

LAND USE COMMISSION

Wednesday, May 22, 2024 | 7:00 P.M.
James C. Lytle City Council Chambers, Second Floor
Lorraine H. Morton Civic Center, 2100 Ridge Avenue

AGENDA

Those wishing to make public comments at the Land Use Commission meeting may submit written comments in advance or sign up to provide public comment in-person during the meeting by calling/texting 847-448-4311 or completing the Land Use Commission meeting online comment form available by clicking [here](#), or visiting the Land Use Commission webpage, <https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission>, clicking on How You Can Participate, then clicking on Public Comment Form. Community members may watch the Land Use Commission meeting online at www.cityofevanston.org/channel16 or on Cable Channel 16.

- I. **CALL TO ORDER/DECLARATION OF A QUORUM**
- II. **APPROVAL OF MEETING MINUTES: February 28, 2024**
- III. **NEW BUSINESS**

A. Public Hearing: Special Use | 1601 Simpson Street | 24ZMJV-0022

John Cook, builder/contractor, submits for a Special Use for a Daycare Center – Child, the Infant Welfare Society, in the B1 Business District (Section 6-9-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 10-12-421-022-0000

B. Public Hearing: Special Use | 518 Main Street | 24ZMJV-0020

Bryan Wietrzykowski, Vice President of Construction, submits for a Special Use for an Animal Hospital, GoodVets, in the C1a Commercial Mixed-Use District (Section 6-10-3-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 11-19-401-024-0000

Order & Agenda Items are subject to change. Information about the Land Use Commission is available at: <https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission>. Questions can be directed to Meagan Jones, Neighborhood and Land Use Planner, at mmjones@cityofevanston.org or 847-448-4311. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact 847-866-2919 (Voice) or 847-866-5095 (TTY). Requests for access assistance must be made 48 hours (two working days) in advance. Requests received with less than 48 hours (two working days) advance notice will be attempted using best efforts, but cannot be guaranteed.

La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847/866-2916 (voz) o 847/448-8052 (TDD).

C. Public Hearing: Map Amendment & Major Variations | 1611 Church Street | 23PLND-0045 & 23ZMJV-0047

Thomas Gourguechon of CSE1611 LLC, applicant for the property owner, submits for a Map Amendment and Major Variations for an adaptive reuse to convert an existing industrial/office building into 7 dwelling units and one ADU, and for additions/new construction for amenity space and parking. The applicant requests a Map Amendment to rezone the property from the current WE1 West Evanston Transitional District and the oWE West Evanston Overlay District to the R4 General Residential District (Section 6-8-5). The applicant requests Major Variations for townhome orientation that does not face the right-of-way (Section 6-8-1-12), and detached accessory structures between the principal structure and the front property line but not within the required front yard (Section 6-4-6-2-D), in the R4 General Residential District. The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-4-8 of the Evanston Zoning Code. PIN: 10-13-222-004-0000

IV. COMMUNICATION

V. PUBLIC COMMENT

VI. ADJOURNMENT

The next meeting of the Evanston Land Use Commission will be held **on Wednesday, June 12, 2024, at 7:00 pm**, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.



MEETING MINUTES

LAND USE COMMISSION

Wednesday, February 28, 2024

7:02 PM

Lorraine H. Morton Civic Center, 2100 Ridge Avenue, James C. Lytle City Council Chambers

Members Present: Matt Rodgers, Max Puchtel, Jeanne Lindwall, Kiril Mirintchev, Kristine Westerberg, John Hewko, Myrna Arevalo

Members Absent: George Halik and Brian Johnson

Staff Present: Neighborhood Land Use Planner Meagan Jones and Zoning Administrator Melissa Klotz

Presiding Member: Matt Rodgers

Call to Order

Commissioner Puchtel opened the meeting at 7:02 PM. A roll call was then done and a quorum was determined to be present.

Approval of January 10, 2024 and January 24, 2024 Meeting Minutes

Commissioner Lindwall made a motion to approve the meeting minutes from January 10, 2024 as amended. Seconded by Commissioner Westerberg. A voice vote was taken, and the motion passed 5-0 with two abstentions.

Commissioner Lindwall made a motion to approve the meeting minutes from January 24, 2024 as amended. Seconded by Commissioner Westerberg. A voice vote was taken, and the motion passed 6-0 with one abstention.

Old Business

A. Public Hearing: Special Use | 1630 Orrington Avenue | 23ZMJV-0069

Luz Garcia, business operator, requests a special use for a Resale Establishment, JBS Thrift Co., in the D3 Downtown Core Development District (Section 6-11-4-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5-8 of the Evanston Zoning Code. PIN: 11-18-305-005-0000. ***This item was sent back to the Land Use Commission by the Planning & Development Committee of the City Council for additional review.***

Commissioner Questions

Chairman Rodgers asked a question regarding the required noticing for the proposed special use, which was confirmed to have been appropriately noticed through mailed notices and posted signs at the property.

Chair Rodgers stated that Article 10 of the Commission Rules and Procedures state that the Chair, in consultation with the Secretary or his/her/their designee, may grant another hearing in any case in which the applicant desires to offer new material evidence and testimony that was not available at the time of the previous hearing and determination. The Chair determined that there was no new significant evidence to present by reopening public testimony and proposed to send the item back to the Planning & Development Committee with the same Commission vote.

It was clarified that although neighboring businesses were discussed, there was an oversight regarding the proximity of the proposed business to an existing one of the same nature. The Chair proposed to reopen public testimony to allow the neighboring business owner to make a statement for the record, which was agreed upon by the Commission

Commissioner Westerberg made a motion to reopen public testimony. Seconded by Commissioner Puchtel. A voice vote was taken and the motion passed, 7-0.

Public Comment

Public testimony was reopened. Vivian Killebrew, the neighboring business owner of Stepping Out on Faith, stated her lack of opposition to the new establishment and expressed her presence in the neighborhood. Following the statement, the Commission decided that no further discussion was needed and the neighboring business owner's statement would be attached to the recommendation for approval. Chair Rodgers closed public testimony, and no new vote was taken, maintaining the original 6-0 vote in favor of approval.

The recommendation for approval of the special use for a resale establishment at 1630 Orrington Avenue will be forwarded to the Planning and Development Committee with the attachment of the neighboring business owner's statement.

NEW BUSINESS

A. Public Hearing: Major Adjustment to a Planned Development & Unique Use | 1590 Elmwood Avenue/1571 Maple Avenue/910 Davis Street | 24PLND-0004 & 24ZMJV-0003

Scholar Evanston, LLC, property owner, submits for a Major Adjustment to a Planned Development and a Unique Use Special Use to convert vacant

ground-floor commercial space into two dwelling units in the D3 Downtown Core Development District. The applicant requests a Major Adjustment to increase the existing Site Development Allowance for density, previously approved in Ordinance 19-O-15, from 101 dwelling units to 103 dwelling units. The applicant also requests a Unique Use Special Use (Section 6-3-7-1) to allow dwelling units on the ground-floor where ground-floor dwelling units are not an eligible use in the D3 District. The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Sections 6-3-6-12 and 6-3-7 of the Evanston Zoning Code. PINs: 11-18-310-006-0000, 11-18-310-007-0000, 11-18-310-008-0000, 11-18-310-020-0000, 11-18-310-030-0000, 11-18-310-031-0000. ***This application was withdrawn by the applicant.***

B. Public Hearing: Major Variation | 518 & 520 Barton Avenue | 24ZMJV-0002

Michael Willman, potential purchaser, submits for a Major Variation to eliminate unimproved required parking areas where 3 parking spaces are required for the existing 2 townhomes, for the intention of combining the area with the adjacent property at 1210 South Boulevard for future construction of a detached garage. The applicant requests zero parking spaces where 3 parking spaces are required for 2 townhomes (Section 6-16-3-5 Table 16-B) in the R2 Single Family Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8 of the Evanston Zoning Code. PINs: 11-19-325-024-0000, 11-19-325-025-0000.

Michael Wilman presented the request for a major variation to eliminate unimproved required parking areas for two townhomes. The intention is to combine the space with adjacent property for the future construction of a detached garage. Mr. Willman explained plans to build a two-story garage behind his property at 1210 South Boulevard, that will include a tutoring space above and will be accessed via a driveway easement.

Commissioner Questions

Commissioner Lindwall inquired about what the treatment will be with regards to the easement. The applicant replied that he and the neighbors would like the area to be closed off to prevent fly dumping that currently occurs. Ms. Klotz clarified that the existing easement is an ingress/egress easement that must be maintained unless all neighbors agree to close it off and one neighbor expressed they would not be open to that.

Commissioner Puchtel asked how long the applicant has been at the property and why the parking area has not been used. The applicant explained that his

family has been in their home since 2001 and that there is plenty of parking on the street.

Commissioner Westerberg confirmed that the townhomes were individually owned and asked if there was any concern about reducing off-street parking. The ownership was confirmed and staff expressed that there was no concern as the existing condition has been in place for roughly 75 years and no complaints have been filed to staff's notice.

Public Comment

Colette Cook, a nearby resident, expressed concerns about illegal parking obstructing access to her garage and the safety hazards posed by some parked cars in the area.

Mark Ryder, another neighbor, sought clarification on the orientation of the proposed garage and details on the existing easement.

Deliberations

The commission discussed the impact of the proposal on neighboring properties and the intent of the zoning ordinance agreeing that it makes sense to do and the addition of parking spaces makes the lot more confirming. It was also advised that the applicant incorporate safety features like pedestrian doors and architectural enhancements for aesthetic improvement.

Standards for Approval In order for the Land Use Commission to approve the requested variation, the proposed request must meet the Standards for Major Variation (Section 6-3-8-12-E):

1. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties. Based on the testimony received and visits to the property, it appears that the area is unimproved with brush growing. Improving the property will likely improve the property values and make the property more enjoyable for all parties so this standard is met.
2. The requested variation is in keeping with the intent of the zoning ordinance. The zoning ordinance intends to provide for off street parking, however, it seems like current neighbors have no intention to improve the property for this use and the applicant will add off-street parking to this space so this standard is met.
3. The alleged hardship or practical difficulty is peculiar to the property. This is a strange area consisting of multiple easements; parking that exists is for

properties that face Barton but parking runs along the easement. Seeking to improve this condition in other ways would still likely present difficulty so this standard is met.

4. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out: This is a unique property that is changing hands for off-street parking purposes. The applicant's property does not have space for parking and is seeking to use adjacent property for this purpose so this standard is met.
5. Either the purpose of the variation is not based exclusively upon a desire to extract additional income from the property, or, while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Land Use Commission or the City Council, depending on final jurisdiction under Section 6-3-8-2 of this Chapter, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of Section 6-3-6-3 of this Chapter: The proposed project will be single car garage with a coach house above and likely not generate much income so this standard is met.
6. The alleged difficulty or hardship has not been created by any person having an interest in the property: The properties were subdivided some time ago and predate current owners so this standard is met.
7. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Land Use Commission issues its decision or recommendation to the City Council regarding said variation: A small footprint is proposed for the single-car garage and it is not unnecessarily large so this standard is met.

Commissioner Lindwall made a motion to approve the Major Variation request to eliminate the unimproved required parking areas where three spaces are required for the existing two townhouses. Seconded by Commissioner Westerberg. A roll call vote was taken and the motion carried, 7-0.

Ayes: Rodgers, Puchtel, Lindwall, Mirintchev, Westerberg, Hewko, Arevalo

Nays:

Communications

Ms. Jones provided a brief update on the Envision Evanston 2045 process, explaining the upcoming meetings and launch of Meetings-in-a-Box.

Adjournment

Commissioner Lindwall motioned to adjourn, Commissioner Westerberg seconded, and the motion carried, 7-0.

Adjourned 7:45 PM.

The next meeting of the Evanston Land Use Commission is to be held on **Wednesday, March 27, 2024, at 7:00 PM, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.**

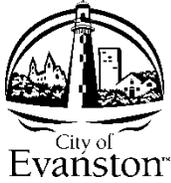
Respectfully submitted,
Justin Bock, Administrative Lead

Reviewed by,
Meagan Jones, AICP, Neighborhood and Land Use Planner

1601 Simpson Street

Daycare Center- Child,
Infant Welfare Society of Evanston

Special Use
24ZMJV-0022
LUC Recommending Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Michael Griffith, Planner

CC: Sarah Flax, Director of Community Development
Elizabeth Williams, Planning Manager

Subject: Special Use - Daycare Center - Child
Infant Welfare Society of Evanston
1601 Simpson Street, 24ZMJV-0022

Date: May 17, 2024

Request

John Cook, applicant (builder/contractor), submits for a Special Use for a Daycare Center - Child, Infant Welfare Society of Evanston, in the B1 Business District (Zoning Code Section 6-9-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code.

Notice

The Application has been filed in conformance with applicable procedural and public notice requirements including publication in the Evanston Review on May 2, 2024.

General Information

Applicant: John Cook
1228 Florence Avenue
Evanston, IL 60202

Stephen Vick, Director
Infant Welfare Society of Evanston
2200 Main Street
Evanston, IL 60202

Owner(s): Pono Hana LLC
1601 Simpson Street, Unit #5
Evanston, IL 60202

PIN: 10-12-421-022-0000

Analysis

The subject property, 1601 Simpson Street, is located at the northwest corner of Simpson Street and Ashland Avenue in the B1 Business District. The zoning lot includes 1601 and 1607 Simpson Street which is improved with a 2-3-story multi-tenant commercial/office building and 12 off-street parking spaces on the north side of the building.

The surrounding properties contain a mix of uses, including but not limited to: a dog daycare, brew pub, private open parking lot, religious institution, public park, veterinary clinic, and live/work spaces.

The table below notes the zoning district and land use of properties adjacent to or across the street from the subject property:

Surrounding Zoning and Land Uses	Zoning	Land Use
North	MXE Mixed Use Employment District	Dog daycare - Rex's Place
South	OS Open Space District	Park - Foster Field Future site for 5th Ward School
East	MXE Mixed Use Employment District	Open surface parking lot
West	B1 Business District	Office and live-work

Foster Field located across the street on the south side of Simpson Street is the location of the new 5th Ward School, School District 65. The City Council granted variations from the Zoning Code on May 22, 2023, Ordinance 48-O-23, to allow for the construction of the school. School District 65 has worked through revisions for the new school with construction anticipated to start within the next couple of months. The building permit is issued by the State.

The Infant Welfare Society of Evanston (IWSE) proposes to operate a Daycare Center - Child in the existing ground floor commercial space at the southeast corner of the building with the main entrance facing the street intersection. The applicant has submitted a building permit to make minor interior alterations to accommodate the proposed daycare center. The building permit application is pending the final determination on the Special Use application. No exterior changes to the building are proposed.

IWSE operates child care and early education facilities, including the Teen Baby Nursery currently located in the Family Focus building at 2010 Dewey Avenue. The Teen Baby Nursery provides service to 16 children of young parents who live in

Evanston. Due to building safety issues with construction activity at the Family Focus building, IWSE plans to move to and operate the Teen Baby Nursery at 1601 Simpson Street for a period of 3 years and then move back to the Family Focus building once construction is completed.

Special Use Analysis

IWSE proposes to operate a Daycare Center - Child within an existing ground floor commercial space on the subject property in the B1 District. A Daycare Center - Child is a listed Special Use in the B1 District, Section 6-9-2-3.

The Zoning Code defines a Daycare Center - Child as follows, Section 6-18-3:

Any place other than a family home in which children nine (9) years of age and under receive child daycare services during any part of a day not exceeding twelve (12) hours in a twenty-four (24) hour period licensed pursuant to this Code.

While ISWE plans to operate the Daycare center - Child for a period of 3 years at the subject property, staff reviewed this use as if it will be long-term.

IWSE provided the following operations details for the Daycare center - Child:

- Hours of operation will be 7:30 am - 5:00 pm Monday through Friday.
- 16 children served when full, approximately 8 infants (6 weeks to 18 months) and 8 toddlers (18 months to 3 years).
- 8 employees on-site at full capacity, 4 employees drive to work and the others use public transportation. Two parking spaces are available in the parking lot on the property for employee parking, 2 additional parking spaces are available at the Family Focus building at 2010 Dewey Avenue.
- Child drop-off/pick-up proposed to occur on Simpson Street. Parents to park in front of the building, walk their children into the facility, sign them into their classroom, and return to their vehicles, with vehicles double parked as needed.
- No special requirement for disposing of diapers.

The interior floor plan submitted with the building permit application, showing existing and proposed, is attached to this memo.

Staff Review

Staff reviewed the Special Use application with the following concerns raised:

- Lack of employee parking
- On-street drop-off/pick-up activities:
 - Double parked vehicles create unsafe conditions for drivers and pedestrians accessing vehicles.
 - Proximity to the new 5th Ward School and the associated increase in traffic, both pedestrian and vehicular.
 - School bus drop-offs/pick-ups are planned to occur across the street on Simpson Street at the same time as for the daycare center (plan provides

- a separate drop-off lane on Simpson Street and Ashland Avenue so the street travel lanes are not blocked).
- Simpson Street will likely be a portion of the truck route for the school construction.
 - Additional vehicular traffic in the area is anticipated by other uses that have either opened recently or will open soon, including the Skate Park at Noyes Street and Green Bay Road and Soul and Smoke BBQ sit down restaurant at Payne Street and Ashland Avenue.
 - Other nearby uses with drop-off/pick-up activities occurring at the roughly same time as the daycare center, such as the dog daycare center to the north.

Staff recommended reaching out to the First Church of God, 1524 Simpson Street, to request permission to use their parking lot located across the street from the subject property on the east side of Ashland Avenue for child drop-off/pick-up activities.

IWSE provided the following updated details after the staff review:

- Confirmed 4 employees drive to work and the others use public transportation. Two parking spaces in the parking lot on the property available for employee parking, 2 additional parking spaces are available at the Family Focus building at 2010 Dewey Avenue.
- They have reached out to the church requesting permission to use their parking lot for drop-off/pick-up activities.

At the time the memo was prepared, an off-street drop-off/pick-up location had not been confirmed by the IWSE.

Department Recommendation

The Community Development Department finds the Standards for Approval (Section 6-3-5-10) are met and recommends approval of the Special Use for a Daycare center - Child and consideration of the following conditions:

1. Hours of operation shall not exceed 6:00 am - 6:00 pm Monday through Friday.
2. Employees shall not use metered street parking while working, using off-street parking located on the subject property or at an alternative location which does not displace required parking for those properties.
3. On-street child drop-off/pick-up is only allowed in available on-street parking spaces or off-street on the property or off-site with a parking lease.
4. Substantial compliance with the documents and testimony on record.
5. Ordinance granting the Special Use recorded with the Cook County Recorder of Deeds.

Standards for Approval

The proposed Special Use must follow the Standards for a Special Use (Section 6-3-5-10). For the Land Use Commission to recommend that the City Council grant a special use, the LUC must find that the proposed special use:

1. Is one of the listed special uses for the zoning district in which the property lies.
2. Complies with the purposes and the policies of the Comprehensive General Plan and the Zoning Ordinance.
3. Does not cause a negative cumulative effect in combination with existing special uses or as a category of land use.
4. Does not interfere with or diminish the value of property in the neighborhood.
5. Is adequately served by public facilities and services.
6. Does not cause undue traffic congestion.
7. Preserves significant historical and architectural resources.
8. Preserves significant natural and environmental resources.
9. Complies with all other applicable regulations.

Action by the Commission

After making findings of fact as to whether or not the requested Special Use meets or does not meet the aforementioned Standards for Special Use, the Land Use Commission may make a recommendation to the Planning & Development Committee of the City Council to recommend approval, denial, or no recommendation (in the case of a tie) for the Special Use requested. The Commission may choose to include recommended conditions that the City Council may then consider when making the final determination. The Land Use Commission is the recommending body and the City Council is the determining body (Zoning Code Section 6-3-5-8).

Attachments

Aerial View of Property
Zoning Map of Property
Street View of Property
Plat of Survey
Floor Plan
Special Use Application - submitted April 26, 2024
Public Notice
Staff Comment sheet

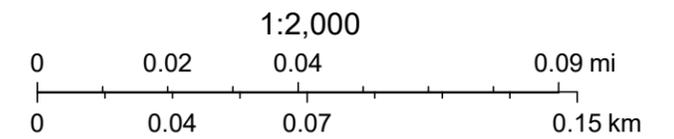
AERIAL MAP - 1601 SIMPSON ST



5/16/2024, 11:25:20 AM

-  City Boundary
-  Tax Parcels

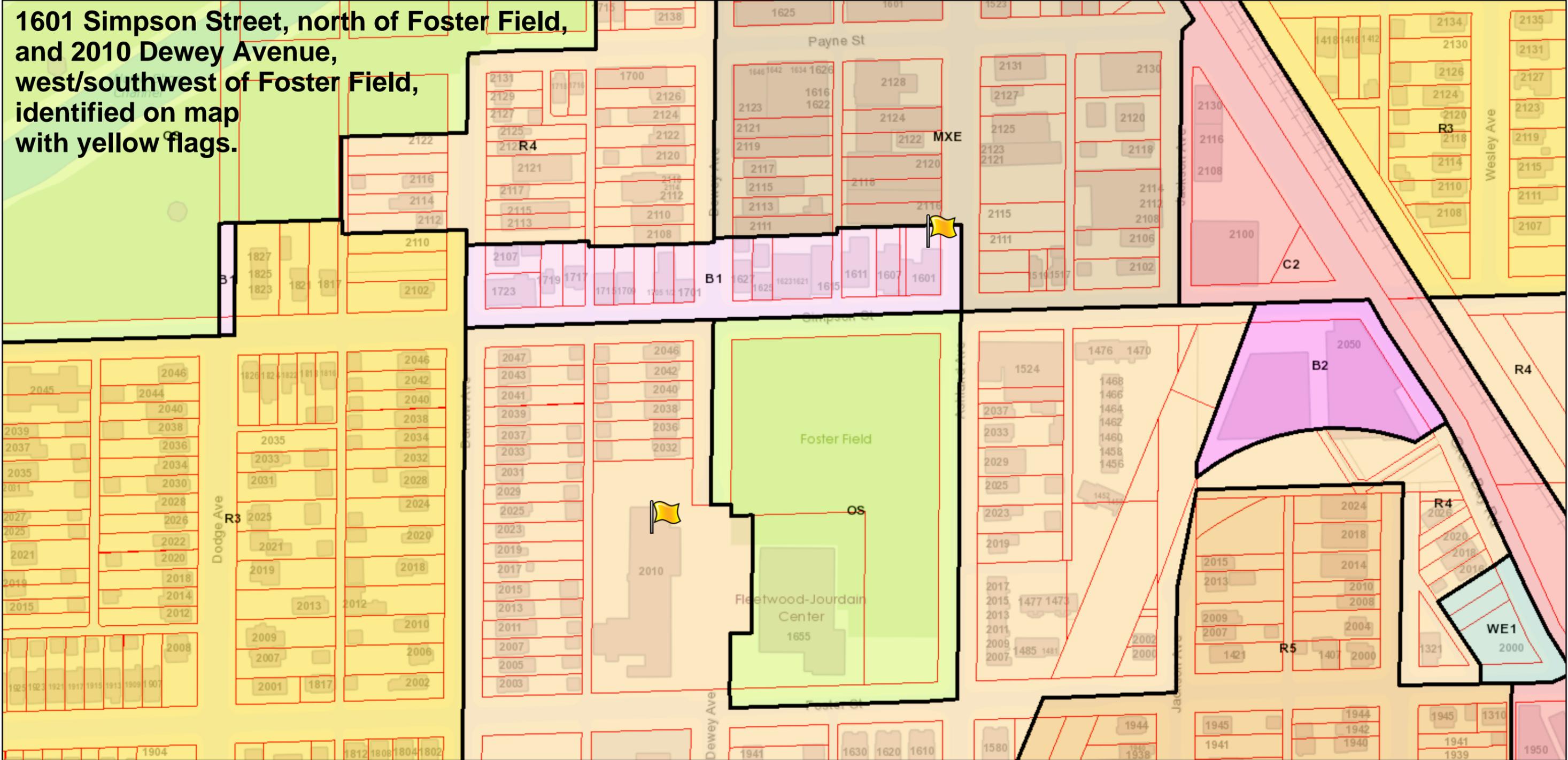
1601 Simpson Street, north of Foster Field, and 2010 Dewey Avenue, west/southwest of Foster Field, identified on map with yellow flags.



