps to learn more)
- **StainGuard Plus™ Algae Protection Limited Warranty** — Specially engineered capsules release copper over time for long-lasting algae-fighting power. It's protection so strong, it allows us to offer a 25-year limited warranty against blue-green algae discoloration.⁴
- **Highest Roofing Fire Rating** — UL Class A, Listed to ANSI/UL 790
- **Stays in Place** — Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-offs; shingles warranted to with-stand winds up to 130 mph (209 km/h)³
- **The Ultimate Peace of Mind** — Lifetime¹ limited transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years
- **Perfect Finishing Touch** — Use TimberTex® Premium Ridge Cap Shingles or TimberCrest® Premium SBS-Modified Ridge Cap Shingles⁵

Product details:

- Product/System Specifics**
- Fiberglass asphalt construction
 - **Dimensions (approx.):** 17" x 34 1/2" (432 x 876 mm)
 - **Exposure:** 7.5" (190.5 mm)
 - **Bundles/Square:** 4
 - **Pieces/Square:** 56
 - **Nails/Square:** 280 (336 where 6 nails per shingle is required)⁵
 - **StainGuard Plus™ Algae Protection Limited Warranty⁴**
 - **Hip/Ridge:**^{5,6} TimberTex®; TimberCrest®
 - **Starter:** WeatherBlocker™

Applicable Standards & Protocols

- UL Listed to ANSI/UL 790 Class A
- Miami-Dade County Product Control approved
- State of Florida approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462¹
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Texas Department of Insurance listed
- Meets CSA A123.5²

Installation

Detailed installation instructions are provided on the inside of each bundle wrapper of Camelot® II Shingles. Installation instructions may also be obtained at gaf.com.

¹ Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime Shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.

² Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

³ Refers to shingles sold in Canada only.

⁴ 15-year 130 mph wind speed coverage requires special installation and use of GAF Starter Strip Shingles; see *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

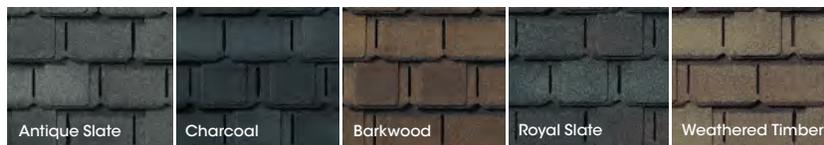
⁵ 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions, and qualifying products.

⁶ Required by some local codes and required for enhanced wind coverage on certain products.

⁷ These products are not available in all areas. See gaf.com/RidgeCapAvailability for details.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Colors:



We protect what matters most™





ArmorShield® Series

Color shown: Dusky Gray



Rubber-like flexibility to help protect your home against the elements

Timberline® AS II and Grand Sequoia® AS Shingles are made with our proprietary SBS-modified asphalt formulation and pass UL's toughest impact-resistance test — UL 2218 Class 4.

ArmorShield® SBS Modified IR Shingles

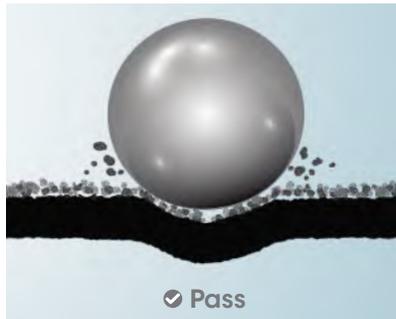


UL 2218 Class 4 Impact-Resistance Test

A 2" steel ball is dropped twice from a 20-foot height onto various target locations to evaluate the shingles' ability to withstand the impact.



Results on a standard shingle:
Evidence of visible ruptures or cracks through the shingle immediately after impact.



Results on a Class 4 shingle:
No evidence of ruptures or cracks through the shingle immediately after impact.

GAF ArmorShield® Series Shingles meet UL's highest impact-resistance rating

- **Strength:** Shingles that passed this test were able to withstand the impact of a steel ball that caused cracks and ruptures through other shingles.
- **Potential Insurance Savings:** Shingles that pass the UL 2218 Class 4 Impact-Resistance Test may qualify for insurance discounts.¹
- **No Warranty Enhancement:** Shingle warranties do not cover hail damage (even for shingles that pass this test).

For products that pass the test, learn more about GAF ArmorShield® SBS Modified IR Shingles



Visit gaf.com/ArmorShield

SBS-modified asphalt is the key to ArmorShield® Shingle performance

- SBS polymer-modified asphalt technology helps protect your home from the elements. Polymer modification makes asphalt more durable, rubber-like, and super-flexible — to help reduce stress when impacted. When this material is used to make roofing shingles, it results in a shingle with excellent flexibility and durability, plus increased impact resistance.

So before you decide on which IR shingle to install on your home, make sure to ask the question: Does it have SBS?



Now with GAF Time-Release Algae-Fighting Technology and the 25-Year StainGuard Plus™ Algae Protection Limited Warranty

Specially-engineered capsules are infused throughout with thousands of copper microsites, which release copper steadily over time, for long-lasting algae-fighting power. It's algae resistance so powerful it allows us to offer a 25-year StainGuard Plus™ Algae Protection Limited Warranty²

400036-0422

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¹ Insurance discounts may not be available in your area. Where available, insurance discounts may vary. Contact your insurance provider for information.
² 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions, and qualifying products.

We protect what matters most™





STATEMENT OF SIGNIFICANCE

This frame structure, typical of the period, rises one and three quarter stories to a high-pitched roof. The top of the front gable has a foliate panel above a diamond-mullion window, which is centered in a scalloped shingle field. A pair of windows occupies the second story which is clad in an alternate-base-level shingle field. A shed roofed porch across the entire front, supported by thin Tuscan columns with tightly ranked balusters, shelters the clapboard-covered ground floor with its broad, projecting, transomed window, entrance, and small vestibule window. The building has very good integrity.

EVANSTON LANDMARK

ADDRESS: 1323 Elmwood Avenue

COMMON NAME:

REAL ESTATE INDEX NUMBER:

DATE OF CONSTRUCTION: c.1892

ARCHITECT OR BUILDER: Unknown

ORIGINAL SITE MOVED

SIGNIFICANCE:

HISTORICAL	<input type="checkbox"/> H1	<input type="checkbox"/> H2	<input type="checkbox"/> H3	<input type="checkbox"/> H10
ARCHITECTURAL	<input type="checkbox"/> A4	<input type="checkbox"/> A5	<input type="checkbox"/> A6	<input type="checkbox"/>
	<input checked="" type="checkbox"/> A7	<input type="checkbox"/> A8	<input type="checkbox"/> A9	<input type="checkbox"/>
ENVIRONMENTAL	<input type="checkbox"/> GE11			

OTHER COMMENTS:



City of EVANSTON

1323 ELMWOOD AVENUE

BEGINNING STREET NUMBER
END STREET NUMBER
STREET #
SUFFIX
STREET NAME
PIN

LOCAL

WITHIN LOCAL DISTRICT?
LOCAL DIST CONTRIB/NON-CONTRIB?
LOCAL LANDMARK?
YEAR
LOCAL LANDMARK ELIGIBLE?
CRITERIA



PHOTO ID:

NATIONAL REGISTER

NR DISTRICT CONTRIB/NON-CONTRIB
WITHIN DISTRICT? NR LANDMARK? YEAR
NR ELIGIBLE? CRITERIA ALTERNATE ADDRESS?