City of Evanston IL, Imagery courtesy Cook County GIS

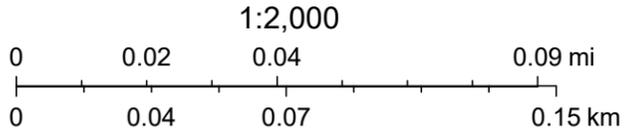
ZONING MAP - 1601 SIMPSON ST

1601 Simpson Street, north of Foster Field, and 2010 Dewey Avenue, west/southwest of Foster Field, identified on map with yellow flags.



5/16/2024, 11:23:56 AM

Zoning Districts	D1 - Downtown Fringe	MUE - Transitional Manufacturing-Employment	R4 - General Residential	U1 - University Housing
B1 - Business	D2 - Downtown Retail Core	MXE - Mixed Use Employment	R4a - General Residential	U1a - University Housing and Parking
B1a - Business	D3 - Downtown Core Development	O1 - Office	R5 - General Residential	U2 - University Athletic Facilities
B2 - Business	D4 - Downtown Transition	OS - Open Space	R6 - General Residential	U3 - University Lakefront Campus
B3 - Business	I1 - Industrial / Office	R1 - Single-Family Residential	RP - Research Park	WE1 - West Evanston Transitional
C1 - Commercial	I2 - General Industrial	R2 - Single-Family Residential	T1 - Transitional Campus	Zoning Boundaries & Labels
C1a - Commercial Mixed-Use	I3 - General Industrial	R3 - Two-Family Residential	T2 - Transitional Campus	City Boundary
C2 - Commercial				

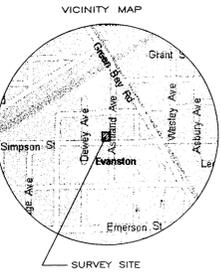




Washington



AUTO DOCTOR
847-887-2100



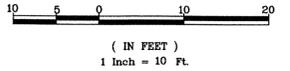
PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM NO. 184-003023
 7100 N. TRIPP AVE., LINCOLNWOOD, ILLINOIS 60712
 TEL. (847) 675-3000 FAX (847) 675-2167
 e-mail: pa@professionalsassociated.com
 www.professionalsassociated.com

ALTA/ACSM LAND TITLE SURVEY



GRAPHIC SCALE



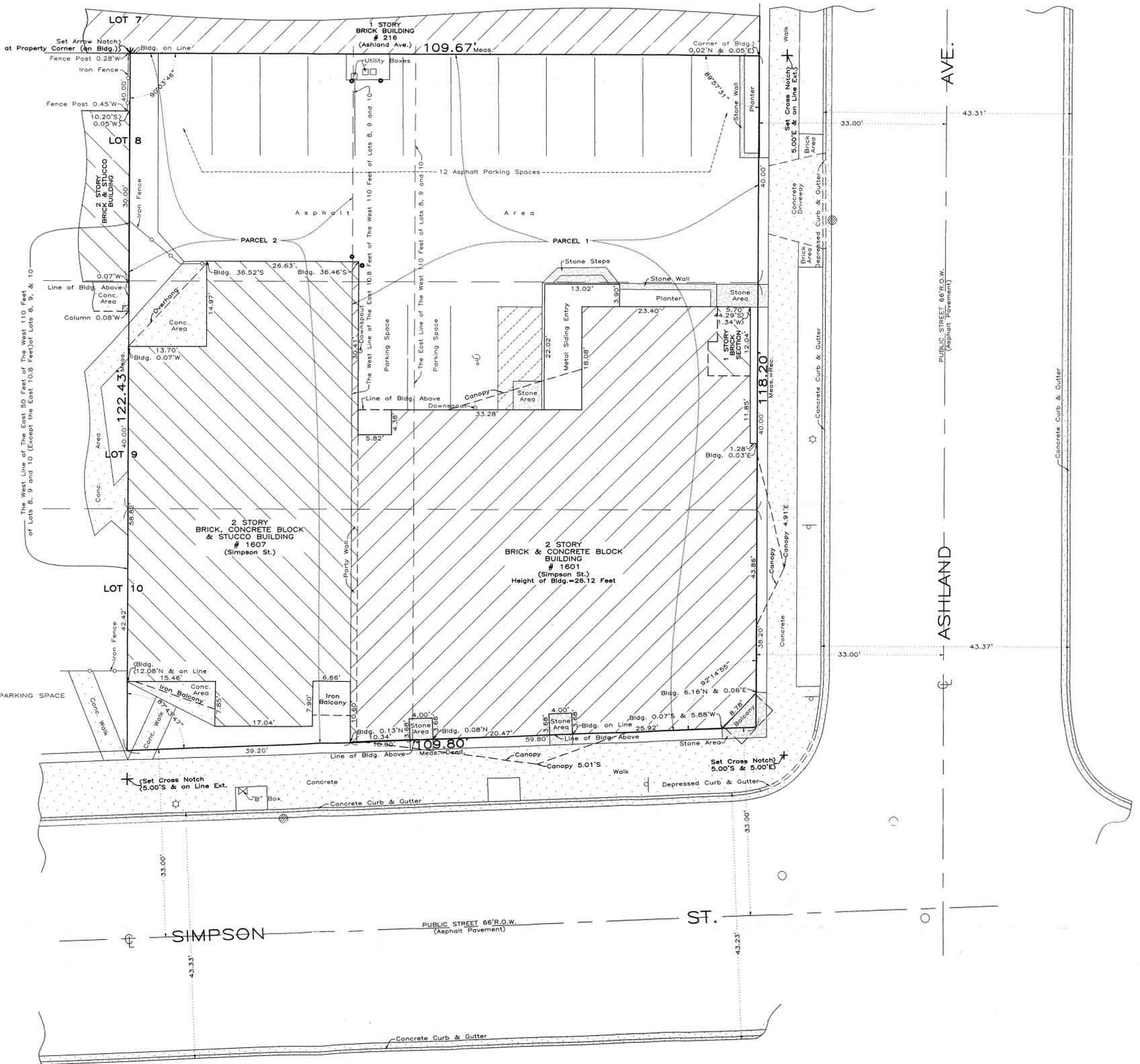
PARCEL 1:
 LOTS 8, 9 AND 10 (EXCEPT THE WEST 110 FEET THEREOF) AND THE EAST 10.80 FEET OF THE WEST 110.00 FEET OF LOTS 8, 9 AND 10 IN THAYER'S RESUBDIVISION OF LOTS 1 TO 8, BOTH INCLUSIVE, IN BLOCK 7 IN PAYNE'S ADDITION TO EVANSTON IN SECTION 12, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
 PARCEL 2:
 THE EAST 50 FEET OF THE WEST 110 FEET OF LOTS 8, 9 AND 10 (EXCEPT THE EAST 10.8 FEET THEREOF) IN RESUBDIVISION OF LOTS 1 TO 8, BOTH INCLUSIVE, IN BLOCK 7 IN PAYNE'S ADDITION TO EVANSTON, IN SECTION 12, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 13,197.29 SQ. FT. = 0.3029 ACRES.

EXTERIOR FOOT PRINT AREA OF BUILDING: 7,328.00 SQ. FT.

COMMONLY KNOWN AS: 1601 AND 1607 SIMPSON STREET, EVANSTON, ILLINOIS.

PERMANENT INDEX NUMBERS: 10-12-421-019-0000, 10-12-421-022-0000, 10-12-421-025-0000 AND 10-12-421-026-0000.



- LEGEND:
- - MANHOLE
 - ⊙ - CATCH BASIN
 - ⊕ - TRAFFIC SIGN
 - ⊙ - LIGHT POLE
 - - METAL POST
 - ♿ - HANDICAPPED PARKING SPACE

BASIS:
 CHICAGO TITLE INSURANCE COMPANY,
 COMMITMENT NO.: 1409 ST5135153 BNC,
 EFFECTIVE DATE: OCTOBER 17, 2012.

THE LEGAL DESCRIPTION SHOWN ON THE PLAT
 HEREON DRAWN IS A COPY OF THE ORDER, AND
 FOR ACCURACY SHOULD BE COMPARED WITH
 THE TITLE OR DEED.

DIMENSIONS ARE NOT TO BE ASSUMED FROM
 SCALING.

ORDER NO.: 12-85419

SCALE: 1 INCH = 10 FEET.

DATE OF FIELD WORK: November 8, 2012

ORDERED BY: PATINKIN & PATINKIN, LTD.
 Attorneys at Law

NOTE:
 REGULAR PARKING SPACES: 14
 HANDICAPPED PARKING SPACES: 2
 TOTAL PARKING SPACES: 16

FLOOD CERTIFICATE:
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT
 AGENCY (FEMA) FLOOD INSURANCE RATE MAP OF COOK COUNTY,
 ILLINOIS DATED AUGUST 19, 2008
 MAP ITEM ID: 170310226J THIS PROPERTY IS IN A
 MINIMUM FLOOD AREA AND IS DESIGNATED AS ZONE "X"
 NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



TO:
 POMA HANA, LLC
 1601 SIMPSON CORP.
 1607 SIMPSON-EVANSTON LOFTS LLC
 J.P. MORGAN CHASE BANK, NA, ISACA
 CHICAGO TITLE INSURANCE COMPANY
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN
 ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE
 SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4,
 7(a), 7(b)(1), 7(c), 8, 9, 11(a) AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON
 NOVEMBER 8, 2012.

DATE OF PLAT: December 4, 2012

IL PROF. LAND SURVEYOR NUMBER 35-2281
 MY LICENSE EXPIRES: NOVEMBER 30, 2014

Drawn by: W.G.

Scope of Work:

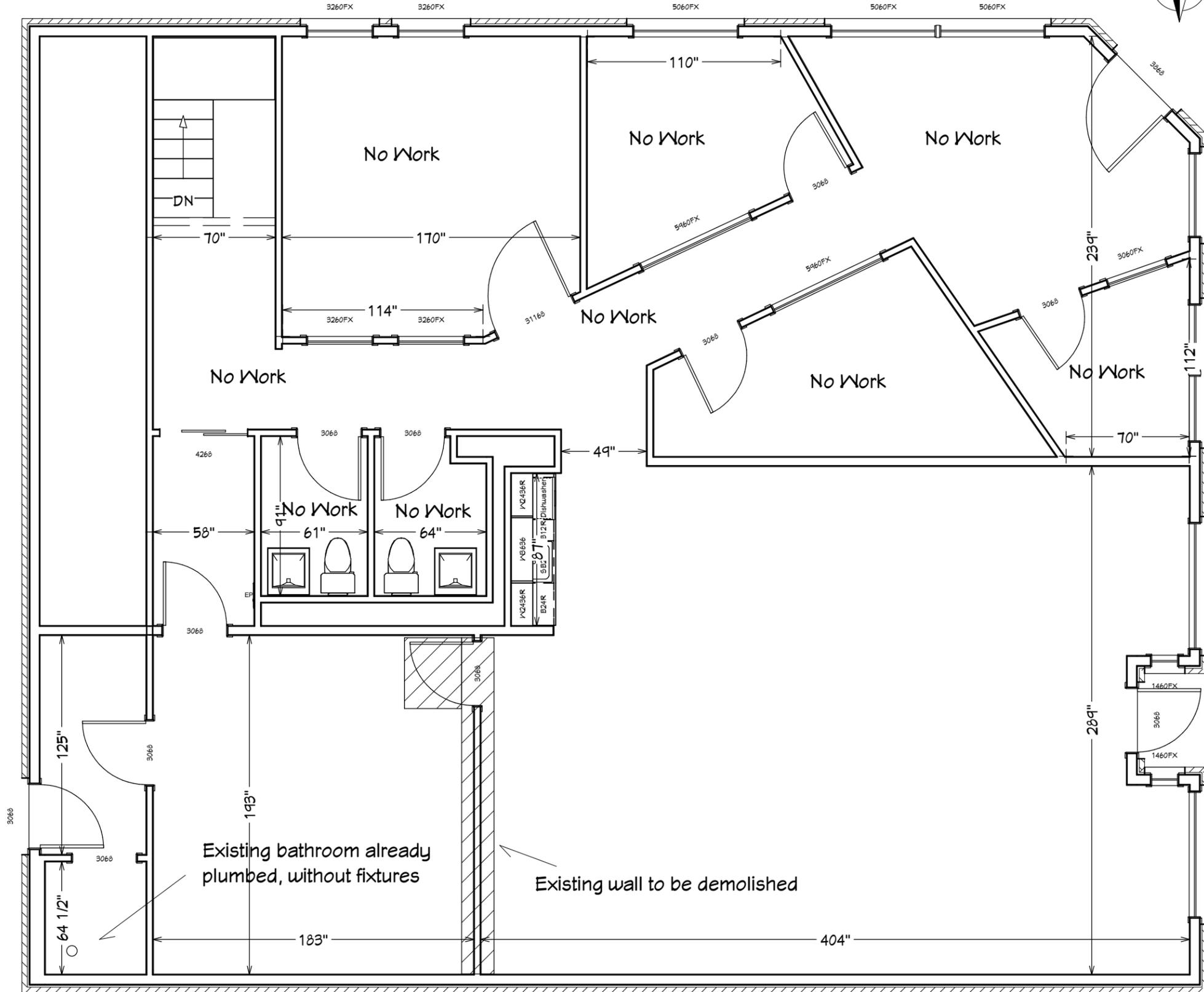
Create toddler bathroom in former bathroom space. Add door between office and toddler classroom space. Eliminate non-load-bearing partition wall in new toddler classroom space. Provide carpet throughout toddler classroom space. Reinstall mop sink and electric water heater in utility area.

City of Evanston Codes (with amendments):

- 2021 International Building Code (IBC)
 - 2021 International Residential Code(IRC)
 - 2021 International Mechanical Code (IMC)
 - 2021 International Fuel Gas Code (IFGC)
 - 2020 NFPA National Electric Code (NEC)
 - 2021 NFPA Life Safety Code 101
 - 2021 International Fire Code (IFC)
 - 2018 International Energy Conservation Code (IECC)
 - State of Illinois Plumbing Code (ISPC)
 - City of Evanston Zoning Ordinance
- Construction to comply with these codes and ammendments as adopted by the City of Evanston IBC 107.2.1

Demolition Notes:

- No work in existing offices or ADA bathrooms
- Remove existing non-load-bearing wall between classroom areas VIF
- Confirm removed door is 45 min fire rated for possible reinstallation in new location
- Prep all areas to protect floors, walls, and personal belongings.
- Practice EPA Lead Safe Renovation procedures.
- Remove and dispose of all demolition and construction waste materials off of the property site.



Scale
3/16" = 1'

Cover Page
As Built/
Demolition

JUST BUILDERS, INC.
JUST BUILDERS
1124 Florence Ave. Evanston IL 60202
847-491-1676 | justbuilders.com

**INFANT WELFARE
SOCIETY OF EVANSTON**
1601 Simpson St
Evanston, IL 60201

1
4/22/2024

Construction Notes:

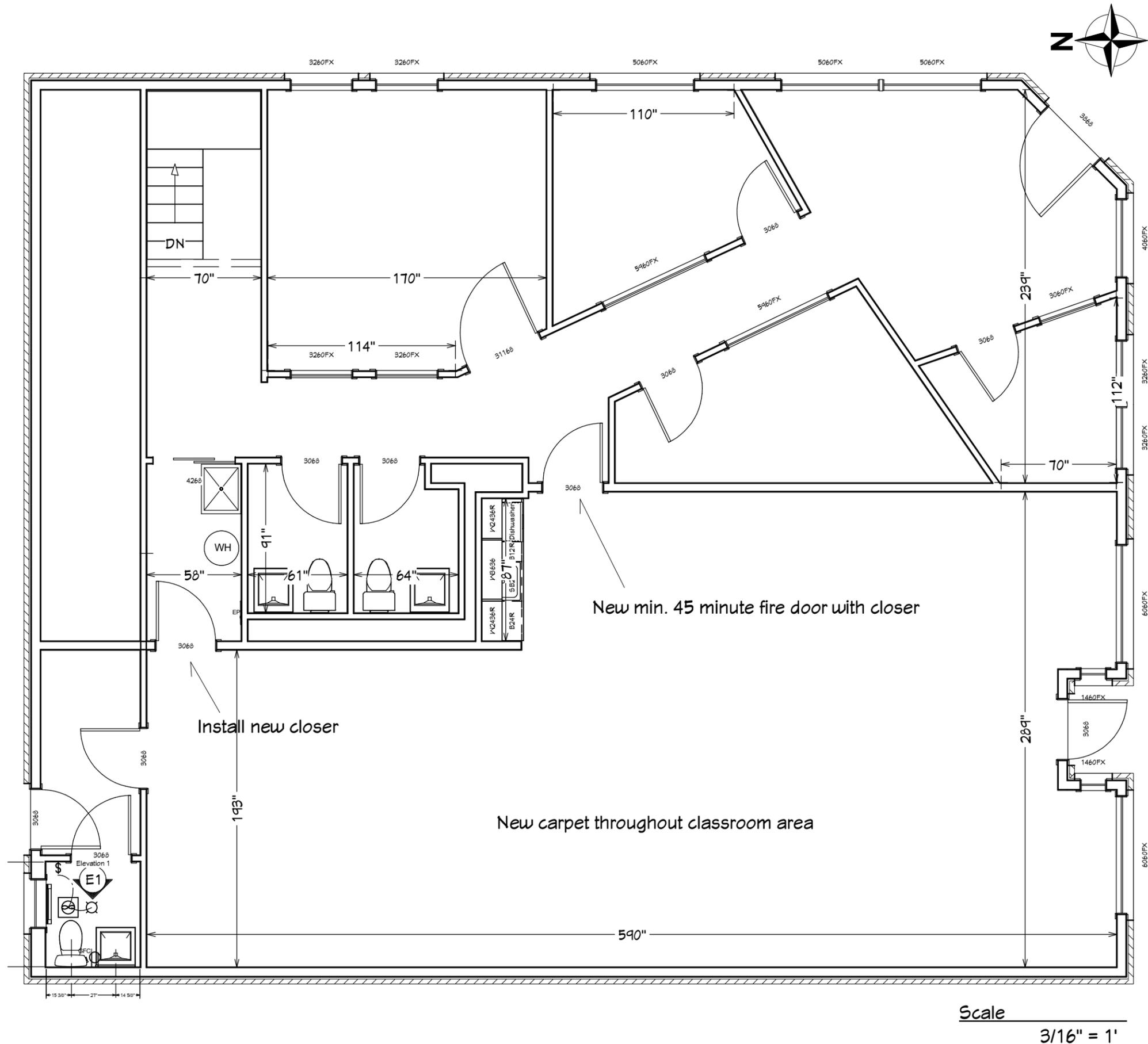
Install new minimum 45 minute fire door with closer at opening from classroom to offices, finished to match appearance of existing building doors
 Install closer at existing utility room door

MEP:

Provide electrical for small tank water heater in utility area
 Water heater to be 6 gal Rheem XE06P06PU20U0 or equivalent
 Relocate existing switch and receptacle(s) at eliminated classroom wall
 Confirm smoke detectors, exit signs, and emergency lighting are operational throughout office and classroom spaces
 Reinstall mop sink and faucet in existing utility area, confirm existing DWV is functional
 Existing classroom lighting to remain unchanged

Finishes:

Existing floor tile near Southwest entrance door and kitchenette to remain unchanged
 Classroom area to receive new carpet throughout, glue down
 Repair drywall and paint as required in area of removed wall



Proposed Design

JUST BUILDERS, INC.
JUST BUILDERS
 1124 Florence Ave. Evanston IL 60202
 847-491-1676 | justbuilders.com

INFANT WELFARE SOCIETY OF EVANSTON
 1601 Simpson St
 Evanston, IL 60201

2
 4/22/2024

Construction Notes:

Reset sink and toilet in existing bathroom to create toddler's bathroom
Existing adult bathrooms meet ADA requirement, not required for toddler's

Electrical Notes:

Relocate bathroom receptacle and replace with GFCI protected receptacle on 20 amp circuit per NEC 210-11(c)
Install quiet Panasonic bath vent fan with switch, exhausted to exterior, minimum 60cfm
Install new 750W electric baseboard heater at bathroom North wall

Plumbing Notes:

A separate water shut-off valve for each fixture shall be provided per ISPC.1190(d) and 890.
All unused piping shall be removed per ISPC 890.150 and IMC 108.7.
Quality of plumbing fixtures shall meet ISPC 890.610.