GENERAL INFORMATION

CATEGORY CONDITION
INTEGRITY CURRENT USE
HISTORIC USE
SECONDARY STRUCTURE NR SECOND

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION
DETAILS

Decorated gable front, main floor wood siding without cornerboards, second floor decorative wood shingles, beltcourses with dentils and moulding, soffit and decorative wood trim below top gable end, carved wood decoration above window at peak, side 2 story bay window, full front porch with turned columns and spindles, , some leaded glass transoms

CONSTRUCTION YEAR OTHER YEAR
DATE SOURCE WALL MATERIAL (CURRENT)
WALL MATERIAL 2 (CURRENT) PLAN
NO OF STORIES ROOF TYPE
ROOF MATERIAL FOUNDATION

PORCH WINDOW MATERIAL
WINDOW MATERIAL 2 WINDOW TYPE
WINDOW CONFIGURATION SIGNIFICANCE

HISTORIC FEATURES

Gable front house with main floor wood siding without cornerboards, second floor decorative wood shingles, beltcourses with dentils and moulding, soffit and decorative wood trim below top gable end, carved wood decoration above window at peak, side 2 story bay window, full front porch with turned columns and spindles, some leaded glass transoms

ALTERATIONS

Several replaced windows on front elevation, retrofit aluminum storms.

HISTORIC INFORMATION

OLD ADDRESS (CITY DIR.YEAR) BUILDING MOVED? BUILDER SURVEYOR
MOVED FROM ORIGINAL OWNER SURVEYOR ORGANIZATION
ORIGINAL ARCHITECT ARCHITECT SOURCE SURVEY DATE SURVEY AREA

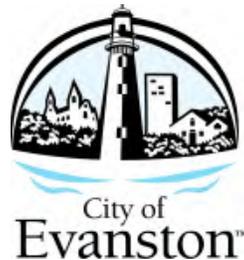
PERMIT/HISTORIC INFORMATION

PERMIT MOVING INFORMATION

CURRENT ADDRESS OLD ADDRESS DATE OF CONSTRUCTION MOVING PERMIT # DATE MOVED

ORIGINAL PERMIT INFORMATION

BUILDING PERMIT # OTHER PERMIT INFORMATION
DATE COA INFO
BUILDING PERMIT DESCRIPTION
 HISTORIC INFO
COST ORIGINAL OWNER OCCUPIED? OTHER SOURCES HISTORIC INFO COMPILER
EXTERIOR ALTERATION PERMITS VOLUNTEER



MEETING MINUTES

PRESERVATION COMMISSION

Tuesday, April 11, 2023
7:00 P.M.

Members Present: Beth Bodan, Stuart Cohen, John Jacobs, Carl Klein, Sarah Dreller, Suzi Reinhold, Jamie Morris, Aleca Sullivan, and Amanda Ziehm.

Members Absent:

Staff Present: Carlos Ruiz

Presiding Member: Sarah M. Dreller, Chair

Minutes Taken by: Cade Sterling

CALL TO ORDER / DECLARATION OF A QUORUM

- The meeting was called to order at 7:01 pm with a quorum of nine members being present.

NEW BUSINESS

A. **2146 Asbury Avenue (Landmark) – 23PRES-0046**

Zafiro Papastratakos, applicant, submit for a Certificate of Appropriateness to replace 33 existing windows with Pella or Marvin Architecture Series clad wood windows and aluminum screens to match the style and look of the original windows. Four (4) windows and one (1) rear door will be demolished, and two (2) rear doors and five (5) windows added. The original wood front door and screen will remain. Existing windows and rear doors will be replaced to meet egress requirements (basement and second floor). Exterior wood stairs at the rear rise from the ground to the first and second stories

- Mr. Ruiz read the case into the record.
- Zafiro Papastratakos presented an overview of the proposal to replace the windows. The majority of the homes windows had been replaced prior with vinyl windows. The proposal is to replace 33 windows with aluminum clad wood windows that closely match the

existing condition with the exception of the basement windows, which will be altered to meet egress requirements for the internal accessory dwelling unit.