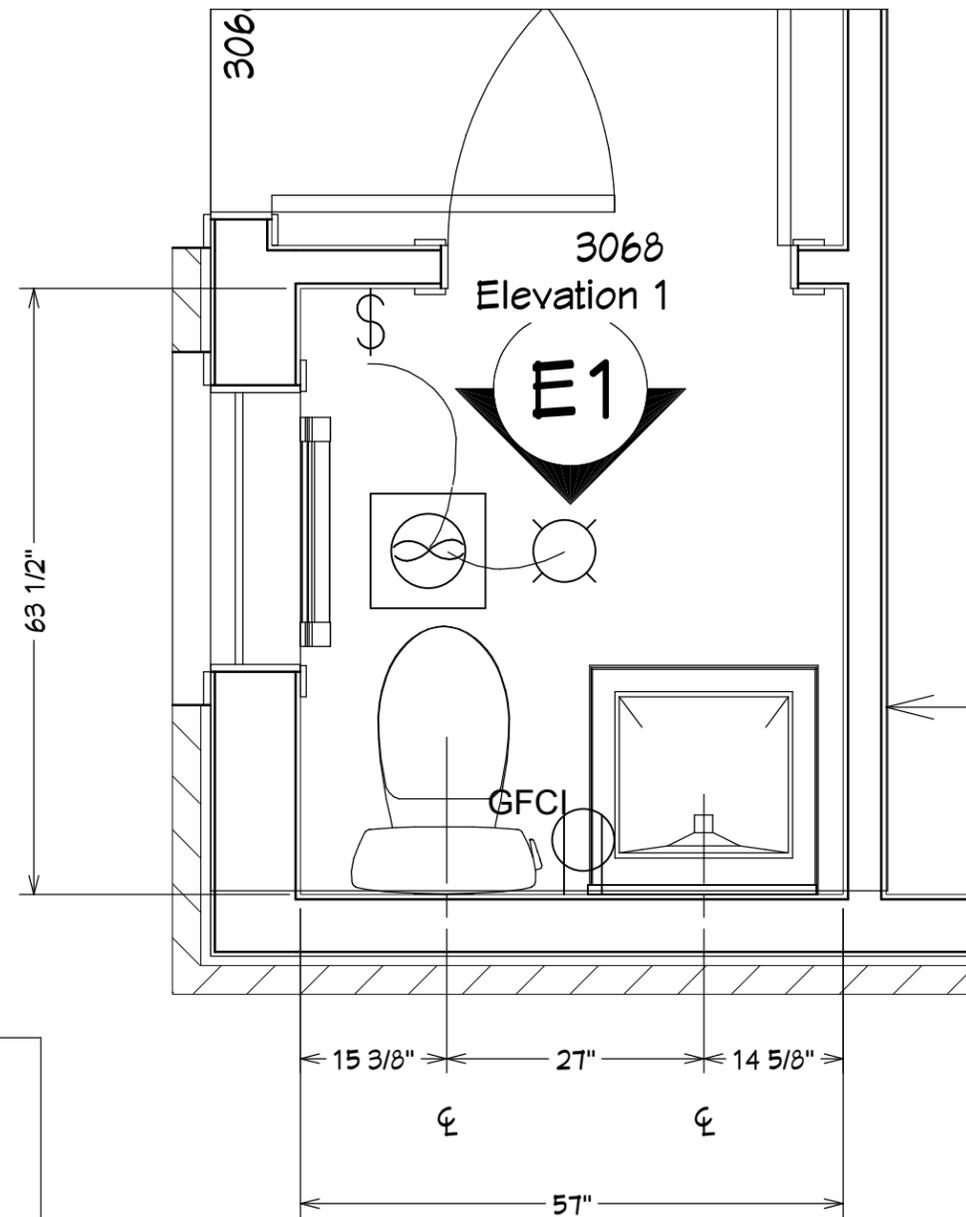
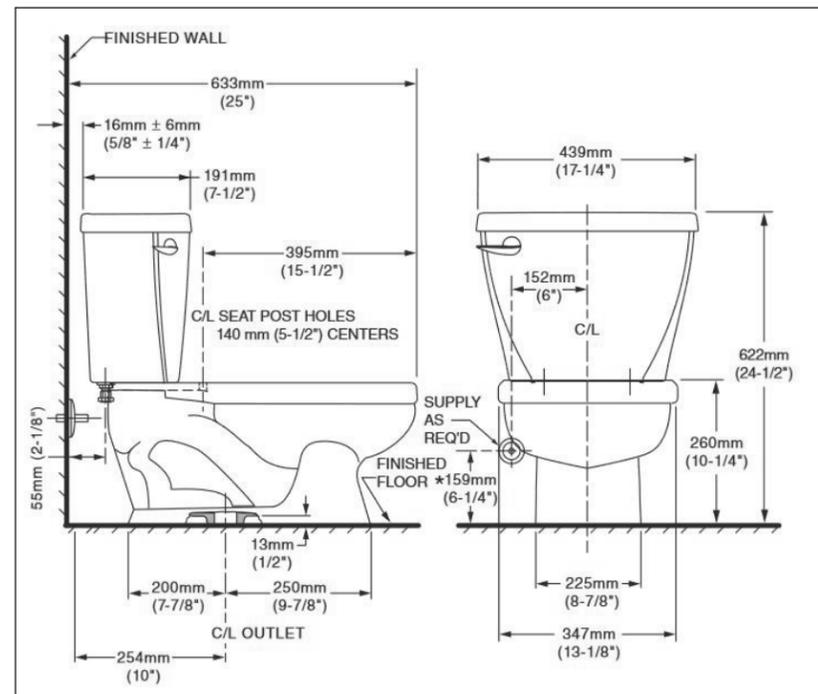
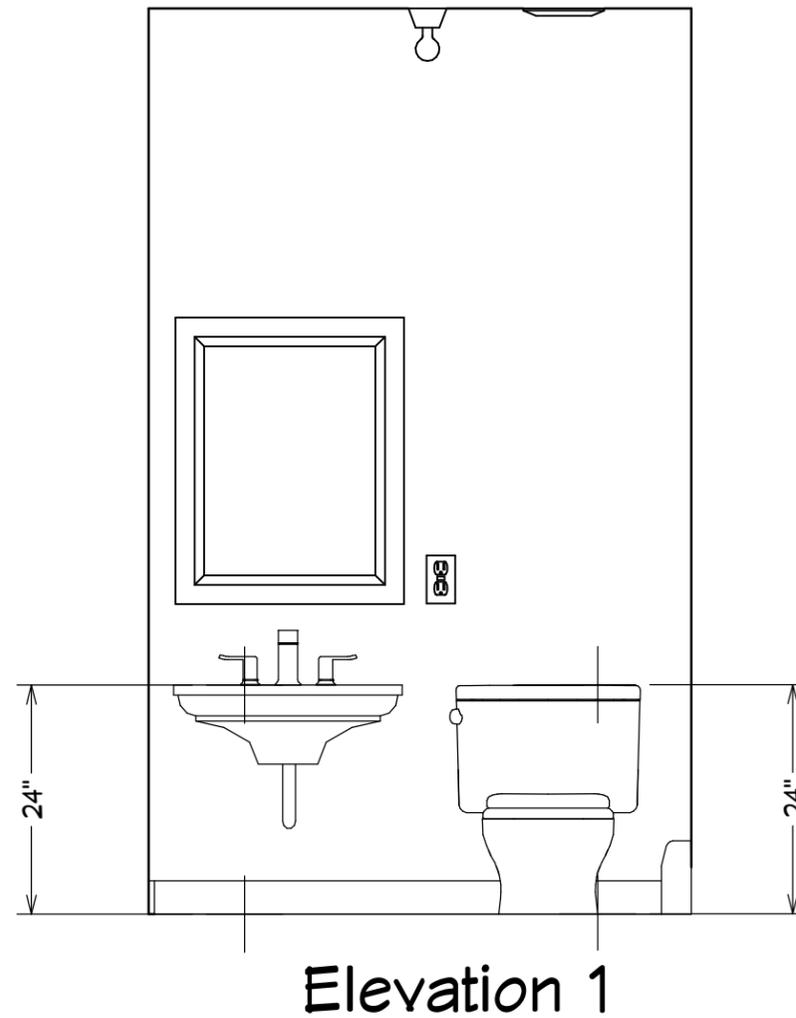
Install wall mount sink and new toilet in existing plumbed locations in toddler bathroom

Toilet to be American Standard Baby Devoro FloWise 10" High Elongated Toilet
Existing soil stack and cast vents inside walls to remain

Eliminate laundry b-box and associated piping in toddler bathroom

Finish Notes:

Existing bath tile floor to remain unchanged
Patch and paint bathroom walls and ceiling with white latex satin or semigloss



Toddler Bathroom Details

JUST BUILDERS, INC.
JUST BUILDERS

1124 Florence Ave. Evanston IL 60202
847-491-1676 | justbuilders.com

INFANT WELFARE SOCIETY OF EVANSTON

1601 Simpson St
Evanston, IL 60201



Scale
5/8" = 1'

3

4/22/2024



Melissa Klotz <mklotz@cityofevanston.org>

Zoning Special Use

24ZMJV-0022

1 message

noreply@formstack.com <noreply@formstack.com>

Fri, Apr 26, 2024 at 4:41 PM

Reply-To: noreply@formstack.com

To: mgriffith@cityofevanston.org, csterling@cityofevanston.org, zoning@cityofevanston.org

STAFF UPDATE:

Per applicant, the owner is (proof of ownership provided):



Pono Hana LLC
1601 Simpson St. Unit #5
Evanston, Illinois 60201

Formstack Submission For: Zoning Special Use

Submitted at 04/26/24 4:41 PM

Address:	1601 Simpson Evanston , IL 60201
Permanent Identification Number (PIN) 1:	10-12-421-022-0000
Permanent Identification Number (PIN) 2:	
Name:	John Cook
Organization:	Infant Welfare Society
Address:	1228 Florence Evanston, , IL 60202
Home or Office Phone Number:	(847) 491-1676
Cell Phone Number:	(847) 877-7014
Email:	justbuilders@gmail.com
Please choose primary means of contact:	Cell Phone
Is applicant also the property owner?:	No
Name:	Bernadette Burke
Organization:	

Address:	1601 Simpson Evanston , IL 60201
Home or Office Phone Number:	
Cell Phone Number:	(847) 859-0201
Email:	bburke@brella.com
What is the relationship of the applicant to the property owner?:	Builder/Contractor
Briefly describe the proposed Special Use:	Toddler day care at first floor level corner unit 1601
Is the requested special use one of the special uses specifically listed in the Zoning Ordinance? What section of the Zoning Ordinance lists your proposed use as an allowed special use in the zoning district in which the subject property lies?:	A Daycare center - Child is a listed special use in the B1 zoning district, special uses require City Council approval, Zoning Code Section 6-9-2-3.
Will the requested special use interfere with or diminish the value of property in the neighborhood? Will it cause a negative cumulative effect on the neighborhood?:	None anticipated
Will the requested special use be adequately served by public facilities and services?:	Yes ADA bathrooms on site
Will the requested special use cause undue traffic congestion?:	None anticipated.. Pick up and drop off is facilitated by easy access at intersection
Will the requested special use preserve significant historical and architectural resources?:	Remodeled building - no architectural changes
Will the requested special use preserve significant natural and environmental features?:	No issues anticipated
Will the requested special use comply with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation?:	No issues anticipated
Is applicant acting as an agent or designee for the proposed user of the land for which this application for zoning relief is made?:	Yes
List the name, address, phone, fax, and any other contact information of the proposed user	Stephen Vick Director Infant Welfare Society of Illinois 2200 Main Street

of the land.:

Evanston IL 60202 847 491-9650

Does the proposed land user own or control the land for which this application for zoning relief is made?:

Yes

List the name, address, phone, fax, and any other contact information of the person or entity that has constructive control of the proposed land user.:

Does the proposed land user hold the title to the subject property?:

Yes

Is the person or entity that holds the title the same as the one listed in the previous question?:

List the name, address, phone, fax, and other contact information of the person or entity holding the title to the subject property.:

Is the Applicant or Proposed Land User a Corporation?:

Yes

A. Names and addresses of all officers and directors.:

Stephen Vick [5720 W Midway Park Chicago IL 60644](#) Executive Director
Robert Jones [3303 W Hollywood Chicago IL 60659](#) President
Sandra Punda 820 Church St.
Evanston IL 60201 Finance Chair
Arden Handler [1125 Wesley Ave. Evanston IL 60202](#) Program Chair
Julia Rancke [1024 Darrow Ave. Evanston IL 60202](#) Devel. Chair
Mary MacGregor 1024 Florst Ave.
Wilmette IL 60091 Member
Rebeca Mendoza 2209 Emerson
Evanston IL 60201 Member
Lauren Barney [2205 Noyes St. Evanston IL 60201](#) Vice Pres.
Paul Park [904 Colfax St. Evanston IL 60201](#) Secretary
Kerri-Simone Adedeji 2622 Hartzell
Evanston IL 60201
Nicole Van Laan [1508 Dewey Evanston IL 60201](#)
Samia Amamoo [827 Greenleaf Evanston IL 60202](#)
Theresa Ezenwa 2541 Crawford
Evanston IL 60201

B. Names, addresses, and percentage of interest of all shareholders. If there are fewer than 33 shareholders, or shareholders holding 3% or more of the ownership interest in the corporation or if there are more than 33 shareholders.:

Non profit Corp.

Name, address, percentage of interest, and relationship to applicant, of each partner, associate, person holding a beneficial interest, or other person having an interest in the entity applying, or in whose interest one is applying, for zoning relief.:

Plat of Survey - One copy of plat of survey, drawn to scale, that accurately reflects current conditions.:

[View File](#)

Date of Survey:

Site Plan/Graphic Drawings - One copy of site plan or floor plans, drawn to scale, showing all dimensions or graphic representations for any elevated proposal-- garages, home additions, roofed porches, etc.:

[View File](#)

Date of Drawings:

Proof of Ownership - Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents, etc.:

[View File](#)

Document Submitted:

Pending

Quantity:

1

Price:

660

Credit Card:

Card number: *****2128
Expiration: 01/29

I certify that all of the above information and all statements, information, and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge.:

[View Signature](#)

NOTICE OF A PUBLIC HEARING

Evanston Land Use Commission

Wednesday, May 22, 2024, 7:00 pm

Morton Civic Center, 2100 Ridge Avenue

Council Chambers

Please be advised, as you own, or otherwise may have interest in a property within 500 ft. of the address listed below, for which the following zoning application will be discussed:

Special Use

1601 Simpson St. | 24ZMJV-0022

John Cook, builder/contractor, submits for a Special Use for a Daycare Center – Child, the Infant Welfare Society, in the B1 Business District (Section 6-9-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 10-12-421-022-0000



Those wishing to make public comments at the Land Use Commission meeting may attend in-person or submit written comments in advance by calling/texting 847-448-4311 or completing the Land Use Commission online comment form available online here: <https://bit.ly/lucpubliccomment>. Information about the Land Use Commission is available online at www.cityofevanston.org/government/land-use-commission. Questions can be directed to Michael Griffith, Planner, at 847-448-8155 or via e-mail at mgriffith@cityofevanston.org. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Community Development Department 48 hours in advance of the scheduled meeting so that accommodations can be made at 847-448-8170 (Voice) or 847-866-5095 (TDD). La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847-448-4311 (voz) o 847-866-5095 (TTY).

Staff Comment Sheet

Requesting staff comments for the following zoning application:

1601 Simpson Street:

- Special Use application for a Daycare Center-Child, Infant Welfare Society, in the B1 zoning district; Land Use Commission holds a public hearing, provides a recommendation to the City Council the determining body;
- Proposed Daycare Center will provide care for infants and toddlers, 16 children served when full;
- A building permit has been submitted for a minimal interior alteration, no exterior alterations are being proposed, before reaching out to staff regarding special use requirement;
- Drop-off/pick-ups are proposed to occur on Simpson Street in front of the building between 7:30am - 9:00am and 3:30pm - 5:00pm; application details state parents will double park, walk their children into the facility, sign them into their classroom, then return to their vehicle.

This case is scheduled for the May 22, 2024, Land Use Commission meeting.

PLEASE provide comments by Tues. May 14th. THANK YOU!

Comments:

- Overall hours of operation?
- Typical # of employees on-site when 16 children are being cared for?
- Where will employees park, how will they arrive at the facility?
- Are off-street parking spaces in the lot behind the building available for employees?
- Double parked vehicles in the street travel lane at drop-off/pick-up time, blocking traffic?
- Double parked vehicles pose a danger to drivers and pedestrians accessing vehicles.
- Parents instructed to arrive west bound only or will both sides of the street be used?
- New 5th Ward school will add traffic, both vehicular and pedestrian, and increase demand for parking in the area.
- Pick-up/Drop-off for the new 5th Ward school is estimated to be 7:15a - 9:15a/2:15p - 4:15p. Has any coordination with other uses, parking lot owners been considered?
- The planned school bus drop-off is directly across the street and will be occurring at the same time as the proposed daycare drop-off and pick-up. The double parking would be a major safety concern with the amount of students boarding buses at this location.
- Simpson St will likely be the approved truck route for the 5th ward school during the next two years while construction will be occurring.
- Other businesses in the area generate drop-off activity at roughly the same time, Rex's Place dog daycare.
- Additional vehicular and pedestrian traffic is forecasted for this area with the addition of the Skate park now open, and Soul and Smoke BBQ soon opening a sit down restaurant with liquor sales.
- This area of the 5th Ward has had many inquiries related to parking, the local Council Member has requested parking studies from a third Party Engineering firm, and parking recommendations to manage the area have not been established by the Council Member.
- Waste management, i.e. soiled diapers?
- Tree preservation not needed

518 Main Street

Animal Hospital,
GoodVets

Special Use
24ZMJV-0020

LUC Recommending Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Melissa Klotz, Zoning Administrator

CC: Sarah Flax, Director of Community Development
Elizabeth Williams, Planning Manager

Subject: Special Use – Animal Hospital, GoodVets
518 Main Street, 24ZMJV-0020

Date: May 16, 2024

Request

Bryan Wietrzykowski, Vice President of Construction, submits for a Special Use for an Animal Hospital, GoodVets, in the C1a Commercial Mixed-Use District (Section 6-10-3-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code.

Notice

The Application has been filed in conformance with applicable procedural and public notice requirements including publication in the Evanston Review on May 2, 2024.

General Information

Applicant: Bryan Wietrzykowski
GoodVets, VP of Construction
30 S. Wacker, Suite 1300
Chicago, IL 60606

Owner(s): Chicago & Main Evanston JV, LLC
C/O Riverside Investment & Development Co.
100 North Riverside, Suite 2150
Chicago, IL 60606

PIN: 11-19-401-024-0000

Analysis

518 Main Street is located on the south side of Main Street near the southeast corner of Main Street and Chicago Avenue in the C1a Commercial Mixed-Use District. The ground-floor space is the end unit nearest the alley in The Main and has been vacant since the building was constructed nearly a decade ago.

Surrounding Zoning and Land Uses	Zoning	Land Use
North	C1a – Commercial Mixed Use District	Ground floor commercial uses Upper floors office and/or residential
South	C1a – Commercial Mixed Use District	Ground floor commercial uses Upper floors office and/or residential
East	C1a – Commercial Mixed Use District	Ground floor commercial uses Upper floors residential
West	B1 & OS – Business District & Open Space	Ground floor commercial uses Upper floors office and/or residential; train stations/embankments

The property is located within the Main Street business district and is surrounded by a mixture of ground floor commercial businesses, office uses, and residential uses in similar mixed-use buildings. The building features on-site parking in the parking garage for customers of the ground-floor commercial uses, and has an off-site parking lot one block north for employee parking at 935 Chicago Avenue. The Main Street CTA and Metra stations are across Chicago Avenue to the west.

Special Use Analysis:

The Applicant intends to operate an Animal Hospital, GoodVets, at 518 Main Street. The Zoning Ordinance defines an Animal Hospital as:

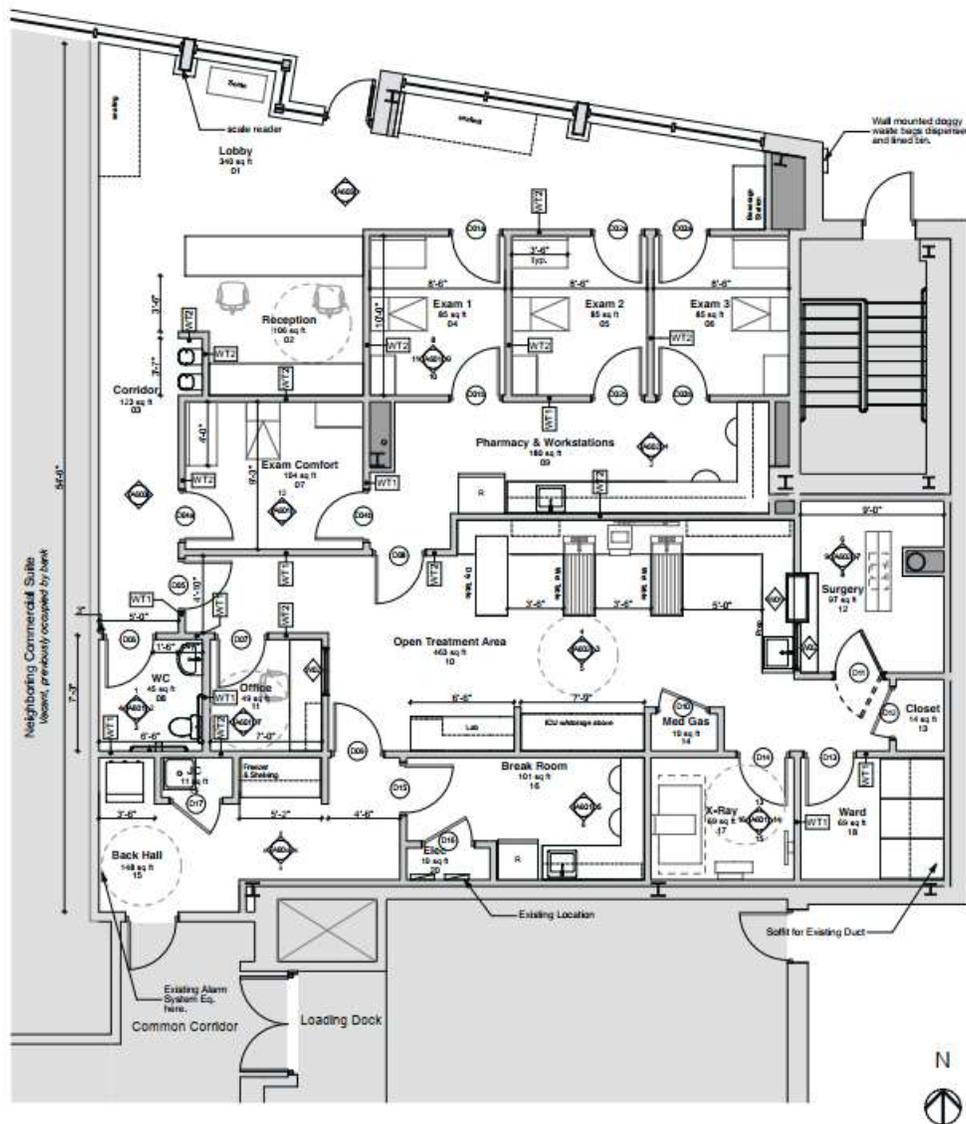
A use or structure intended or used primarily for the testing and treatment of the disorders of animals, including the indoor boarding of animals for such purpose, but not the training or grooming of animals, or outdoor cages, pens, or runs for the animals.

GoodVets proposes operation of an active storefront with the lobby and reception area of the Animal Hospital visible from the Main Street right of way, and three exam rooms plus an exam comfort room interior to the space. The rear half of the space includes treatment and surgery areas, office space, etc. GoodVets proposes the following operational details:

- Hours of operation: 8am-7pm Monday through Friday, 8am – 1pm Saturday, closed Sunday
- Primarily treats dogs and cats
- Typically 2 patients per hour at 30 minutes each for a maximum of 16 patients per day
- Soundproofing of the ceiling and walls (additional details below)

- No boarding, grooming, or overnight hospital stays
- An outdoor pet waste station will be located at the northeast corner of the building mounted to the wall within the private property
- Hazardous waste/sharps are disposed of in appropriate containers and picked up weekly similar to medical office waste pickups
- 2 dedicated parking spaces for customer use within the on-site parking garage in the building, and additional spaces available in the surface parking lot at 935 Chicago Avenue on a first come/first served basis
- 2 dedicated parking spaces in the surface parking lot at 935 Chicago Avenue for employee parking, and additional spaces available on a first come/first served basis
- Anticipates many employees and customers will walk or utilize public transportation given the adjacent CTA and Metra stations

Floor Plan:



GoodVets believes the location is ideal because it is an end unit adjacent to the alley, is largely surrounded by interior corridors, and has the mezzanine level/rooftop deck above. There is one party wall shared with the adjacent tenant (a newly opening financial institution/office use - Ameriprise Financial Services) that is a fire-rated wall. The programming layout of the Animal Hospital maintains as much distance as possible between animals/potential noise and the adjacent business.

Customers who park in the on-site parking garage will exit the man-door to Chicago Avenue and walk around the corner of the building onto Main Street to enter the Animal Hospital at the front door. The Applicant is willing to install signage on the building exterior to deter customers from walking in the alley as a shortcut if needed (see recommended condition below).

No public comments have been received, and staff is not aware of any opposition to the request.

Staff Review

The Special Use application was reviewed by staff. The following conditions are suggested for consideration:

1. Hours of operation shall not exceed 8am - 9pm, 7 days a week.
2. One outdoor refuse container is required along with a pet waste station that includes pet waste bags.
3. Employees who drive to work shall utilize the off-site surface parking lot at 935 Chicago Avenue if available, and shall not park on-site at The Main.
4. No more than 20% of the storefront windows shall be covered as allowed by the Sign Code.
5. Signage discouraging pedestrian activity in the alley shall be installed by the Applicant if deemed necessary at any time by City staff due to safety concerns or complaints.
6. Substantial compliance with the documents and testimony on record.
7. Recordation of the special use ordinance with the Cook County Recorder of Deeds is required.

Department Recommendation

The Community Development Department finds the Standards for Approval (Section 6-3-5-10) are met and recommends approval of the Special Use and consideration of the above conditions for operation at 518 Main Street.

Standards for Approval

The proposed special use must follow the Standards for a Special Use (Section 6-3-5-10). For the Land Use Commission to recommend that the City Council grant a special use, the LUC must find that each proposed special use:

1. Is one of the listed special uses for the zoning district in which the property lies;
2. Complies with the purposes and the policies of the Comprehensive General Plan and the Zoning ordinance;

3. Does not cause a negative cumulative effect in combination with existing special uses or as a category of land use;
4. Does not interfere with or diminish the value of property in the neighborhood;
5. Is adequately served by public facilities and services;
6. Does not cause undue traffic congestion;
7. Preserves significant historical and architectural resources;
8. Preserves significant natural and environmental resources;
9. Complies with all other applicable regulations;

Action by the Commission

After making findings of fact as to whether or not the requested special use meets or does not meet the aforementioned Standards for Special Use, the Land Use Commission may make a recommendation to the Planning & Development Committee of the City Council to recommend approval, denial, or no recommendation (in the case of a tie) for the special use requested. The Commission may choose to include recommended conditions that the City Council may then consider when making the final determination. The Land Use Commission is the recommending body and the City Council is the determining body (Section 6-3-5-8).

Attachments

Aerial View of Property
Zoning Map of Property
Image of Property
Special Use Application – submitted April 19, 2024
Operations Summary Response Letter
Plat of Survey
Interior Site Plan
Soundproofing Details
Staff Comments
Noncompliant Zoning Analysis – April 4, 2024
Public Notice



Main St

Chicago Ave

Custer Ave

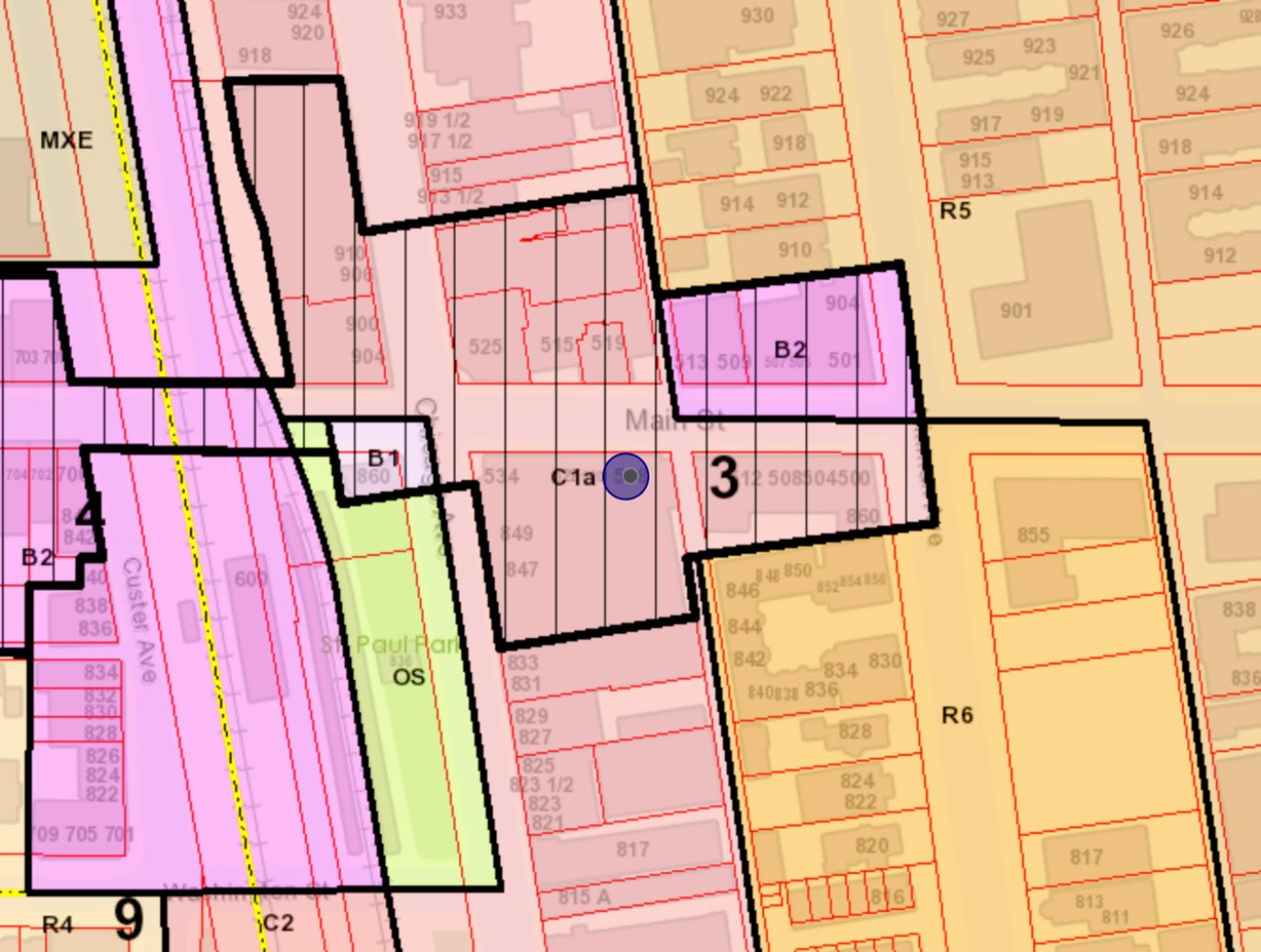
St. Paul Park

Hillman Ave

ton St

3

4







Melissa Klotz <mklotz@cityofevanston.org>

Zoning Special Use

1 message

noreply@formstack.com <noreply@formstack.com>

Fri, Apr 19, 2024 at 1:57 PM

Reply-To: noreply@formstack.com

To: mgriffith@cityofevanston.org, csterling@cityofevanston.org, zoning@cityofevanston.org



Formstack Submission For: **Zoning Special Use**

Submitted at 04/19/24 1:57 PM

Address:	518 Main Evanston, IL 60202
Permanent Identification Number (PIN) 1:	11-19-401-024-0000
Permanent Identification Number (PIN) 2:	
Name:	Bryan Wietrzykowski
Organization:	GoodVets, VP of Construction
Address:	30 S Wacker Ste 1300 Chicago, IL 60606
Home or Office Phone Number:	(630) 408-8466
Cell Phone Number:	(630) 408-8466
Email:	bryan@goodvets.com
Please choose primary means of contact:	Home or Office Phone
Is applicant also the property owner?:	No
Name:	Chicago & Main Evanston JV, LLC
Organization:	Chicago & Main Evanston JV, LLC

Address: c/o Riverside Investment & Development Co.
100 North Riverside, ste 2150
Chicago, IL 60606

Home or Office Phone Number: (312) 788-1800

Cell Phone Number: (312) 788-1800

Email:

What is the relationship of the applicant to the property owner?: Lessee

Briefly describe the proposed Special Use: Interior build out of existing vacant commercial tenant suite at ground floor for Veterinary Clinic. Neighborhood veterinary clinic only with daytime hours and no outdoor runs, no boarding and no grooming.

Is the requested special use one of the special uses specifically listed in the Zoning Ordinance? What section of the Zoning Ordinance lists your proposed use as an allowed special use in the zoning district in which the subject property lies?: Use defined 6-18-3: Animal Hospital is allowable by special use in this C1a zoned district per 6-10-3-3.

Will the requested special use interfere with or diminish the value of property in the neighborhood? Will it cause a negative cumulative effect on the neighborhood?: No.

Will the requested special use be adequately served by public facilities and services?: Yes.

Will the requested special use cause undue traffic congestion?: No. The clinic will only see two patients per hour, many of whom are expected may walk.

Will the requested special use preserve significant historical and architectural resources?: n/a

Will the requested special use preserve significant natural and environmental features?: n/a

Will the requested special use comply with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation?: will comply with all other applicable regulations.

Is applicant acting as an agent or designee for the proposed user of the land for which this application for zoning relief is made?: No

List the name, address, phone, fax, and any other contact information of the proposed user of the land.:

Does the proposed land user own or control the land for which this application for zoning relief is made?: No

List the name, address, phone, fax, and any other contact information of the person or entity that has constructive control of the proposed land user.: Applicant is the Lessee, Owner is: Chicago & Main Evanston JV, LLC c/o Riverside Investment and Development Co. [100 North Riverside, Ste 2150, Chicago, IL 60606](#)

Does the proposed land user hold the title to the subject property?: No

Is the person or entity that holds the title the same as the one listed in the previous question?: Yes

List the name, address, phone, fax, and other contact information of the person or entity holding the title to the subject property.:

Is the Applicant or Proposed Land User a Corporation?: Yes

A. Names and addresses of all officers and directors.: David Saginur
[30 S Wacker, Ste 1300](#)
Chicago, 60606

B. Names, addresses, and percentage of interest of all shareholders. If there are fewer than 33 shareholders, or shareholders holding 3% or more of the ownership interest in the corporation or if there are more than 33 shareholders.: David Saginur
[30 S Wacker, Ste 1300](#)
Chicago, 60606

Name, address, percentage of interest, and relationship to applicant, of each partner, associate, person holding a beneficial interest, or other person having an interest in the entity applying, or in whose interest one is applying, for zoning relief.:

Plat of Survey - One copy of plat of survey, drawn to scale, that accurately reflects current conditions.: [View File](#)

Date of Survey: Feb 06, 2018

Site Plan/Graphic Drawings - One copy of site plan or floor plans, drawn to scale, showing all dimensions or graphic representations for any elevated proposal--garages, home additions, roofed porches, etc.:

[View File](#)

Date of Drawings:

Apr 19, 2024

Proof of Ownership - Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents, etc.:

[View File](#)

Document Submitted:

Deed

Quantity:

1

Price:

660

Credit Card:

Card number: *****9882 Expiration: 12/27

I certify that all of the above information and all statements, information, and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge.:

[View Signature](#)

Copyright © 2024 Formstack, LLC. All rights reserved. This is a customer service email.

Formstack, [11671 Lantern Road, Suite 300, Fishers, IN 46038](#)

THIS DOCUMENT PREPARED BY AND
AFTER RECORDING RETURN TO:

David M. Serritella
Pedersen & Houpt, P.C.
161 N. Clark Street, Suite 2700
Chicago, IL 60601



Doc#: 1510518052 Fee: \$44.00
RHSP Fee: \$9.00 RPRF Fee: \$1.00
Karen A. Yarbrough
Cook County Recorder of Deeds
Date: 04/15/2015 01:57 PM Pg: 1 of 4

REAL ESTATE TRANSFER TAX 10-Apr-2015



COUNTY: 1,500.00
ILLINOIS: 3,000.00
TOTAL: 4,500.00

11-19-401-024-0000 | 20150401676724 | 0-881-318-272

CITY OF EVANSTON
EXEMPTION

[Signature]
CITY CLERK

Above Space For Recorder's Use Only

QUIT CLAIM DEED

THIS QUIT CLAIM DEED is made and entered into as of April 9, 2015 by OMS-EVANSTON LLC, an Illinois limited liability company ("Grantor"), whose mailing address is c/o Riverside Investment and Development Company, 100 North Riverside, Suite 2150, Chicago, Illinois 60606, to CHICAGO & MAIN EVANSTON JV, LLC, an Illinois limited liability company ("Grantee"), whose mailing address is c/o Riverside Investment and Development Company, 100 North Riverside, Suite 2150, Chicago, Illinois 60606. Wherever used herein, the terms "Grantor" and "Grantee" shall include all of the parties to this instrument and their respective successors and assigns.

WITNESSETH:

That for and in consideration of the sum of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt of all of which is hereby acknowledged, Grantor has bargained and sold and does hereby CONVEYS and QUIT CLAIMS unto Grantee and its successors and assigns, FOREVER, all of that certain real estate, situated in the County of Cook and the State of Illinois, which real estate is more particularly described on Exhibit A attached hereto, together with all and singular the hereditaments and appurtenances thereunto belonging, or in anyway appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim or demand whatsoever, of Grantor, either in law or equity, of, in and to the above-described premises, with the hereditaments and appurtenances (collectively, the "Property").

SUBJECT TO covenants, conditions and restrictions of record and private, public and utility easements and roads and rights, if any, and general taxes for the year 2014 and subsequent years.

TO HAVE AND TO HOLD the Property unto Grantee, its successors and assigns forever, in fee simple.

Box 400

CW 877252 2015

Tax Bills to:

Chicago & Main Evanston JV, LLC
c/o Riverside Investment and Development Company
100 North Riverside, Suite 2150
Chicago, Illinois 60606

[Signature page follows]

IN WITNESS WHEREOF, this Quit Claim Deed is executed as of the date first above written.

GRANTOR:

OMS-EVANSTON LLC, an Illinois limited liability company

By: 
John O'Donnell, its Manager

STATE OF ILLINOIS)
) SS.
COUNTY OF COOK)

I, S DIMITRIOU, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY, that John Q. O'Donnell, Manager of OMS-EVANSTON LLC, personally known to me to be the same person whose name is subscribed to the foregoing instrument, as such Manager, appeared before me in person and acknowledged that he signed, sealed and delivered the said instrument in his capacity as authorized signatory, as his own free and voluntary act, and as the free and voluntary act of said company, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal, this 2 day of April, 2015.




Notary Public

My commission expires: July 14 2018

Exhibit A

Legal Description of the Property

LOT "A" IN THE MAIN CONSOLIDATION, BEING A CONSOLIDATION OF LOTS 1, 2, AND 3 IN BLOCK 11 IN WHITE'S ADDITION TO EVANSTON IN SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 5, 1977 AS DOCUMENT NUMBER 23769201, IN COOK COUNTY, ILLINOIS.

Permanent Index Numbers: 11-19-401-024-0000

Property Address: 835-849 Chicago Avenue and 516-534 Main Street, Evanston, IL 60202



April 12, 2024

Melissa Klotz
City of Evanston, Zoning Administrator
Planning & Zoning Division
Community Development Department
Morton Civic Center
2100 Ridge Ave
Evanston, IL 60201

Re: Zoning Analysis Summary

Case No: 24ZONA-0053: 518 Main Street

Dear Ms. Klotz

Thank you for your time and thoughtful review of our proposed veterinary clinic at 518 Main St. Enclosed are responses to the questions you raised regarding this proposed use:

1. Details regarding sound proofing (adjoining walls and ceilings)

Attached with our plans you will find our typical wall and ceiling details which include walls to deck separating public areas and treatment areas and sound batt both in the walls and over ceilings.

The location of this tenant suite is ideal for these purposes and minimizing any disruption to neighbors. 518 Main is located at the building corner bounded on the interior by circulation (fire stairs & corridors), loading and only one other commercial tenant suite. Above this suite is the roof deck. Consequently, the suite is ideally positioned in this building and on this site so that the clinic will pose a minimum possible risk of disturbing any of the residential tenants.

To the west- the only side where the space abuts another commercial tenant- there is an existing fire rated demising wall. We have configured our plan programmatically to limit the potential for noise transfer across this single shared demising wall by locating the corridor and washroom on that side. As noted above, the treatment area on the far side of the corridor will have walls to deck to create further acoustic separation from the neighboring space.

2. Details regarding animal waste location and disposal – is there an indoor pet bathroom, where is waste put? An outdoor pet waste station will be required that includes doggy bags and a waste bin. Show that on a site plan (on private property, likely attached to the building wall; not on City property).



There is no indoor pet bathroom proposed. Pets that visit the office are here for a very short time and the vast majority of them are trained to use the bathroom out of doors. GoodVets does not do any boarding, grooming, or overnight hospitalization, so we rarely experience pet waste secretion indoors. When we do, we double bag the waste and deposit it directly to our trash which is picked up twice a week.

An outdoor bag dispenser and lined waste bin will be provided mounted to the building and the location which the landlord has agreed to is marked on the enclosed plan. It is typical for our practices to have outdoor bags and bins. We empty the outdoor waste bin daily at a minimum, replacing the liner bag and double bagging the contents of the bin. Staff also pick up any uncollected dog waste outside our practice at least once per day. We are committed to maintaining an appealing and inviting pet and pedestrian friendly environment at all of our clinics.

As concerns medical waste and other waste like syringes, we maintain several sharps containers throughout the hospital including in each exam room, and the hazardous waste is removed from our hospital by a third-party firm like Stericycle weekly as you would expect of any medical office.

3. Detail where employees will park (ideally within the parking garage on site - not within any metered street spaces or within the residential neighborhood which is by permit only. They may also take CTA /Metra. If no other options exist, The Main also has a parking lot at 935 Chicago Ave that may be used.

Our lease stipulates that we will have rent of two dedicated staff parking spaces in the surface lot, and that beyond that staff may use the surface lot on an as needed first come, first served basis. We hope that our staff will take the CTA and Metra to work-proximity to transit is something we seek out for all of our sites as a benefit to both staff and patrons. Our company offers pre-tax CTA benefits for employees who commute to our hospital location.

4. Note what customer Parking is Available and whether it is dedicated spaces or shared with other businesses.

The terms of the lease include two dedicated garage spaces for patrons, which should be sufficient per below to accommodate our typical patient flow. If needed, the lease also stipulates that patrons will have non-exclusive first come first served rights to use the surface parking lot. The shared surface lot will be there if it is required, but it is our hope that we won't need it. At our other urban locations, quite a lot of our patients walk to their appointments.

5. Explain how many customers are anticipated at a time and per day to show that ample parking is available.

We see one appointment every 30 minutes, so no more than two patients are cared for in an hour. This results in minimal necessity for parking.



Our days are typically 10 hours, with two hours of no appointments for lunch and notes. Over eight hours in a day, we see at the maximum 16 patients that are evenly spaced in thirty-minute intervals.

The terms of our lease provide two indoor garage spaces will be available to patrons for parking and unrestricted first come-first serve access for patrons in the building's surface lot located down the block if it is required, but we do expect a fair number of walkers.

6. Note any exotic animals that may be treated.

None, typically, but if a veterinarian is comfortable caring for any small exotic species like reptiles, we will see only a handful a year anyway. Exotics are usually directed to specialty hospitals with the equipment and knowledge to care for those pets. 99%+ of our patients are dogs and cats.

7. Confirm employees and customers will not walk with animals within the alley area.

Goodvets encourages safe dog-walking, always. Since there is no boarding or overnight care of pets, it is fairly unusual for staff to be out walking dogs, but if they do, it will not be in the alley as a matter of policy. We will also discourage our customers from walking dogs in the alley. One way that we can do this is to make sure to note that pets are not allowed to walk in the alley in the appointment materials which we distribute. If it is acceptable to the city and the landlord, we would be happy to post a sign on the building at the entry to the alley directing people not to walk their pets through the alley. Similarly, since the surface lot down the block discharges into the alley, we would be very happy to include a sign directing people toward our practice via the sidewalk on Chicago Avenue, if it is acceptable to the administrators of the planning and zoning department.

8. Confirm Storefront windows will remain at least 75% clear as required by the sign code and will show an active storefront/activity into the lobby as shown on the site plan.

Yes, absolutely! Our plan is to have an inviting lobby and waiting area extending along the full length of the storefront. The windows will remain clear and anyone walking by will be able to see pets and their people in the waiting area.

9. Explain why there is need for another Animal hospital (there was a recent Special Use request for an existing animal hospital to expand, so it is anticipated that the zoning commissioners will ask if there is still a market demand for more services.

Our real estate, competitor, and demographic analysis yielded an indisputable need for an additional veterinarian provider in the area based on an imbalance between veterinarian supply and demand for care. The number of pet owning households is growing every year and grew tremendously during the Covid period of high adoptions



of pets. The influx of pet ownership plus growth in multiple pet owning households has resulted in many current providers unable to care for pets promptly and thus a backlog of appointments.

This is a problem for communities and pet owners, with the amount of pets unable to receive wellness and sick care when needed growing significantly. Evanston is no exception with our data analysis suggesting a need for an additional five to ten individual veterinarian practitioners.

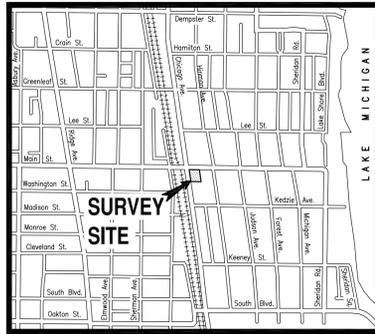
Sincerely,

Bryan Wietrzykowski

Bryan Wietrzykowski

VP of Construction

ALTA/NSPS LAND TITLE SURVEY

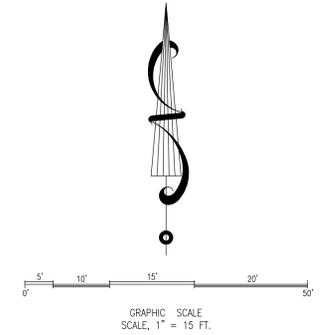


VICINITY MAP
(NOT TO SCALE)

LEGAL DESCRIPTION:

PARCEL 1:
LOT "A" IN THE MAIN CONSOLIDATION, BEING A CONSOLIDATION OF LOTS 1, 2 AND 3 IN BLOCK 11 IN WHITE'S ADDITION TO EVANSTON, IN SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 5, 1977 AS DOCUMENT NUMBER 23769201, IN COOK COUNTY, ILLINOIS.