- Some existing original windows, and original wood divided lite storms will be retained. This condition exists primarily at the south elevation bay. Anywhere there are original windows that can be retained, they will be.
- Alterations to the rear elevation are minimally visible, with the most extensive change being construction of a wood stair to provide egress from the second-story unit. The existing door to the basement will be moved from the rear elevation to the north, side elevation.
- All existing original wood trim around the windows will be salvaged for reuse.
- Commissioners applauded the extensive documentation and application that was provided.
- Commissioners asked the applicant if the original wood divided lite storms on the north elevation would be retained to which the applicant stated they would not since those were scheduled for replacements and the new thermally broken windows do not require a storm.
- Commissioners asked if the proposed windows were custom sized to fit within the existing opening and trim to which the applicant responded yes.
- Commissioners asked about the proposed basement entry door at the north elevations rear-volume. The applicant had sent an elevation of the proposed door which was not included in the packet. The applicant described the proposed door, which closely matched the original door in its design, and material, with the exception of not replicating the glass area above the horizontal panels so as to meet fire rating requirements.
- Commissioners acknowledged the compatibility of the railing at the proposed rear-stair, as well as the general composition of the homes fenestration with the new openings.
- Commissioners asked the applicant to salvage and donate the existing wood divided lite storms due to their good condition to which the applicant agreed.
- Commissioner Cohen made a motion to approve the proposal as presented. Second by Commissioner Klein. After no further discussion, the motion carried 9-0.

APPROVAL OF MEETING MINUTES

Minutes of March 14, 2023

- Commissioner Klein moved approval of the minutes as presented. Second by Commissioner Cohen and approved 8-0 with 1 abstention (Chair Dreler).

DISCUSSION (NO VOTE WILL BE TAKEN)

A. **Draft Heritage Design Manual Update**

City staff will provide an update on the status of the draft Heritage Resource Design Manual, and the timeline for its completion.

- Mr. Ruiz provided a brief overview including the history of the effort, and next steps. Additional time is needed to create and present a document that addresses the comments and concerns of the Commission and better reflects the needs of the user, which is primarily applicants and homeowners.

B. **Preservation Commission Subcommittees**

- Commissioners discussed the standing subcommittees that were recently created in the Rules and Procedures including a rotating pre-review subcommittee. Sign-up sheets were provided.
- Chair Dreler asked if Commissioners still preferred to have one of the trained architects paired with a non-trained architect to facilitate the pre-review. Commissioners agreed to this and ways to identify experience on the sign up sheet to facilitate this were discussed.
- Chair Dreler discussed both the Education and Advocacy subcommittee, which would start with creation of content for inclusion in a newsletter, and the Diversity, Equity, and Inclusion subcommittee which would start by facilitating recruitment of a more diverse Commission with a range of life experiences.
- Commissioners discussed the makeup of the new subcommittees, how long one would serve, and number of members who could serve without requiring public notice, as well as distinctions between working groups and subcommittees. Mr. Ruiz stated he would look into the questions and provide input prior to the next meeting.

REPORTS OF COMMITTEES AND CITY STAFF

A. **Preservation Commission Annual Report**

- The Chair reminded Commissions that the annual report, and Preserve 2040 Plan would be presented to the Planning and Development Committee on Monday, April 24.

B. **Harley Lyman Clarke Mansion**

- Commissioners discussed the draft letter included in the packet. Commissioner Jacobs discussed a preference to revise the letter to clarify the role of the Commission with emphasis on what happens to the structure, and not judge who, or what organization(s) occupy the structure.
- Mr. Ruiz made a statement that the Commissions role should be

DRAFT

limited to what occurs to the exterior of the structure and review of future Certificates of Appropriateness.

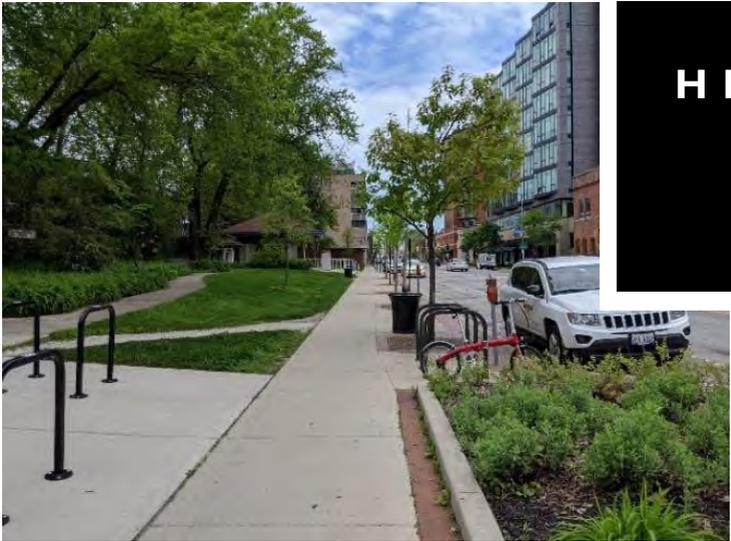
- The Chair asked that comments or suggested revisions be sent to Mr. Sterling for review and that he be given the opportunity to address the draft letter and the role of the Commission as a subsequent meeting.

The meeting was adjourned at 7:55 pm.

Page 4 of 4



City of Evanston
Chicago Avenue
 MULTIMODAL CORRIDOR IMPROVEMENTS



**HISTORIC PRESERVATION
 COMMISSION**
MAY 9, 2023



AGENDA

1. Project Objectives
2. Summary of Engagement To Date
3. Proposed Improvements & Roadway Lighting Details



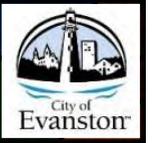
PROJECT OBJECTIVES

Improve the Chicago Avenue right-of-way from Howard Street to Davis Street

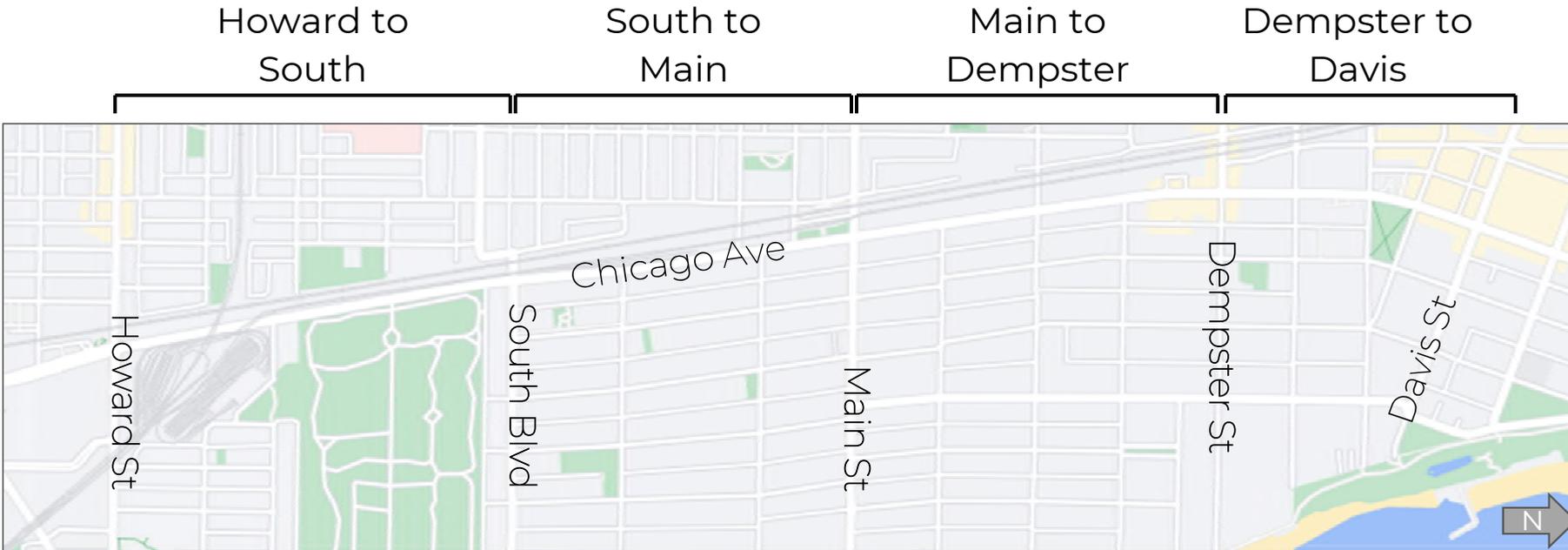
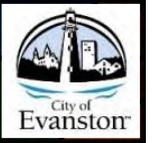
- Improve walking and bicycling infrastructure
- Roadway Resurfacing
- Improve Safety for all users
- Improve Access to Transit
- Improve Streetscape
- Activate Public Space
- Upgrade Street Lighting to Confirm to City Standards (Streetlight Master Plan)