PARCEL 3:
A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY CONSTRUCTION LICENSE, ACCESS AND EASEMENT AGREEMENT DATED MARCH 16, 2015 AND RECORDED APRIL 28, 2015 AS DOCUMENT 1511822073 FROM EWH PROPERTIES, LLC TO CHICAGO & MAIN EVANSTON JV, LLC FOR THE PURPOSE OF AFFIXING DOWELS FROM THE GRADE BEAM TO BE CONSTRUCTED ON PARCEL 1 INTO THE NORTH FOUNDATION WALL OF THE STRUCTURE ON THE EASEMENT PARCEL OVER THE FOLLOWING DESCRIBED LAND: THE AREA PRESENTED BY A RECTANGLE FORMED BY PROCEEDING FROM THE NORTHWEST CORNER OF LOT 4, THENCE 182.86 FEET EAST ALONG THE NORTHERN BOUNDARY OF LOT 4 TO THE NORTHEAST CORNER, THENCE SOUTH ONE FOOT, THENCE WEST 182.86 FEET, THENCE NORTH ONE FOOT TO THE PLACE OF BEGINNING, ALL IN LOT 4 IN THE SUBDIVISION OF THE WEST 1/2 OF BLOCK 11 IN WHITE'S ADDITION TO EVANSTON IN THE NORTH QUARTER OF THE SOUTHEAST 1/4 SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
COMMONLY KNOWN AS: **847 CHICAGO AVENUE AND 520 MAIN STREET, EVANSTON, ILLINOIS**



SITE NOTES:
Area of described property = 30,503 sq. ft.
Area of building footprint at ground level = 27,497 sq. ft.

Enclosed Parking Spaces Observed:
Lower Level: 85 spaces including one motorcycle space and 3 lifts (with no reference to removing those lifts)
Ground Floor: 30 spaces

Flood Zone Designation:
Per Flood Insurance Rate Map No.17031C0270J,
Effective date August 19, 2008.
The Surveyed Property is located in Zone "X". Area determined to be outside of the 0.2% annual chance floodplain.

Reference:
For matters of title we have relied on Chicago Title Insurance Company's Commitment for Title Insurance, Order No. 1401 008977252 D2, Effective Date July 20, 2017, for all recorded documents affecting the described parcels. Parcel numbers shown for the surveyed property are as shown in said Title Commitment (NOTE: Referenced title commitment covers the surveyed property as well as other properties).
Survey Related Schedule B Items:
L/12 - Visible utilities plotted.
BB/22 - Construction easement per Document 1511822073 (also known as Parcel 3), plotted.
BB/23 - Subsurface sheetpile and footings easement per Document 1516129025, plotted.
BO/26 - Concast easement, blanket in nature and not plotted.
All other recorded documents disclosed in the referenced title commitment are not survey related and are not plottable.

ALTA Table A Items not plotted:
Item 9 - Interior/enclosed parking spaces observed but not plotted hereon. Number and type are noted above.
Item 16 - At the time of completion of field work, there was no observed evidence of recent earth moving work, building construction or building additions.
Item 17 - At the time of completion of field work, there were no proposed changes in street right of way lines or evidence of recent street or sidewalk construction.
Item 18 - At the time of completion of field work, there were no wetland areas delineated by appropriate authorities.
Item 19 - There are no offsite easements or servitudes disclosed in the referenced title commitment.

Zoning:
Per City of Evanston Ordinance #32-0-14, the surveyed property is in the C1a Commercial Zoning District, and is granted a Special Use Permit for a Planned Development which sets forth the following Site Development Allowances:
Sec. 3(B) - Floor Area Ratio (FAR) = 4.86
Sec. 3(C) - Maximum Building Height = 97 feet
Sec. 3(D) - Enclosed Parking Setback = 10 feet off of Chicago Avenue
Sec. 3(E) - Number of Parking Spaces = 152 (special conditions are described)

GENERAL NOTES:
All information provided to the surveyor is shown or noted hereon.

Prior to excavation call toll free
J.U.L.I.E. 1-800-892-0123 (for suburban)

The description on this plat was provided to us by the client, and does not guarantee ownership, and should be compared to your Deed, Abstract or Certificate of Title.

All building restrictions, building lines and easements may or may not be shown, check your Deed, Abstract, Title Report, and local ordinances, no responsibility is assumed by Surveyor.

Compare all points before building by same and report any discrepancy at once.

Dimensions are shown in feet and decimal parts thereof, no dimension is to be assumed by scaling.

B.H. SUHR & COMPANY, INC.

SURVEYORS ESTABLISHED 1911
MEMBER: 840 CUSTER AVENUE, EVANSTON, ILLINOIS 60202
TEL. (847) 864-6315 / FAX (847) 864-9341
E-MAIL: SURVEYOR@BHSUHR.COM

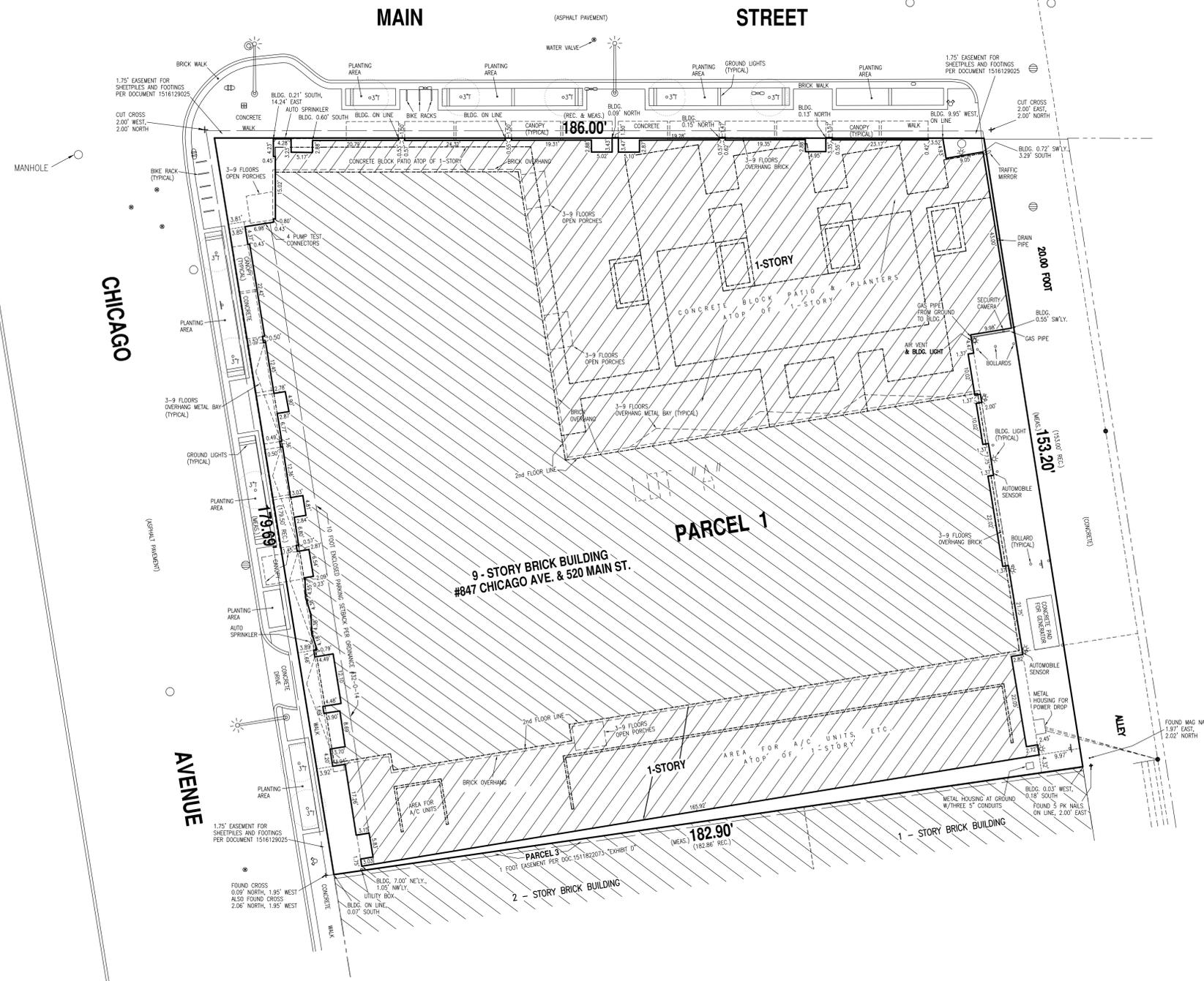
Professional Design Firm
License No. 184-002871

LOCATION: 847 CHICAGO AVE. & 520 MAIN ST. EVANSTON, AUGUST 26, 20 17

ORDER No. 17-188 ORDERED BY: RIVERSIDE INVESTMENT

PARKING NOTE ADDED JANUARY 31, 2018

RR139 ©2017 B. H. Suhr & Company, Inc. All rights reserved.



PARKING NOTE:
Interior parking spaces along the West side of the building are more than 10 feet from the property line.

STATE OF ILLINOIS } ss.
COUNTY OF COOK }

To: Chicago & Main Evanston JV, LLC; JPMorgan Chase Bank, N.A., in its capacity as Administrative Agent for itself and certain other lenders; Chicago Title Insurance Company.

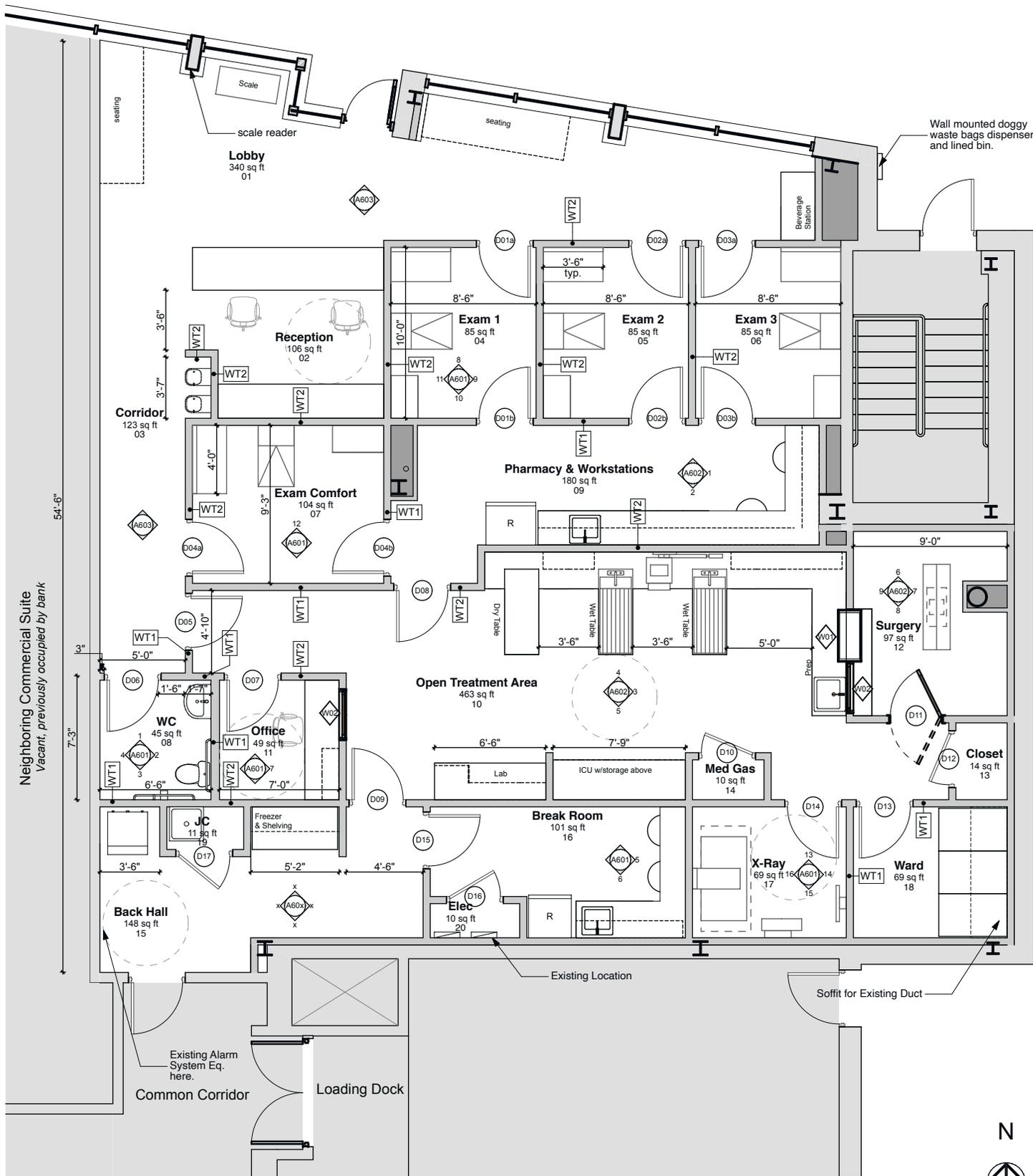
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 8, 9, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on August 26, 2017.

Dated at Evanston, Ill., this 6th day of FEBRUARY A.D., 20 18

By: *Raymond R. Hansen*
Raymond R. Hansen
Illinois Professional Land Surveyor
License Number 035-005542, Expiration Date 11/30/18



LEGEND	
	MANHOLE
	CATCH BASIN
	INLET BASIN
	UTILITY POLE
	FIRE HYDRANT
	WATER VALVE
	WATER VALVE VAULT
	GAS VALVE
	TRAFFIC LIGHT POLE
	TRAFFIC SIGNAL HANDHOLE
	SIGN
	STREET LIGHT POLE
	BUILDING LAMP
	PARKING METER
	DOUBLE PARKING METER
	TREE SIZE

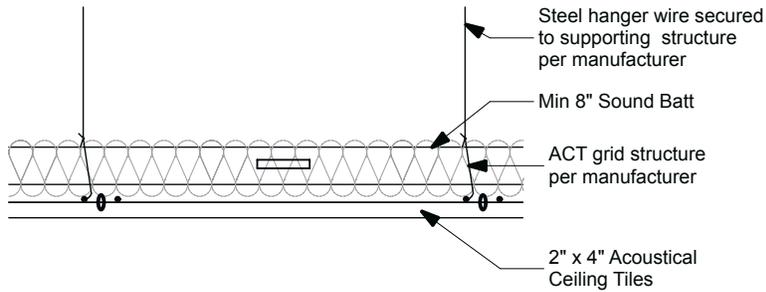


Neighboring Commercial Suite
Vacant, previously occupied by bank

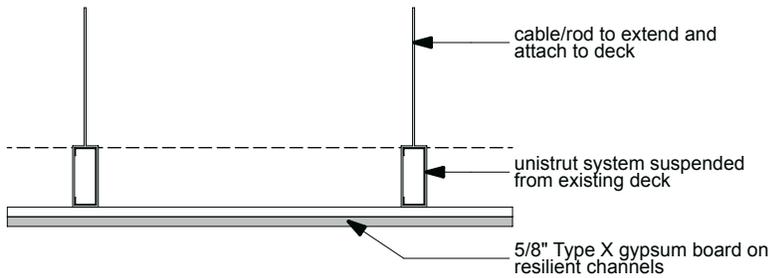
Wall mounted doggy waste bags dispenser and lined bin.



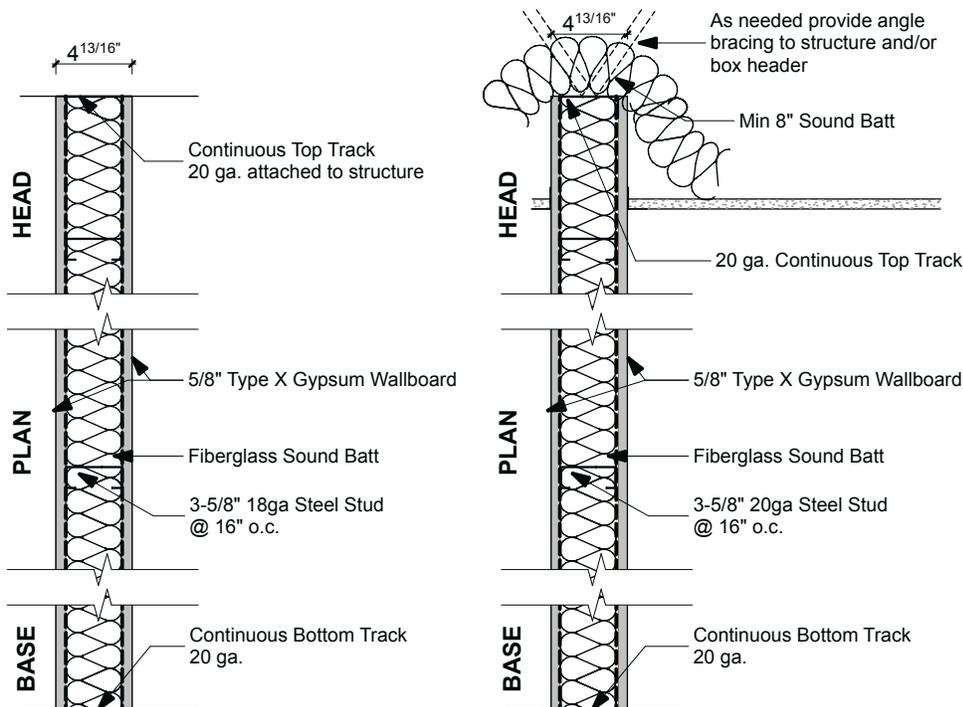
1/8" = 1'-0"



CT1 Acoustic Ceiling



CT2 Gypsum Ceiling



WT1 5\"/>

WT2 5\"/>

1" = 1'-0"

Staff Comments - 518 Main Street, Special Use for an Animal Hospital, GoodVets

Zoning - appropriate soundproofing should be done inside including to the ceiling, and an outdoor animal waste station should be added. The applicant noted employee parking is in the off-site lot at 935 Chicago Avenue so no parking concerns - customer parking is on site in the parking garage.

Public Works Waste:

Where are you going to store the waste that is generated inside the floor plan? I see a communal loading dock, is the waste going to be stored there?

How will the waste that is generated during surgery be handled? What about other operations?

Who will be servicing the waste that is generated from that?

Parking: There are no concerns as long as staff don't utilize metered parking spots.

Engineering: No comments

Preservation: A tree pres permit will likely be needed if a crane / bucket / scaffolding is used to place the sign on the exterior of the building. This process will likely be straightforward.

PW ROW: No comments

Economic Development: No comments



**Zoning Analysis
Summary**

Review Date: 04.04.24
By: Melissa Klotz, Zoning Administrator

Case Number:

Case Status/Determination:

24ZONA-0053; 518 Main Street

NON-COMPLIANT – Special Use required

Applicant: Bryan Wietrzykowski

Plans prepared by:

Plans dated:

Survey dated:

District: C1a

Proposal:

Interior build-out for GoodVets veterinary clinic with no boarding or grooming.

Non-compliant:

Code Section	Proposed and Required	Recommendation
6-10-3-3	Special Use required for an Animal Hospital (veterinary clinic) in the C1a Commercial Mixed-Use District	Submit for Special Use

Comments:

- Special Use required – apply [here](#). There is a \$660 application fee plus a mailing fee invoiced by the BluePrint Shoppe at a later date. The Special Use process takes 90-120 days and includes a public hearing with the Land Use Commission and a final determination by the City Council.
- Given the location is within a mixed-use building with residential on upper floors and to the east, the following additional information is required in conjunction with the Special Use permit request:
 1. Details regarding sound proofing (adjoining wall and ceilings).
 2. Details regarding animal waste location and disposal – is there an indoor pet bathroom, where is waste put? An outdoor pet waste station will be required that includes doggy bags and a waste bin. Show that on a site plan (on private property, likely attached to the building wall; not on City property).
 3. Detail where employees will park (ideally within the parking garage on-site; not within any metered street spaces or within the residential neighborhood that has permit parking only) or if they will take the CTA/Metra. If no other options exist, The Main has a parking lot at 935 Chicago Avenue that may be used.

4. Note what customer parking is available and whether it is dedicated spaces or shared with the other businesses.
5. Explain how many customers are anticipated at a time and per day to show ample parking is available.
6. Note any exotic animals that may be treated.
7. Confirm employees and customers will not walk animals within the alley area.
8. Confirm storefront windows will remain at least 75% clear as required by the Sign Code and will show an active storefront/activity into the lobby as shown on the site plan.
9. Explain why there is a need for another Animal Hospital (there was recently a Special Use request for an existing Animal Hospital to expand, so I expect Commissioners will ask if there is a market demand still).

Principal Use and Structure: The Main – commercial space: veterinary clinic	
6-10-3-3	<p>Use: No change</p> <p>Standard: eligible Special Use Existing: vacant Proposed: Animal Hospital; noncompliant – Special Use required</p> <p>Zoning Definition (6-18-3): Animal Hospital: A use or structure intended or used primarily for the testing and treatment of the disorders of animals, including the indoor boarding of animals for such purpose, but not the training or grooming of animals, or outdoor cages, pens, or runs for the animals.</p>

NOTICE OF A PUBLIC HEARING

Evanston Land Use Commission

Wednesday, May 22, 2024, 7:00 pm

Morton Civic Center, 2100 Ridge Avenue

Council Chambers

Please be advised, as you own, or otherwise may have interest in a property within 500 ft. of the address listed below, for which the following zoning application will be discussed:

**Special Use | 518 Main Street |
24ZMJV-0020**

Bryan Wietrzykowski, Vice President of Construction, submits for a Special Use for an Animal Hospital, GoodVets, in the C1a Commercial Mixed-Use District (Section 6-10-3-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 11-19-401-024-0000



Those wishing to make public comments at the Land Use Commission meeting may attend in-person or submit written comments in advance by calling/texting 847-448-4311 or completing the Land Use Commission online comment form available online here: <https://bit.ly/lucpubliccomment>. Information about the Land Use Commission is available online at www.cityofevanston.org/government/land-use-commission. Questions can be directed to Michael Griffith, Planner, at 847-448-8155 or via e-mail at mgriffith@cityofevanston.org. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Community Development Department 48 hours in advance of the scheduled meeting so that accommodations can be made at 847-448-8170 (Voice) or 847-866-5095 (TDD). La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las

1611 Church Street

Map Amendment & Major Variations
23PLND-0045 & 23ZMJV-0047

LUC Recommending Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Melissa Klotz, Zoning Administrator

CC: Sarah Flax, Director of Community Development
Elizabeth Williams, Planning Manager

Subject: Map Amendment & Major Variations
1611 Church Street | 23PLND-0045 & 23ZMJV-0047

Date: May 16, 2024

Request

Thomas Gourguechon of CSE1611 LLC, applicant for the property owner, submits for a Map Amendment and Major Variations for an adaptive reuse to convert an existing industrial/office building into 7 dwelling units and one ADU, and for additions/new construction for amenity space and parking. The applicant requests a Map Amendment to rezone the property from the current WE1 West Evanston Transitional District and the oWE West Evanston Overlay District to the R4 General Residential District (Section 6-8-5). The applicant requests Major Variations for townhome orientation that does not face the right-of-way (Section 6-8-1-12), and detached accessory structures between the principal structure and the front property line but not within the required front yard (Section 6-4-6-2-D), in the R4 General Residential District. The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-4-8 of the Evanston Zoning Code.

Notice

The Application has been filed in conformance with applicable procedural and public notice requirements including publication in the Evanston Review on May 2, 2024.

General Information

Applicant: Thomas Gourguechon
1107 Hull Terrace
Evanston, IL 60202

Owners: Chris Gladwin
CSE1611, LLC
4850 N. California Avenue
Chicago, IL 60625

PIN: 10-13-222-004-0000

Analysis

1611 Church Street is a 46,804 square foot lot with an existing industrial bow-truss warehouse building towards the rear and a surface parking lot at the front. The structure is 11,395 square feet in size and is commonly known as the National Awards building. The building was last occupied by Blue Butterfly Miniatures, a dollhouse furniture manufacturer with less than 5 employees on-site. The building has been vacant for the last few years. The property is within the WE1 West Evanston Transitional District and the oWE West Evanston Overlay District.

Surrounding Zoning and Land Uses	Zoning District	Land Use
North	R4 General Residential District oWE West Evanston Overlay District	Tape Coat manufacturing
South	OS Open Space District R3 Two Family Residential District	Mason Park Single family residences
East	WE1 West Evanston Transitional Dis. oWE West Evanston Overlay District	Cahill Plumbing
West	R4 General Residential District	Single family attached (townhome) residences

The property is surrounded by residential uses to the south and west, as well as to the east once past the Cahill Plumbing property. Industrial uses to the north that follow the old Mayfair train right-of-way are either legally nonconforming within residential districts or are within the WE1 District with the intent to transition to residential in the future. The surrounding oWE West Evanston Overlay District enacts the recommendations of the West Evanston Master Plan with zoning regulations to encourage residential redevelopment. A staff memo to the Planning & Development Committee, dated October 24, 2022, is attached with further detail regarding the Plan and Overlay and the implications on redevelopment.

Proposal

The Applicant proposes reuse of the existing warehouse building by converting the space to 7 townhome dwelling units and one amenity guest sleeping room, with small additions to the warehouse building to add common amenity space for the co-housing concept. The property is almost entirely hardscaped currently with a large surface parking lot; all existing hardscape will be removed and replaced with a combination of three detached garages, fruit trees, an urban garden, landscaping, rain garden, and open greenspace. An ADU was previously proposed on top of one of the detached garage structures but is no longer proposed.

construction. A Special Use for an Adaptive Reuse (in lieu of variations) is not requested since the proposed R4 District allows single family attached residences (townhomes) as a permitted and eligible use.

Map Amendment

The property is currently WE1 West Evanston Transitional District along with the Cahill Plumbing property adjacent to the east. The intent of the WE1 District is to allow for properties with industrial uses to phase out over time and redevelop as residential, with a specific end goal of rezoning to the R4 General Residential District. The West Evanston Master Plan calls for redevelopment of both properties together so that Florence Avenue extends from the south and heads north (where the new street would extend into additional properties) to connect to Ashland Avenue and form a complete street. Additionally, the Plan then calls for 14 townhomes with detached garages in the rear and green front yards with 15' front yard setbacks following the new Florence Avenue. The West Evanston Overlay District enacts the zoning requirements to achieve this Plan in detail.

West Evanston Master Plan - Detail of 1611 Church Street (and adjacent Cahill Plumbing property within the dashed area below):

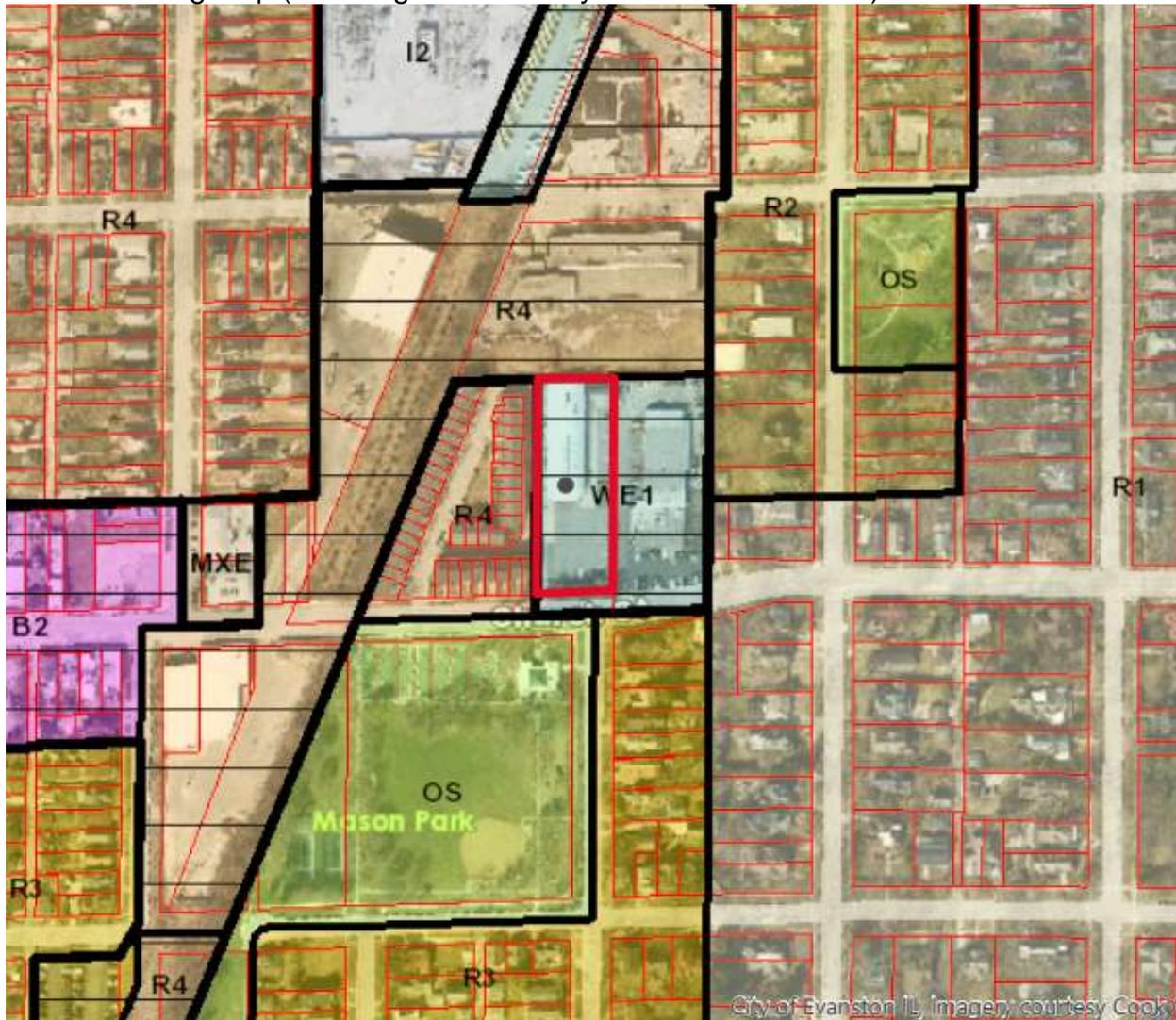


It is not feasible to redevelop 1611 Church Street according to the Plan and Overlay unless the Cahill Plumbing property to the east and also the large Tape Coat campus to the north also redevelop to complete the street extension. Parts of the Plan could be accomplished with only some of those properties, but modifications would be needed to add a cul-de-sac for vehicle and fire truck maneuvering that would utilize most of the remaining available land. Over the last decade, Planning & Zoning staff met with a variety of interested parties who wanted to redevelop the site but were unable to find a

way to move forward. It is not feasible to follow the Plan and Overlay requirements with only one property available, the reduced buildable land area due to the new street, infrastructure costs of the new street and right-of-way, stormwater management, utilities, and the final recouped costs/financial gain from building 14 small-lot townhomes.

When instead looking at the intent of the Plan and Overlay, the regulations call for townhomes and a transition from the past industrial use of the property to the future R4 residential use. The Applicant proposes to follow the intent of the regulations by converting the warehouse building into 7 townhomes, along with small additions for amenity space and a detached garage structure for parking. While the proposal follows the intent of the Plan and Overlay by proposing townhomes, the proposal adaptively reuses the existing building instead of a complete demolition and redevelopment of the site, does not propose the Florence Avenue street extension, and requests less density (7 townhomes and one ADU) than what the Plan and Overlay call for.

Current Zoning Map (including oWE Overlay in horizontal hashes):



The current WE1 District allows for the following (Section 6-15-16-3):

- Existing Permitted Uses: Any existing use at a particular property that is a listed permitted use in the C2 or I2 District (instead of a legal-nonconforming classification)
- New Permitted Uses: Any new use that is “of the same or similar type and intensity of a Permitted Use existing on a particular property, with no substantially different or substantially greater off-site impacts” OR any use permitted in the R4 District that “complies with the use, building type, parking, and landscaping requirements” of the Overlay District for a particular property
- Existing Special Uses: Any existing Special use that is also a Special Use in the C2 or I2 District that has been approved at a particular property (instead of a legal-nonconforming classification)
- New Special Uses: Any use that is a Special Use in the R4 District and “complies with the use, building type, parking, and landscaping requirements” of the Overlay District for a particular property.

For 1611 Church Street, the existing use over the last decade decreased in intensity/impact down to light manufacturing/office use for miniature dollhouse furniture manufacturing with few employees and limited use of the building/site. When that business left the site a few years ago, the requirements of the WE1 District for any new use to be “of the same or similar type and intensity, with no substantially different or substantially greater off-site impacts” left few to no opportunities for compliant use of the large warehouse building.

Even though the WE1 District’s Permitted Uses allow the R4 residential uses (including townhomes), the proposal to adaptively reuse the existing warehouse building for residences does not comply with the Overlay District for the “use, building type, parking, and landscaping requirements” that are required and based on the West Evanston Master Plan. Therefore, the current proposal for townhomes is not considered a Permitted Use in the WE1 District and requires a map amendment to fully rezone the property to the (intended future) R4 District with removal of the West Evanston Overlay District (and its requirements for the Florence Avenue street extension and townhomes with detached garages and 15’ front yard setbacks).

If the property is rezoned to the R4 General Residential District and redeveloped as requested, the overall intent of the West Evanston Master Plan and the West Evanston Overlay District to convert industrial properties to residential is met, though the details on building type, number of units, street grid, etc. are not. While those details may have been appropriate when the Plan and Overlay were adopted in 2007-2009, they may no longer be appropriate for this property, as evidenced by the number of potential new owners/developers who have inquired and then not proceeded with redevelopment of the property under the current zoning, as well as the current vacancy and lack of eligible Permitted Uses for the warehouse building.

Co-Housing Concept

The Applicant intends to develop the property into a cohousing concept, which is “an intentional community of private residences clustered around shared space” that includes a common set of shared facilities greater than typical multifamily amenity space. Neighbors also share outdoor space, gardens, recreational or craftwork space, communal dining/entertaining areas, and share resources such as tools and lawnmowers. Each household is independent, but neighbors purposefully plan communal activities in shared spaces. Collaborative communities that actively engage in the co-housing concept may plan group meals, organized child care or elder care, carpools, etc.

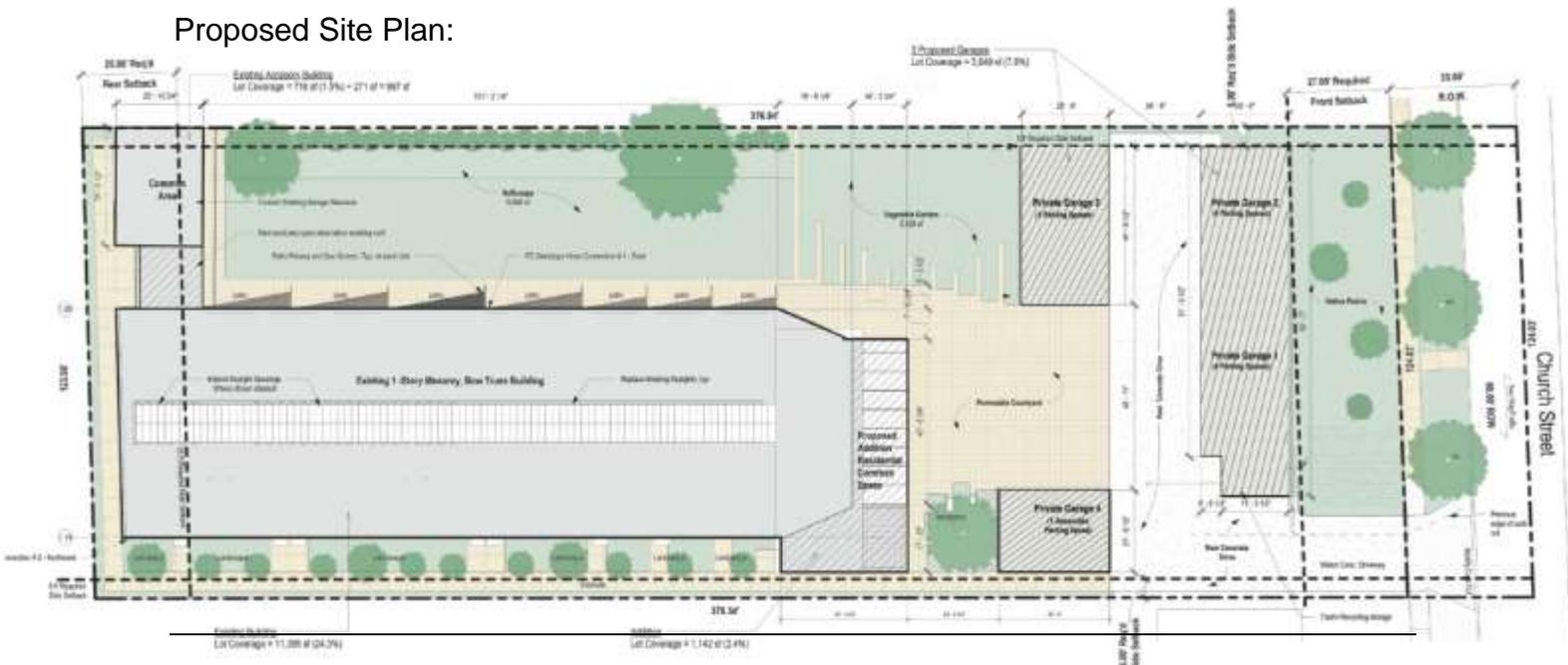
This co-housing model is a newer housing type that is expanding throughout the United States. One of the first successful modern co-housing communities is Muir Commons in Davis, California. To date, more than 160 co-housing communities have been established throughout the country and +125 more are in process.

Co-housing encourages a socially rich and interconnected community while allowing for individual ownership that leads to intergenerational wealth building. Successful co-housing must be flexible so that the common facilities and shared spaces can evolve over time to meet the needs of the resident owners. The co-housing model proposed for 1611 Church Street is a small-scale version of this unique housing type that is not currently available in Evanston.

Major Variations

When analyzed under the proposed R4 General Residential District zoning, the existing structures are considered legally nonconforming. New construction additions and accessory structures shall comply with the R4 District regulations or require variation approval.

Proposed Site Plan:



The Applicant requests a variation for townhouse orientation that does not face a right of way since the existing warehouse building's architecture lends to interior facing townhouse orientation facing east and west (Section 6-8-1-12).

The Applicant also requests a variation for detached accessory structures between the principal structure and the front property line but not within the required front yard (Section 6-4-6-2-D). Detached accessory structures are only permitted in rear yards. However, given the location of the existing principal structure, there is no way to comply with this regulation. The three detached garage structures are proposed along the typical 27' front yard setback and comply with 5' interior side yard setbacks, are arranged in a way to not appear as garages or as one overbearing structure, and establish a courtyard boundary for the property to aid in the co-housing goal of community living.

Rendering from Church Street looking North (garage structure):



All other aspects of the development comply with the R4 District regulations including parking, building lot coverage, and impervious surface coverage (that is reduced to achieve compliance). Of note, the townhouse development to the west, Church Street Village, was approved as a Planned Development with multiple stages/amendments and features significantly less compliance (more Site Development Allowances) with the R4 District than the 1611 Church Street request. Church Street Village is located in the R4 District and is not within the oWE West Evanston Overlay District.

Inclusionary Housing Ordinance

The proposal is considered a covered development (5 or more dwelling units) that must comply with the requirements of the Inclusionary Housing Ordinance. While an on-site inclusionary housing unit is preferred by the Department, the fee-in-lieu payout is

compliant since the development is proposed as for-sale condominium units. The Applicant did consider utilization of a proposed coach house ADU as an inclusionary unit, but that would not comply with the requirements of the IHO since the one inclusionary unit at the property would be significantly smaller and different compared to the townhouse condo units. The Applicant agrees to pay the fee-in-lieu, which is required at 1.5x the base fee due since the development is for-sale condominium units and is not providing any inclusionary units on-site. The Applicant agrees to comply by paying a total of \$268,964 (assuming submittal for a building permit under the 2024 IHO rate) to the Affordable Housing Fund. The townhouse units are currently proposed with a sale price ranging from \$412,300 - \$587,600 each, which may change depending on construction costs.

Department Recommendation

The Community Development Department believes the request is appropriate since the intent of the West Evanston Master Plan is met by converting the property to residential, while also adaptively reusing an existing structure that will add green infrastructure and improvements, and establish a co-housing community that does not currently exist in Evanston. The variations requested are minimal and are related to the location of the existing principal structure. If the Land Use Commission determines the Standards for Amendments and the Standards for Major Variations are met, the Commission should approve the requested map amendment and zoning relief.

Standards for Approval

In order for the Land Use Commission to recommend approval of the requested map amendment, the proposed request must meet the Standards for Map Amendments (Section 6-3-4-5):

1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the Comprehensive General Plan, as adopted and amended from time to time by the City Council.
2. Whether the proposed amendment is compatible with the overall character of the existing development in the immediate vicinity of the subject property.
3. Whether the proposed amendment will have an adverse effect on the value of adjacent properties.
4. The adequacy of public facilities and services.

In order for the Land Use Commission to recommend approval of the requested variations, the proposed request must meet the Standards for Major Variation (Section 6-3-8-12-E):

1. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties.
2. The requested variation is in keeping with the intent of the zoning ordinance.
3. The alleged hardship or practical difficulty is peculiar to the property.

4. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.
5. Either the purpose of the variation is not based exclusively upon a desire to extract additional income from the property, or, while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Land Use Commission or the City Council, depending on final jurisdiction under Section 6-3-3-8-2 of this Chapter, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of Section 6-3-6-3 of this Chapter.
6. The alleged difficulty or hardship has not been created by any person having an interest in the property.
7. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Land Use Commission issues its decision or recommendation to the City Council regarding said variation.

Action by the Commission

After making findings of fact as to whether or not the requested map amendment and zoning relief each meet the aforementioned standards, the Land Use Commission may approve, approve with conditions, or deny the requested map amendment and zoning relief. The Land Use Commission is the recommending body for this request pursuant to Section 6-3-4-8 of the Evanston City Code.

Attachments

Aerial Photo

Street View

Zoning Map

Map Amendment Application – submitted June 27, 2023

[West Evanston Overlay District](#) (existing zoning WE1 sub-district) – (begins on p.17)

[West Evanston Master Plan](#) (Redevelopment Area 2 begins on p.19)

West Evanston Plan & Overlay District Impact Staff Memo – October 24, 2022

[R4 General Residential District](#) (proposed zoning district)

Major Variation Application – submitted June 27, 2023

Inclusionary Housing Application – submitted April 23, 2024

Cohousing Explanation from Applicant

Plat of Survey

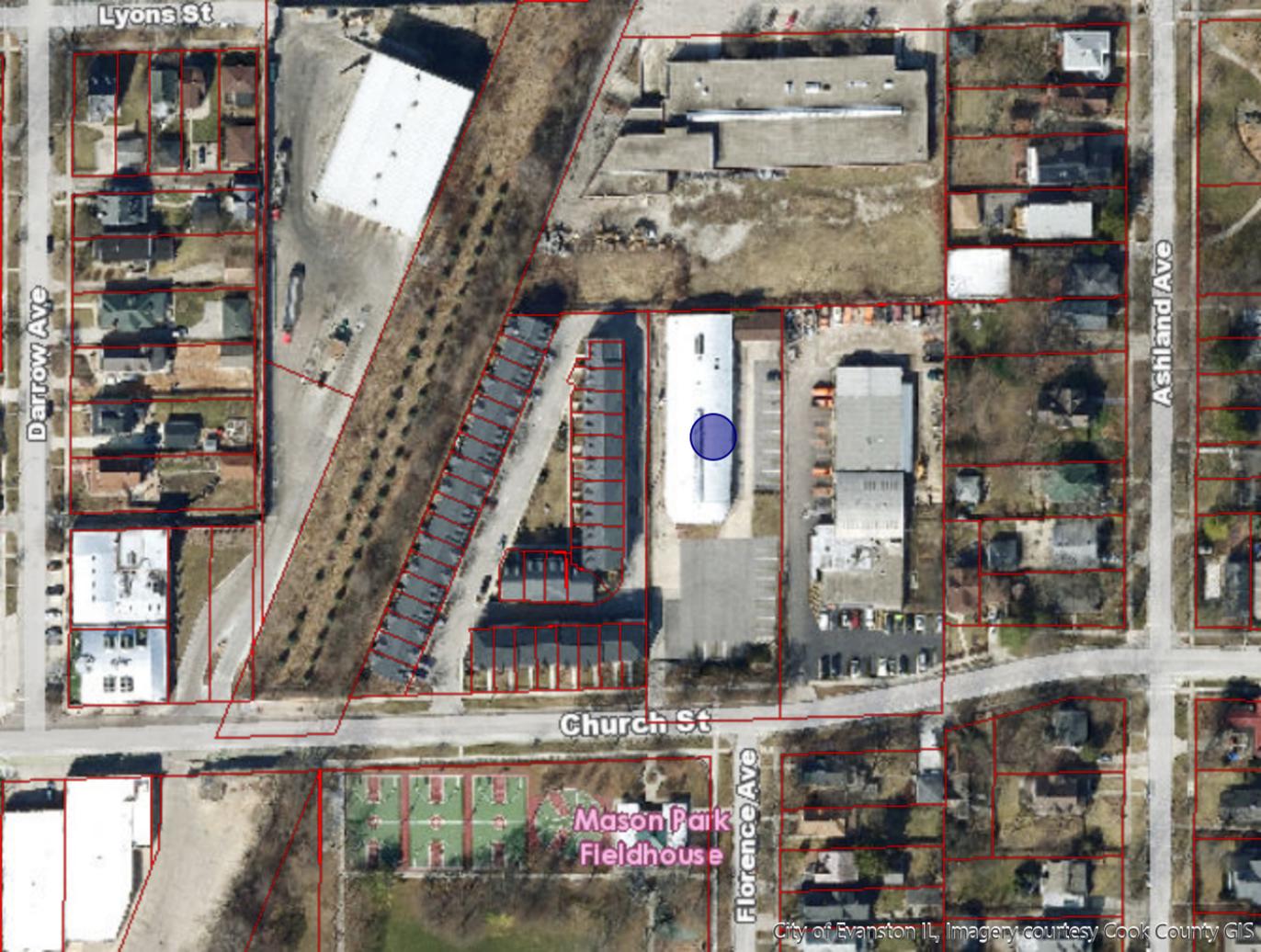
Site Plan, Elevations, Renderings – updated May 15, 2024

Zoning Analysis – updated April 4, 2024

Ward Meeting Project Details

Public Notice

Staff Comments



Lyons St

Darrow Ave

Church St

Florence Ave

Ashland Ave

Mason Park
Fieldhouse



Michael Griffith <mgriffith@cityofevanston.org>

Fwd: Zoning Map Amendment Application

1 message

Elizabeth Williams <ewilliams@cityofevanston.org> Tue, Jun 27, 2023 at 10:04 AM
To: Michael Griffith <mgriffith@cityofevanston.org>, Meagan Jones <mmjones@cityofevanston.org>
Cc: Melissa Klotz <mklotz@cityofevanston.org>

Hi Mike & Meagan, please see the map amendment application.