CORRIDOR CONTEXT MAP

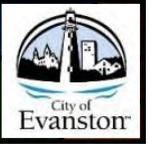


PROPOSED IMPROVEMENTS HOWARD TO DAVIS



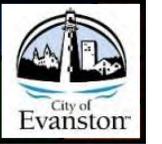
STAKEHOLDER ENGAGEMENT (1 of 2)

DATE	AGENCY & NOTES
February 4, 2021	Chicago Transit Authority <ul style="list-style-type: none"> • South and Main stations are included in the CTA Red-Purple Modernzation Project Phase II
February 4	Pace Bus
February 4	Northwestern University Shuttle
February 15	Center for Independent Futures
February 18	Chicago Department of Transportation
March 4	Main Dempster Mile
March 11	Downtown Evanston
March 31	Climate Action #1
May 27	Climate Action #2



STAKEHOLDER ENGAGEMENT (2 of 2)

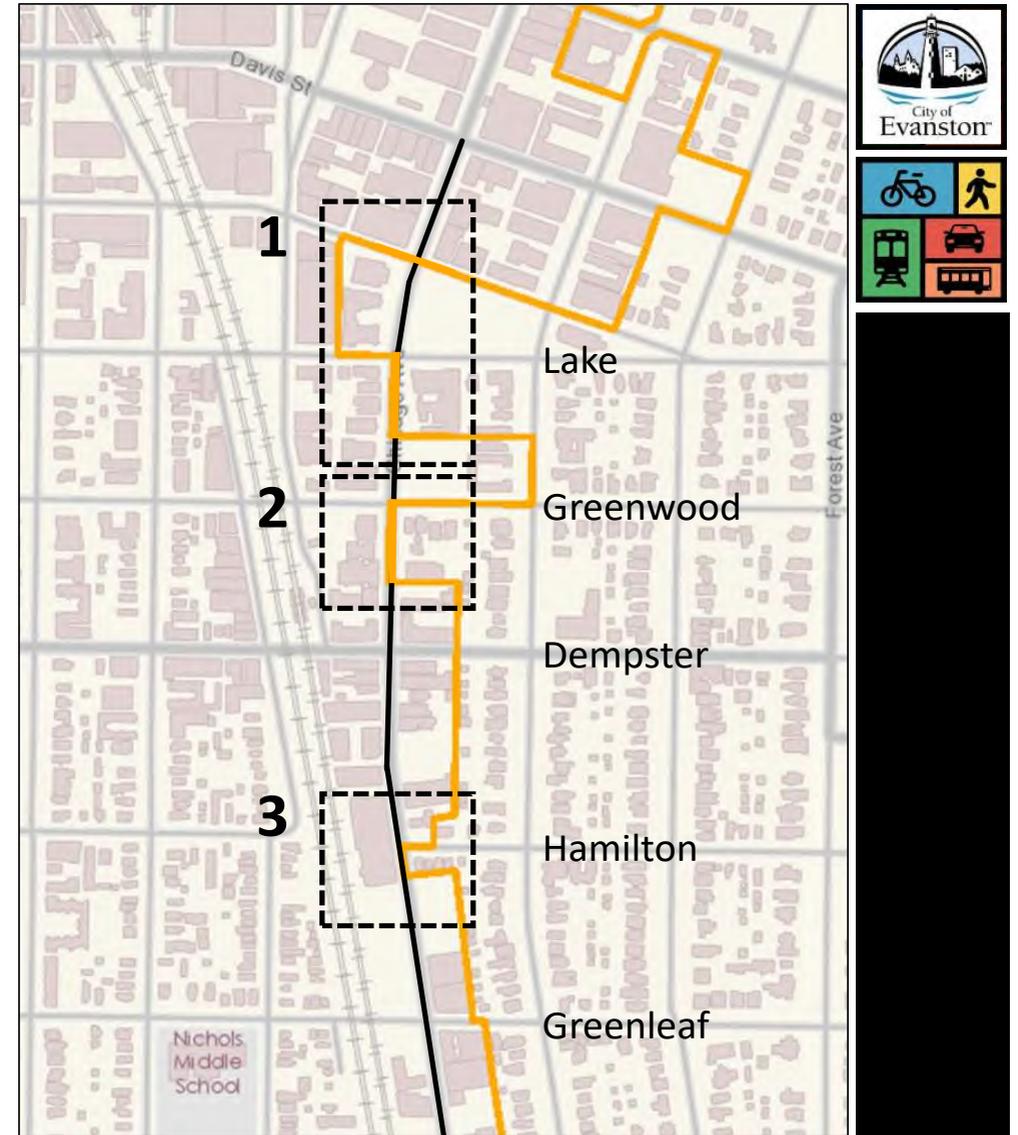
DATE	AGENCY & NOTES
June 11	Evanston Forestry Supervisor
June 29	Courts of Evanston
July 29	Public Meeting #1
September 23	Advisory Committee Meeting
October 14	Pace Coordination
October 19	Arts Community Leader
October 21	CTA and Northwestern University
November 11	Public Meeting #2
November 12, 2021	Connections for the Homeless
May 9, 2023	Evanston Historic Preservation Commission



The Chicago Avenue project comes into contact with the Evanston Lakeshore Historic District in 3 locations

1. Chicago Avenue from north of Greenwood to Grove
2. Chicago Avenue between Dempster and Greenwood
3. Chicago Avenue at Hamilton Street

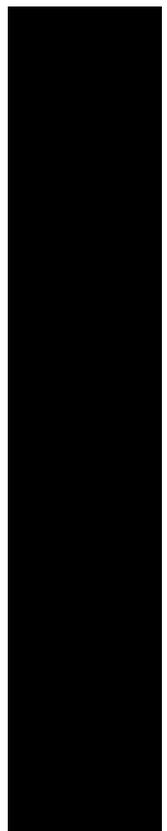
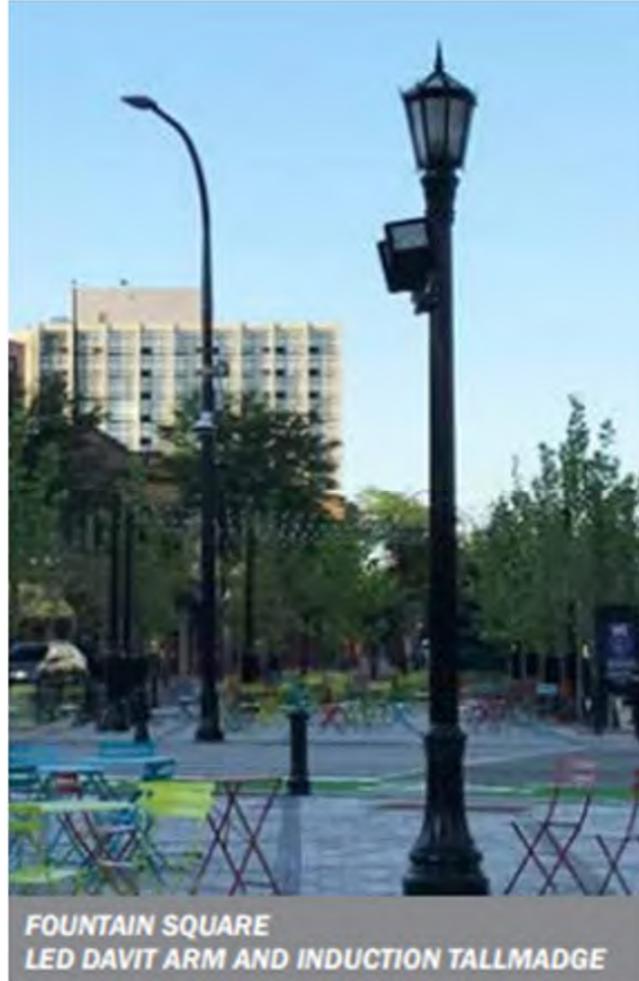
Map Source: City of Evanston