Melissa - FYI

Liz Williams

Planning Manager

Planning & Zoning Division
Community Development Department
City of Evanston

2100 Ridge Ave | Evanston, IL 60201 | (224) 296-4489
ewilliams@cityofevanston.org | cityofevanston.org

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----- Forwarded message -----

From: <noreply@formstack.com>
Date: Mon, Jun 26, 2023 at 11:57 AM
Subject: Zoning Map Amendment Application
To: <zoning@cityofevanston.org>



Formstack Submission For: **Zoning Map Amendment Application**

Submitted at 06/26/23 11:57 AM

Address: 1611 Church St
Unit 1
Evanston, IL 60201

Permanent Identification Number (PIN) 1: 10-13-222-004-0000

Permanent Identification Number (PIN) 2:

Name: Thomas Gourguechon

Organization: CSE1611, LLC

Address: [1107 Hull Terrace](#)
Unit 1
Evanston, IL 60202

Home or Office Phone Number: (847) 691-6783

Cell Phone Number: (847) 691-6783

Email: tom.gourguechon@gmail.com

Please choose primary means of contact: Home or Office Phone

Is applicant also the property owner?: No

Name: Chris Gladwin

Organization: CSE1611, LLC

Address: [4850 N. California Ave](#)
#2
Chicago, IL 60625

Home or Office Phone Number: (773) 517-2174

Cell Phone Number: (773) 517-2174

Email: chris@gladwinmail.com

What is the relationship of the applicant to the property owner?: Other: project manager

Address: 1611 Church St

PIN: 10-13-222-004-0000

1) Are more properties affected?: No

Address:

PIN:

2) Are more properties affected?:

Address:

PIN:

3) Are more properties affected?:

Address:

PIN:

4) Are more properties affected?:

Address:

PIN:

5) Are more properties affected?:

Address:

PIN:

6) Are more properties affected?:

Address:

PIN:

7) Are more properties affected?:

Address:

PIN:

8) Are more properties affected?:

Address:

PIN:

9) Are more properties affected?:

Address:

PIN:

10) Are more properties affected?:

Address:

PIN:

Are more properties affected?:

Please list all additional properties affected with address along with PIN.:

Please list the contact information (Name, address, phone, email) of all property owners affected by this amendment.:

N/A

Zoning Districts of Properties Subject to this Application:

R4

Current Overlay District(s) (if any):

West Evanston

Proposed Zoning Districts of Properties Subject to this Application:

R4

Proposed New Overlay District(s) (if any):

none

Describe the current land use of the properties subject to this petition.:

light industrial

Describe the development, proposal, or other reason(s) for this amendment.:

Adaptive reuse of existing industrial building into 7 residential co-housing, cooperatively owned apartments (approximately 7 units per acre). All existing exterior paving will be removed and replaced with landscaped areas, orchard plants, trees, urban food garden, pollinator stations, permeable paving and enclosed, one story parking buildings pursuant to the submitted zoning plans dated 6-19-2023. West Evanston Overlay District contemplates the extension of Florence Ave., north through the existing site and affects the Cahill Plumbing Co. property to the east. In addition, there

is another operating manufacturing building to the north in way of the Florence extension, as well as Tapecoat Manufacturing, Positive Connections, Fatzee's Foods, among others.

The proposed project is consistent with land use patterns in the immediate neighborhood and consistent with the guidelines of the Comprehensive General Plan objectives. Immediately west of the site is a recently developed multi-unit townhouse condominium project that, along with this project, reinforces the residential character, integration and diversity of housing types within the block of Church St. between Asbury and Dodge. It will enhance the economy, convenience and attractiveness of the greater Church/Dodge district. This project is conceived as co-housing with cooperative ownership. As a result, property management will be organized and conducted by residents while building and general property maintenance will also be performed by residents to the extent practicable.

The contemplated project is a prime example of adaptive reuse and preservation/restoration of a 1920s industrial building while retaining the character and architectural integrity of the building. The distinctive bow truss building and new industrial style skylights running along the spine of the roof retain the distinctive architectural style and quality design of the original. The architectural and engineering treatments both interior and exterior are being designed to maximize open view corridors, green space, low carbon footprint and support walkability, electric vehicles, biking and access to public transportation and downtown Evanston. Materials, especially timbers, salvaged from the building will be reused as decorative elements, common area furniture and landscape treatments.

The redeveloped site will be fully stripped of existing impervious pavement, open landscaped areas and permeable paving courtyards will include fruit trees and native tree canopies to limit urban heat island effects. In addition, a 2000 square foot urban farm garden will be built with consideration given to support pollinators and native prairie plant species.

The engineering approach is to design an all-electric building incorporating the use of photovoltaics as an ancillary energy source. Existing natural gas service to the building may be retained to power back-up electric generator(s) in the event of an extended power outage. New lead-free water service, sanitary service and storm water management techniques will be incorporated into engineering design. We plan to fully fire sprinkler the building and provide standpipe hose connections to satisfy fire department requirements.

This proposed adaptive reuse redevelopment will reflect its special character, become a vibrant component of the local residential inventory and enhance both commercial and residential neighborhood assets.

How is the proposed amendment with the goals, objectives, and policies of the Comprehensive General Plan, as adopted and amended from time to time by the City Council?:

In what ways is the proposed amendment compatible with the overall character of existing development in the immediate vicinity of the subject property?:

The proposed development is fully compatible with the overall character of existing development in the immediate vicinity of the subject property. This neighborhood has been transitioning from commercial/industrial to residential for some years. The Hines Lumber yard is now a townhouse condominium development. The property is immediately west of the subject property. To the east of Cahill Plumbing single family residences extend to Ridge Avenue and beyond. Side

streets are predominantly single family with Mason Park anchoring the neighborhood.

Will the proposed amendment have an adverse affect on the values of adjacent properties and why?:

The proposed amendment will not have an adverse affect on adjacent properties, but will enhance property values and provide significant benefits to the neighborhood. The viability of adaptive reuse of existing buildings, removal of non permeable surfaces, reducing the carbon footprint via all electric residences, increasing the tree canopy, introduction of native plant species and provisions for electric vehicles will add enhanced neighborhood assets.

What change to existing public facilities and services, if any, will be required to serve the effects of the proposed amendment?:

We anticipate no changes to existing public facilities and services.

Plat of Survey - One copy of plat of survey, drawn to scale, that accurately reflects current conditions.:

[View File](#)

Date of Survey:

Jun 12, 2023

Legal Descriptions of all properties as shown on Plat of Survey:

[View File](#)

Date of Descriptions:

Dec 02, 2021

Proof of Ownership - Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents, etc.:

[View File](#)

Document Submitted:

warranty deed

Additional Documentation:

Additional Documentation -:

Quantity:

1

Price:

1100

Credit Card:

Card number: *****2117 Expiration: 01/26

I certify that all of the above statements and all statements, information

[View Signature](#)

and exhibits that I am submitting in conjunction with this application for relief from the requirements of the Zoning Ordinance or for an appeal from the Zoning Administrator's decision are true to the best of my knowledge.:

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Formstack, [11671 Lantern Road, Suite 300, Fishers, IN 46038](https://www.formstack.com)

PLAT ACT AND DEED

EXHIBIT A

A tract of land described as follows: That part of the Southeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 13, Township 41 North, Range 13 East of the Third Principal Meridian, described as follows, to wit: Commencing at a point on the East boundary line of the Southeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of said Section 13, 283 feet South of the Northeast corner thereof; thence West parallel with and 283 feet distance from the North line of said Southeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 13 aforesaid, a distance of 273.94 feet; thence in a Southerly direction in a straight line to a point on the South boundary of said Southeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 13 aforesaid 273.94 feet West of the Southeast corner of said Southeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 13 aforesaid; thence East on said South Boundary line 273.94 feet to the Southeast corner of said Southeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 13 aforesaid; thence North on the East boundary of the Southeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 13 aforesaid approximately 375.24 feet to the place of beginning (except therefrom the East 150 feet thereof) all in Cook County, Illinois.

Permanent Index Number: 10-13-222-004-0000

Known as: 1611 Church Street, Evanston, Illinois 60201

0036658

CITY OF EVANSTON

REAL ESTATE TRANSFER TAX

PAID DEC 02 2021

DATE:

AMOUNT: \$7375.00 Agent: LB

CIRCLE THE NUMBER ABOVE WHICH IS APPLICABLE TO THE ATTACHED DEED.

Affiant (Other than Clerk) _____ makes this affidavit for the purpose of recording the Clerk's Office of Cook County, Illinois, to record the attached deed for recording.

[Handwritten Signature]
Dated: _____



PLAT ACT AFFIDAVIT

State of Georgia

} SS.

County of Fulton

David Harrington, being duly sworn on oath, states that I resides at 1210 W. Garmon Rd, Atlanta, GA 30327. That the attached deed is not in violation of 765 ILCS 205/1 for one of the following reasons:

1. Said Act is not applicable as the grantors own no adjoining property to the premises described in said deed;
- OR -
the conveyance falls in one of the following exemptions as shown by Amended Act which became effective July 17, 1959.
2. The division or subdivision of the land into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access.
3. The divisions of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
4. The sale or exchange of parcels of land between owners of adjoining and contiguous land.
5. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easements of access.
6. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
7. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
8. Conveyances made to correct descriptions in prior conveyances.
9. The sale or exchange of parcels or tracts of land existing on the date of the amendatory Act into no more than two parts and not involving any new streets or easements of access.
10. The sale of a single lot of less than 5.0 acres from a larger tract when a survey is made by an Illinois registered surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land. Amended by P.A. 80-318, 1 eff. October 1, 1977.

CIRCLE THE NUMBER ABOVE WHICH IS APPLICABLE TO THE ATTACHED DEED.

Affiant further state that he makes this affidavit for the purpose of inducing the Clerk's Office of Cook County Illinois, to accept the attached deed for recording.

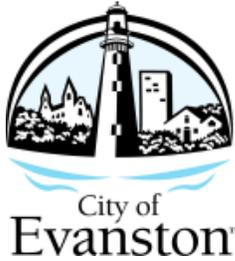
David Harrington
DAVID HARRINGTON

SUBSCRIBED and SWORN to before me

this 2 day of Dec

[Signature]





Memorandum

To: Members of the Planning and Development Committee
From: Melissa Klotz, Zoning Administrator
CC: Sarah Flax, Interim Community Development Director; Elizabeth Williams, Planning Manager
Subject: Discussion of the West Evanston Plan & Overlay Area and its impact on current and future development
Date: October 24, 2022

Recommended Action:

Staff requests the Planning & Development Committee discuss the intent and policies of the West Evanston Master Plan and the corresponding zoning regulations of the oWE West Evanston Overlay District, and establish an appropriate path forward for future development in the western portion of Evanston and corresponding Five-Fifths TIF area. The existing plan and zoning regulations are proving problematic to anticipated and encouraged redevelopment such as the Mt. Pisgah site at Church & Darrow.

Committee Action:

For Discussion

Summary:

For decades, Evanston has been considered a top-tier municipality and leader in the Planning and Land Use arena. Throughout the 1990s and early 2000s, the Evanston community, City Planners, and contracted consulting firms engaged in thoughtful meetings, design charrettes, and public hearings to establish appropriate redevelopment plans and codified zoning requirements for certain areas of the city. These plans include extremely specific redevelopment details that must be followed and are codified in the oWE West Evanston Overlay District, and made sense prior to the 2007-2008 housing market crash and subsequent market reset. In conjunction with technological advancement (the internet, electric vehicles, transit oriented development), a focus on equity, and the post-pandemic future, some aspects of the West Evanston Master Plan and corresponding oWE West Evanston Overlay District are outdated, ineffective, and now create substantial barriers to the community revitalization they are supposed to encourage.

West Evanston Master Plan

Adopted in May 2007, the West Evanston Master Plan was established to create a coherent redevelopment plan for the West Evanston TIF area that is in effect through 2028 (primarily the

old Mayfair train line and adjacent industrial properties) to ensure complete streets and appropriate residential infill occurs over time. The general planning goals and objectives of the plan reflect past policy of the City and the community. The Plan was created via significant community involvement and included many meetings and charrettes where input was gathered from 2nd and 5th ward residents. While many of the goals and objectives of the West Evanston Master Plan remain true today, they may not prioritize the most significant challenges that Evanston now faces.

The plan called for sub-areas classified by general redevelopment guidelines, or with detailed form-based planning including exact redevelopment plans and zoning regulations. The sub-areas selected for form-based planning regulate exact housing types, building styles, building locations, new street layouts, height and bulk, uses, etc. This form-based code was established in the oWE West Evanston Overlay District that was adopted in January 2009 and is regulated within Sections 6-15-15 and 6-15-16 of the Zoning Ordinance.

oWE West Evanston Overlay District

The oWE West Evanston Overlay District is the zoning area that features the additional set of zoning regulations contemplated in the West Evanston Master Plan. Notably, these zoning regulations include redevelopment requirements for street extensions that include extensive storm water detention, curbs, sidewalks, street lights, etc. and dedication of that land back to the City. While the street extensions are ideal for linking existing blocks and fulfilling complete-streets with multimodal access, doing so is cost prohibitive, may increase vehicular traffic in existing neighborhoods, and removes private property from the property tax base once dedicated back to the City. Additionally, once constructed, the new streets, sidewalks, storm water, and other infrastructure requires life-long maintenance by the City.

Most of the street extensions required extend over multiple properties that are not currently held in common ownership. When the plan and overlay were originally enacted, the housing boom made it economically feasible for contiguous property owners to sell their properties together at once for one new large development opportunity; many property owners would sell if top-dollar were commanded. When the market crashed and property values fell, contiguous land sales (and redevelopment opportunities) no longer seemed feasible. Today, there are properties within the oWE Overlay District that are currently vacant or underutilized but are unable to redevelop because required street extensions straddle property lines and parcels that are not available for sale at this time.

Additionally, the oWE Overlay District requires rezoning of existing industrial properties as they redevelop. These properties typically exist in I1 Industrial/Office District, I2 General Industrial District, and MXE Mixed-Use Employment District, and are slated with WE1 West Evanston Transitional Overlay zoning. While the regulations do not include a sunset clause to require the closure of any existing industrial business/facility in operation, the Overlay does place additional industrial use restrictions to ensure all currently-zoning industrial properties in the Overlay become less-intense over time (ie. no use shall be more intense than any previously existing use at a subject property in the WE1 sub-area). This means some properties in the WE1 are currently restricted to office use only unless the existing structure(s) are demolished for residential redevelopment. While additional housing is needed in Evanston, so are industrial properties, which have greatly diminished in recent years. Industrial properties pay a portion of the property tax base and provide local blue-collar jobs.

Examples:

- National Awards Building (1611 Church) – This property is located within the oWE Overlay District with WE1 sub-area zoning, which is specified by the overlay as previously industrial property that will redevelop as multifamily residential. WE1 specifies existing structures cannot ever have a more intense use than the last use at the property. The last use in the 13,000 square foot building on a 46,000 square foot lot with a large surface parking lot was a miniature dollhouse furniture maker with approximately 3 employees. The overlay and WE1 mean the property is basically unusable and has now sat mostly vacant for years. If the existing industrial building is torn down for redevelopment, the property must redevelop as multifamily residential, which is appropriate. However, no redevelopment can occur unless the private developer also incorporates a street extension (street, storm water detention, curbs, sidewalks, street lights, etc.) of Florence Avenue, which dead ends at the intersection just south of the property. The street cannot be extended unless the property to the east (Cahill Plumbing) also redevelops at the same time. Even then, the plan and overlay require almost half of each of the two properties to be utilized for a public street. The remaining land for multifamily residential is not enough to cover the cost of the development, especially when considering the exact requirements for the multifamily residences as well (townhomes, private alley access, etc.). Furthermore, the properties likely could still not redevelop unless a third property that is immediately north is incorporated in, to further extend Florence Avenue north to a connecting street. There is a building on the third property in the way of where the street extension is required. The development/zoning problems of this property have been apparent to staff for a decade.
- ComEd Substation (1919 Church) – This property is located on the corner of Church and Brown, right next to the Y.O.U. building. The Substation was upgraded in 2016 to reduce brownouts and power outages in parts of Evanston. The overlay required a Special Use and variations to reduce the screening (fencing and landscaping) at the substation. The screening and extremely detailed landscaping requirement (which dictates plant spacing to the inch) was reduced for visual safety, ComEd equipment safety, future plant growth, and vision clearance. The overlay requirements were inappropriate and unduly burdensome for an existing utility station.
- Windy City Garden Center (2000 Green Bay Road) - Windy City Garden Center, a retail landscaping/plant nursery, proposed improvements to the parking lot to pave existing gravel parking areas. The proposal was required to comply with the landscaping requirements of the overlay. Windy City Garden Center, a landscaping/plant nursery, could not feasibly comply with the landscaping requirements of the oWE Overlay District and was granted exceptions by the Design & Project Review Committee to reduce plantings.
- Y.O.U. (1911 Church) – The new Y.O.U. building is the ONLY new construction that complies with the overlay. This took extensive detailed work by the owner's architect and many discussions with staff. However, the building is only considered compliant because staff determined the property could be considered a corner lot given the true corner (immediately west) is occupied by the ComEd Substation. As a corner lot, Y.O.U. had the option to construct an "iconic" building instead of a "mixed-use building". A "mixed-use building," as defined by the overlay, would have triggered many variations or been infeasible for the project.

- 2044 Wesley – This undeveloped property just south of the public storage facility at Simpson and Green Bay is appropriately slated for multifamily residential as well as a street extension of Jackson from Foster to Simpson. It is not economically feasible to follow the exact requirements of the overlay unless the public storage facility is torn down and redeveloped as well, therefore the property owner requested a map amendment to remove the property from the overlay in late 2019. The map amendment was recommended for denial by the Land Use Commission (since there was not an accompanying development proposal showing exactly what would be proposed at the site), but was approved by the City Council. The property owner then proceeded with a Planned Development for townhomes and one modest multifamily residential building, but later withdrew the request due to economic constraints. The property owner is now considering a higher-density proposal. Although not yet officially submitted to the City, staff is aware higher density may be appropriate but is not what the West Evanston Master Plan calls for at the site. The development/zoning problems with this property have been apparent to staff for over 5 years, and continues to be a problem even following removal of the property from the overlay district.

Conclusion: A new plan is needed that addresses the specific concerns of the West Evanston area and the future redevelopment of and/or preservation of industrial sites, the old Mayfair properties, and appropriate residential infill. Complete streets that increase land value and drive up housing costs may not be appropriate. Instead, additional bicycle and pedestrian paths may improve mobility while encouraging moderate housing costs for new construction. This plan should be part of the larger Comprehensive Plan that addresses the intersectionality of West Evanston to the rest of the city while understanding the past and current needs of the area and community.

Legislative History:

[West Evanston Planning Area Map](#)

[West Evanston Master Plan Subarea 1 & 2](#)

[West Evanston Master Plan Subarea 3](#)

[oWE West Evanston Overlay Regulations \(6-15-15 & 6-15-16\)](#)

[TIF Information & Maps](#)

This item was tabled to the next meeting at the October 10, 2022 P&D Committee meeting.

5. REQUIRED DOCUMENTS AND MATERIALS

The following are required to be submitted with this application:

- (This) Completed and Signed Application Form
- Plat of Survey Date of Survey: 6-12-2023
- Project Site Plan Date of Drawings: 6-19-2023
- Plan or Graphic Drawings of Proposal (If needed, see notes)
- Non-Compliant Zoning Analysis
- Proof of Ownership Document Submitted: warranty deed
- Application Fee (see zoning fees) Amount \$ _____ plus Deposit Fee \$150

Note: Incomplete applications will not be accepted. Although some of these materials may be on file with another City application, individual City applications must be complete with their own required documents.

Plat of Survey

(1) One copy of plat of survey, drawn to scale, that accurately reflects current conditions.

Site Plan

(1) One copy of site plan, drawn to scale, showing all dimensions.

Plan or Graphic Drawings of Proposal

A Major Variance application requires graphic representations for any elevated proposal— garages, home additions, roofed porches, etc. Applications for a/c units, driveways, concrete walks do not need graphic drawings; their proposed locations on the submitted site plan will suffice.

Proof of Ownership

Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents (price may be blacked out on submitted documents).

- Tax bill will not be accepted as Proof of Ownership.

Non-Compliant Zoning Analysis

This document informed you that the proposed project is non-compliant with the Zoning Code and is eligible to apply for a major variance.

Application Fee

* IMPORTANT NOTE: Except for owner-occupied residents in districts R1, R2 & R3, a separate application fee will be assessed for each variation requested.

The fee application fee depends on your zoning district (see zoning fees). Acceptable forms of payment are: Cash, Check, or Credit Card.

6. PROPOSED PROJECT

A. Briefly describe the proposed project:

Adaptive reuse of existing industrial building into 7 residential coop units. 3 parking garage buildings accommodating 14 cars including 1 handicap space.