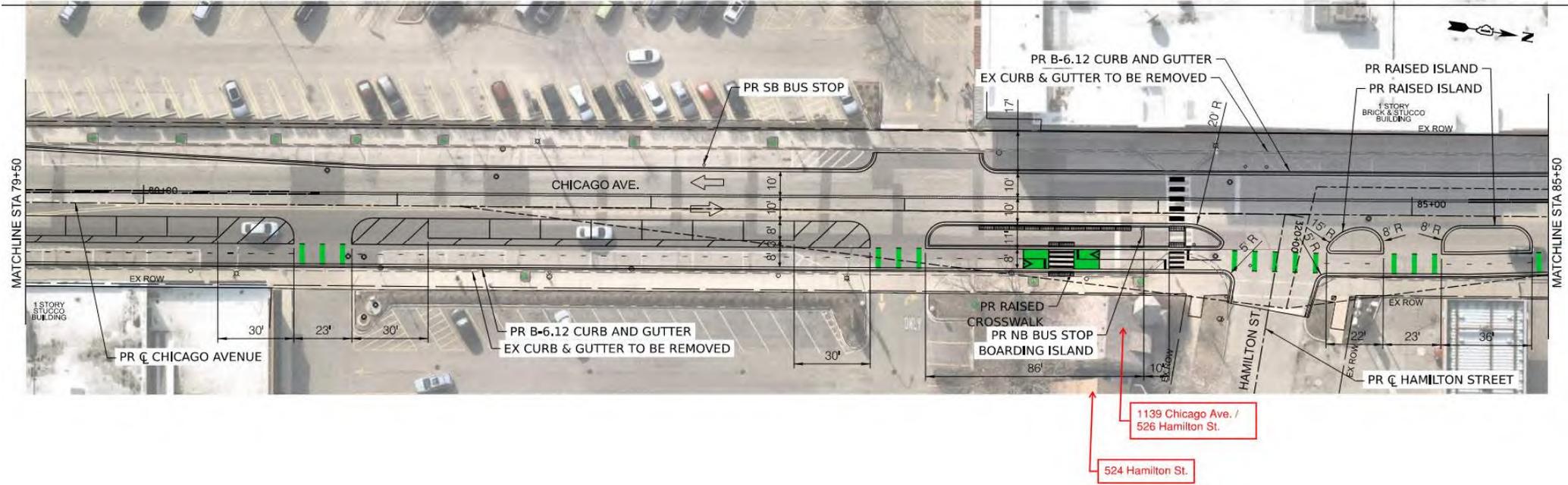
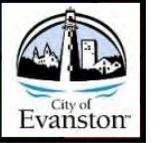
PROPOSED STREETLIGHT FIXTURES

Align with City of Evanston Streetlight Master Plan

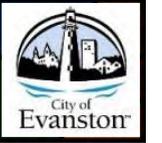
- LED Davit Arm
- Tallmadge



PROPOSED PLAN @ HAMILTON



PROPOSED PLAN, LAKE TO GROVE






City of Evanston
Chicago Avenue
 MULTIMODAL CORRIDOR IMPROVEMENTS



THANK YOU

www.cityofevanston.org/ChicagoAvenueMultimodal