B. Have you applied for a Building Permit for this project? NO YES

(Date Applied: _____ Building Permit Application #: _____)

REQUESTED VARIATIONS

What specific variations are you requesting? For each variation, indicate (A) the specific section of the Zoning Ordinance that identifies the requirement, (B) the requirement (minimum or maximum) from which you seek relief, and (C) the amount of the exception to this requirement you request the City to grant. (See the Zoning Analysis Summary Sheet for your project's information)

(A) Section (ex. "6-8-3-4")	(B) Requirement to be Varied (ex. "requires a minimum front yard setback of 27 feet")	(C) Requested Variation (ex. "a front yard setback of 25.25 feet")
1		
<u>6-8-1-12</u>	<u>Townhomes required to face public street frontage.</u>	<u>Due to N/S orientation of existing building, Townhomes to face interior side yard.</u>

* For multiple variations, see "IMPORTANT NOTE" under "Application Fee & Transcript Deposit" on Page 2.

2		
<u>6-4-6-2 D</u>	<u>Detached accessory structures not permitted between principal structure & front property line</u>	<u>Accessory structures in "front yard" (not within front yard setback) due to orientation of existing building.</u>
3		
<u>table 4A-B</u>	<u>open parking only permitted in rear most 30' of property.</u>	<u>No open parking shown on site plan dated 6-19-23.</u>

- B. A variation's purpose is to provide relief from specified provisions of the zoning ordinance that may unduly impact property due to the property's particular peculiarity and special characteristics. What characteristics of your property prevent compliance with the Zoning Ordinance requirements?

The proposed project assumes adaptive reuse of existing building. Existing orientation & footprint of structure precludes compliance with Sections 6-8-1-12 and 6-4-6-2 D.

1. The requested variation will not have a substantial adverse impact on the use, enjoyment, or property values of adjoining (touching or joining at any point, line, or boundary) properties.

The requested variations will not have substantial adverse impact on use enjoyment or property values of adjoining properties.

2. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.

Property owner would suffer particular hardship or practical difficulty if the strict letter of the regulations were to be carried out. The project would not be possible, as planned.

3. Either...

- (a) the purpose of the variation is not based exclusively upon a desire to extract income from the property, or
(b) while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Zoning Board of Appeals or the City Council, depending upon final jurisdiction under §6-3-8-2, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to any of the standards of §6-3-6-3.

The variations are not based exclusively upon a desire to extract income from the property. R-4 zoning would allow significantly more dwelling units than planned.

4. The alleged difficulty or hardship has not been self-created, if so, please explain.

Adaptive reuse of existing buildings, removal of non-permeable paving, low carbon-footprint, construction of open green spaces, increasing tree canopy cover and all electric utility are primary goals of the project. The variations requested are due to existing conditions, orientation of buildings and development objectives.

5. Have other alternatives been considered, and if so, why would they not work?

With adaptive reuse of the principal building as a goal, other alternatives were limited. Lot coverage restrictions would suggest multi-story conventional residences and not be feasible for low density objectives.



City of Evanston

DISCLOSURE STATEMENT FOR ZONING HEARINGS

City of Evanston

(This form is required for all Major Variances and Special Use Applications)

The Evanston City Code, Title 1, Chapter 18, requires any persons or entities who request the City Council to grant zoning amendments, variations, or special uses, including planned developments, to make the following disclosures of information. The applicant is responsible for keeping the disclosure information current until the City Council has taken action on the application. For all hearings, this information is used to avoid conflicts of interest on the part of decision-makers.

1. If applicant is an agent or designee, list the name, address, phone, fax, and any other contact information of the proposed user of the land for which this application for zoning relief is made: Does not apply.

2. If a person or organization owns or controls the proposed land user, list the name, address, phone, fax, and any other contact information of person or entity having constructive control of the proposed land user. Same as number 3 above, or indicated below. (An example of this situation is if the land user is a division or subsidiary of another person or organization.)

3. List the name, address, phone, fax, and any other contact information of person or entity holding title to the subject property. Same as number 3 above, or indicated below.

4. List the name, address, phone, fax, and any other contact information of person or entity having constructive control of the subject property. Same as number 3 above, or indicated below.

If Applicant or Proposed Land User is a Corporation

Any corporation required by law to file a statement with any other governmental agency providing substantially the information required below may submit a copy of this statement in lieu of completing a and b below.

- a. Names and addresses of all officers and directors.

Chris Gladwin
4850 N. California Ave
Chicago, IL 60625

- b. Names, addresses, and percentage of interest of all shareholders. If there are fewer than 33 shareholders, or shareholders holding 3% or more of the ownership interest in the corporation or if there are more than 33 shareholders.

Chris Gladwin
4850 N. California Ave
Chicago, IL 60625
Sole Member
100% owner

If Applicant or Proposed Land User is not a Corporation

Name, address, percentage of interest, and relationship to applicant, of each partner, associate, person holding a beneficial interest, or other person having an interest in the entity applying, or in whose interest one is applying, for the zoning relief.



Community Development Department
2100 Ridge Avenue, Evanston IL 60201
Email: IHO@cityofevanston.org
Phone: 847-448-4311
www.cityofevanston.org
Effective 1/1/2024

INCLUSIONARY HOUSING APPLICATION

Submission Date: March 23, 2024

Applicant Name: Thomas Gourguechon

Applicant Address: 1107 Hull Terrace, Evanston, IL

Applicant Phone: 847-691-6783 **Cell Phone:** 847-691-6783

Email: tom.gourguechon@gmail.com **Website:** N/A

Property Owner Name: CSE1611, LLC

Property Owner Address: 4850 N. California Ave, Chicago, IL 60626

Property Owner Phone: 773-517-2174 **Cell Phone:** 773-517-2174

Email: chris@gladwinmail.com **Website:** N/A

Project Name: 1611 Church Street

Project Address: 1611 Church St, Evanston, IL 60201

Parcel Identification Number (PIN): 10-13-222-004-0000

- Project Type:**
- New Construction
 - Conversion/Addition of Residential Units
 - Reconfiguration of Residential Units (change in # of bedrooms)

Project Located in: Downtown or RP Zoning District: _____

All other Zoning Districts: _____

Project Description: adaptive reuse of existing light industrial into 7 co-op apartments plus one guest sleeping room.

Enclosed parking for 13 cars plus one handicapped space. Additional spaces for resident uses, mechanical, electrical and property maintenance.

Inclusionary Housing Compliance*: On-site Units

Fee in Lieu

*If a project requires special zoning (i.e. variances, allowances, Planned Development) a minimum of 5% of the total units are required to be Inclusionary Housing units, with the exception of for-sale units.

Project Funding Type: Private

Public

List all sources of government assistance (Federal, State, Local), including TIF, LIHTC, bond financing, public grants, land disposition programs, etc.:

None

Inclusionary Units: Rental

Market Rate Units:

Rental

For Sale

For Sale

Residential Units

	Total Units	Inclusionary Units
Studio		
1 Bedroom		
2 Bedroom	7	
3 Bedroom		
4 Bedroom		

Unit Square Footage

	Market Rate Units	Inclusionary Units
Studio		
1 Bedroom		
2 Bedroom	1495-2185	
3 Bedroom		
4 Bedroom		

Describe the location and size of each Inclusionary Housing unit in the development:

N/A

Pricing Schedule – Market Rate Units (Estimated Sale Price or Monthly Rent)

	Sale Price	Monthly Rent
Studio		
1 Bedroom		
2 Bedroom	\$4012,300-\$587,600	
3 Bedroom		
4 Bedroom		

On-site Inclusionary Rental Units

Units at or < 60% AMI		
	Number	Monthly Rent
Studio		
1 Bedroom		
2 Bedroom		
3 Bedroom		

On-site Inclusionary For Sale Units

Units at or < 100% AMI		
	Number	Sale Price
Studio		
1 Bedroom		
2 Bedroom		
3 Bedroom		

Development in Downtown or Research Park Zoning Districts:

Fee in Lieu of Rental Units: \$209,195 x _____ (number of units*) = \$ _____

Fee in Lieu of For - Sale Units: \$313,792 x _____ (number of units*) = \$ _____

Development in all other districts:

Fee in Lieu of Rental Units: \$179,310 x _____ (number of units*) = \$ _____

Fee in Lieu of For - Sale Units: \$268,964 x 1 _____ (number of units*) = \$ 268,964

*If the percentage of units results in a fractional number, if 0.5 or greater, it rounds up to an on-site unit or full fee-in-lieu. If under 0.5, there is no on-site unit requirement and one-half the fee-in-lieu is paid. For example, 10% of 45 units is 4.5. This would round up to 5 on-site units or the per-unit fee-in-lieu x 5. If 5% of the units were provided on-site, the requirement would be 2.25 on-site units, which would round down to 2 on-site units and a fee-in-lieu would be required for one half the per-unit fee. The fee-in-lieu for the remaining 5%, or 2.25 units, would be the per-unit fee-in-lieu x 2.5.

If construction will be phased, provide a construction schedule for market rate and Inclusionary units:

The developer proposes to meet the Inclusionary Housing Ordinance requirements through the attached alternative equivalent action. (The proposal must show that the alternative proposed will increase affordable housing opportunities in the City to an equal or greater extent than compliance with the express requirements of Inclusionary Housing Ordinance).

For further information visit the Inclusionary Housing webpage.

I certify that the above information is true and correct:

Print Name: Thomas Gourguechon **Position/Title:** Project Manager for CSE1611, LLC

Signature:  **Date:** March 23, 2024

**Submit this application (concurrently with the Zoning Analysis application) to:
zoning@cityofevanston.org**

March 23, 2024

Melissa Klotz
Zoning Administrator
Community Development Department
Planning and Zoning Division
City of Evanston

Marion Johnson
Housing and Community Development Supervisor
Community Development Department
City of Evanston

1611 Church St Adaptive Reuse Project – Alternative Equivalent Proposal

Dear Ms. Klotz and Ms. Johnson

A group of people have banded together to initiate and plan a diverse, multi-generational housing solution that at once is affordable, creates social cohesion, limits expenses through self-management and maintenance, is environmentally responsible and sustainable. The project presented for zoning and map change approval has evolved into a Co-Housing project in Evanston at 1611 Church Street. The property has been used as a light manufacturing facility since its original construction in the mid 1920s. The entirety of the existing building and site will be the subject of adaptive reuse project.

The ownership, design and property operations aspects for the contemplated development have been purposefully structured to provide seven dwelling units in the existing building at the lowest cost while achieving the aforementioned goals. The development program does not include developer profit, developer fees or development facilitation costs. Only project hard and soft costs will be allocated on a per square foot basis to the residential spaces and will include the costs attributable to other on-site improvements and amenities. The property will be owned by a not-for-profit Housing Cooperative corporation and operated as a Co-Housing facility whereby Housing Co-Op share owner/residents will be required and encouraged to actively participate in the management, administration, and maintenance of the property (to the extent practicable) in order to further limit the costs of ownership and to foster stronger community relationships. Flexible amenity spaces are provided to encourage resident participation in activities such as group meals, workshop, exercise, yoga, music, media and art. The buildings will be 100% electric powered (air source heat pump heating and cooling, LED lighting, photovoltaics, etc.) except for a potential natural gas-powered emergency generator. It is the design and engineering intent to provide the lowest carbon footprint practicable and to utilize “best engineering practices” wherever possible and efficient.

Co-operative ownership provides the best opportunity to attract residents who are committed to the Co-housing social construct and obligations while still providing owners with potential benefits from appreciation over time through fractional ownership in the not-for-profit corporation that owns the project. By-laws, rules and participation in the management, maintenance and administration of the property will be structured by the owners and designed to reinforce social interaction and reduce operating costs.

Co-operative ownership in this region of the country does present some challenges for the prospective resident, however. Few lenders are willing to consider a co-op loan, whereby the prospective borrower is granted a "share loan" against collateral consisting of the fractional ownership in the co-op corporation. This fractional ownership is considered personal property not real property as in a single-family home or condominium apartment. This bank lending structure is perceived as "higher risk" by the lender. As a result, minimum down payments can be expected to range from 30% to 50% depending upon the lender's requirements, borrower's creditworthiness and would be based upon the appraised value of the entire property not just the value of the subject apartment (as a single-family home or condominium would be). Evanston's IHO requires a maximum of a 5% down payment which, under the Co-op ownership structure, is highly unlikely. In addition, and due to a lenders' underwriting requirements to value a "share loan" on the basis of the value of the entire project, the IHO deed restrictions (related to an onsite affordable unit) would further diminish financing potential. Although Co-op ownership is deemed to be the same a condominium ownership for purposes of the City's zoning ordinance, the two multi-family ownership options are vastly different and not directly compatible with IHO requirements, however we believe that a 1.5 times fee in lieu of an on-site affordable unit is acceptable.

Therefore we propose to provide the City IHO program \$268,964 as a fee in lieu of an onsite unit.

Housing and Grants

Considerations for alternative, equivalent compliance:

- The project is an adaptive reuse of an existing, non-conforming industrial/warehouse building.
- Since acquisition, the property has undergone significant environmental investigation, testing and mitigation.
- The underlying zoning is R-4. There is an overlay zoning district, West Evanston Overlay District. A comprehensive map change application eliminating the overlay district has been filed with the City.
- The Housing Co-Op corporation will be structured as a not-for-profit entity (501(c)(3). HOA common area expenses are to be paid monthly by each unit on a pro rata, square foot basis. Any excess HOA revenues are distributed as dividends back to the unit owners.

- Residential spaces are to be built and sold as Housing Co-Op units at cost. Co-Ops typically sell at a 15% discount when compared to an equivalent condominium unit, further enhancing affordability. They are also more difficult to finance conventionally and generally require larger down payment and higher interest rate.
- No developer profit, developer fees or developer facilitation costs are included in the project cost budgets.
- The project will be built as low carbon, sustainable, 100% electric except for a potential natural gas emergency generator.
- Due to the low number of units (seven in the existing building) application of the current IHO criteria affects 14.3% of the residential space significantly greater than the IHO requirement.
- Assuming a total development cost of \$268 per square foot, the Housing Co-Op units will be offered at a price between \$401,300 and \$586,600 depending upon unit size.
- Construction costs continue to be approximately 15%-20% higher than pre-pandemic costs for material and labor.
- Due to the limited scale of this project, most construction work will be performed by local contractors and materials supplied by local vendors.

Public Works-Waste

1. While we do acknowledge (and accept at this time) close proximity to the Church Street Waste Transfer Station, we believe that the subject property will significantly suffer in value and marketability due its location.
2. It is our intention to require recycling and composting by all residents significantly reducing the need for more than one refuse container (1 CY). Should the need arise, more than 1 pick up per week can be arranged.
3. Refuse and recycling services will have access through the entrance gate. That capacity is being designed into the entrance gate system.
4. An area for composting is shown on the site plan. Residents can determine if the composting system is self-managed, or a service may be arranged.
5. While the property will be predominantly self-maintained, residents will comply with the City's requirements for snow removal. The by-laws of the Co-Op determine the resident formed committees to address such matters. In the event of a snow fall exceeding resident capability we have arranged for a backup service to plow and remove snow.
6. As with other property maintenance matters the common areas and public areas of the property will be policed to assure no accumulation of litter. The by-laws of the Co-Op determine the resident formed committees to address such matters.

Public Works-Engineering

1. We have retained a civil engineering firm, Millies Engineering, to design and prepare for all necessary permits and approvals required of this project including MWRD and City Bulletin 75.
2. The building will be protected with fire protection sprinklers and appurtenant systems which will require new water service to the site and building.
3. Millies Engineering is currently investigating the condition and capacity of the existing sanitary sewer. If necessary, a new sanitary sewer will be installed to the main in Church Street.
4. There will be one water meter and one water/sewer bill for the property.
5. Any damaged or inadequate sidewalk will be replaced during construction.
6. The architects at Moss Architecture and Design are working to provide efficient and appropriate solutions for mail and package delivery as well as garbage, recycling and compost pickup.
7. Up dated site plans indicate a marked pedestrian path from the residential area to the public right of way.
8. We have identified a couple of locations for interior bike storage. As engineering design continues, and dedicated bike storage space becomes more limited, bike storage may be in more than one location. Visitor, exterior bike parking will be identified on the site plan.

Should you have any questions, comments or would like to discuss particulars, feel free to contact me. My direct phone number is (847) 691-6783.

Thank you,

Thomas Gourguechon

Co-Housing

Cohousing is an intentional community of private residences clustered around shared space. The term originated in Denmark in the late 1960s.^[2] Each attached home has traditional amenities, including a private kitchen. Shared spaces typically feature a common set of shared facilities, which may include a large kitchen and dining area, laundry, and recreational or craftwork spaces. Shared outdoor space may include parking, walkways, open space, and gardens. Neighbors also share resources like tools and lawnmowers.

Households have independent incomes and private lives, but neighbors collaboratively plan and manage community activities and shared spaces. The legal structure is typically a homeowner association or housing cooperative. Community activities feature regularly scheduled shared meals, meetings, and workdays. Neighbors gather for parties, games, movies, or other events. Cohousing makes it easy to form clubs, organize child and elder care, and carpool.

Cohousing communities are usually structured – in principle and often in architecture – to encourage frequent interactions and the formation of relationships among their members. Neighbors are encouraged and required to cooperate and manage the community and to care for their neighbors. Cohousing developments are usually intentionally limited to a specific number of homes and frequently feature large common areas for residents to interact in. While cohousing developments are designed to encourage community, residents usually still have as much personal privacy as they want. Residents can choose how much they engage in order to find the right balance between their privacy and the community. Decision making in cohousing communities is often based on forming a consensus within the community. Residents have shared space which they can all use, usually saving money; however, residents can still manage their own living space to appeal to them.

Cohousing communities are part of the new cooperative economy in the United States and are predicted to expand rapidly in the next few decades as individuals and families seek to live more sustainably and in community with neighbors. Since the first cohousing community was completed in the U.S. – Muir Commons in Davis, California – more than 160 communities have been established in 25 states plus the District of Columbia, with more than 125 in process. Most cohousing communities are intergenerational with both children and elders; in recent years, senior cohousing focused on older adult needs have grown. These communities come in a variety but are often environment friendly and socially sustainable.

Because each cohousing community is planned in its context, following the principles of complementary architecture. A key feature of this model is its flexibility to the needs and values of its residents and the characteristics of the site. Cohousing can be urban, suburban or rural. The physical form is typically compact but varies from low-rise apartments to townhouses to clustered detached houses. They tend to keep cars to the periphery which promotes walking through the community and interacting with neighbors as well as increasing safety for children at play within the community. Shared green space is another characteristic, whether for gardening, play, or places to gather. When more land is available than is needed for the physical structures, the structures are usually clustered closely together, leaving as much of the land as possible "open" for shared use. This aspect of cohousing directly addresses the growing problem of suburban sprawl.

In addition to "from-scratch" new-built communities (including those physically retrofitting/re-using existing structures), there are also "retrofit" (aka "organic") communities, in which neighbors create "intentional neighborhoods" by buying adjacent properties and removing fences. Often, they create common amenities such as common houses after the fact while living there.

Cohousing differs from some types of intentional communities in that the residents do not have a shared economy or a common set of beliefs or religion, but instead invest in creating a socially rich

and interconnected community. A non-hierarchical structure employing a consensus decision-making model is common in managing cohousing. Individuals do take on leadership roles, such as being responsible for coordinating a garden or facilitating a meeting.

Cohousing differs from standard condominium development and master-planned subdivisions because the development is designed by, or with considerable input from, its future residents. The design process invariably emphasizes consciously fostering social relationships among its residents. Common facilities are based on the actual needs of the residents, rather than on what a developer thinks will help sell units. Turnover in cohousing developments is typically very low, and there is usually a waiting list for units to become available.

Co-Op

A housing cooperative, or housing co-op, is a legal entity, usually a cooperative or a corporation, which owns real estate, consisting of one or more residential buildings; it is one type of housing tenure. Typically housing cooperatives are owned by shareholders but in some cases, they can be owned by a non-profit organization. They are a distinctive form of home ownership that have many characteristics that differ from other residential arrangements such as single family home ownership, condominiums and renting.^[1]

The cooperative is membership based, with membership granted by way of a share purchase in the cooperative. Each shareholder in the legal entity is granted the right to occupy one housing unit. A primary advantage of the housing cooperative is the pooling of the members' resources so that their buying power is leveraged; thus, lowering the cost per member in all the services and products associated with home ownership.

Another key element in some forms of housing cooperatives is that the members, through their elected representatives, screen and select who may live in the cooperative, unlike any other form of home ownership.

As a legal entity, a co-op can contract with other companies or hire individuals to provide it with services, such as a maintenance contractor or a building manager. It can also hire employees, such as a manager or a caretaker, to deal with specific things that volunteers may prefer not to do or may not be good at doing, such as electrical maintenance.

In non-equity cooperatives and in limited equity cooperatives,^[2] a shareholder in a co-op does not own real estate, but a share of the legal entity that does own real estate.^[3] Co-operative ownership is quite distinct from condominiums where people own individual units and have little say in who moves into the other units.^[4] Because of this, most jurisdictions have developed separate legislation, similar to laws that regulate companies, to regulate how co-ops are operated and the rights and obligations of shareholders.

As a legal entity, a co-op can contract with other companies or hire individuals to provide it with services, such as a maintenance contractor or a building manager. It can also hire employees, such as a manager or a caretaker, to deal with specific things that volunteers may prefer not to do or may not be good at doing, such as electrical maintenance.

In non-equity cooperatives and in limited equity cooperatives,^[2] a shareholder in a co-op does not own real estate, but a share of the legal entity that does own real estate.^[3] Co-operative ownership is quite distinct from condominiums where people own individual units and have little say in who moves into the other units.^[4] Because of this, most jurisdictions have developed separate legislation, similar to laws that regulate companies, to regulate how co-ops are operated and the rights and obligations of shareholders. Each resident or resident household has membership in the co-operative association.

A housing cooperative's board of directors is elected by the membership, providing a voice and representation in the governance of the property. Rules are determined by the board, providing a

flexible means of addressing the issues that arise in a community to assure the members' peaceful possession of their homes.

A housing cooperative is normally *de facto* non-profit, since usually most of its income comes from the rents paid by its residents (if in a formal corporation, then shareholders), who are invariably its members. There is no point in creating a deliberate surplus—except for operational requirements such as setting aside funds for replacement of assets—since that simply means that the rents paid by members are set higher than the expenses. (It is possible for a housing co-op to own other revenue-generating assets, such as a subsidiary business which could produce surplus income to offset the cost of the housing, but in those cases the housing rents are usually reduced to compensate for the additional revenue.)

In the lifecycle of buildings, the replacement of assets (capital repairs) requires significant funds which can be obtained through a variety of ways: assessments on current owners; sales of Treasury Stock (former rental units) to new shareholders; drawdowns of reserves; unsecured loans; operating surpluses; fees on the sales of units between shareholders and new and increases to existing mortgages.

There are housing co-ops of the rich and famous: John Lennon, for instance, lived in The Dakota, a housing co-operative, and most apartments in New York City that are owned rather than rented are held through a co-operative rather than via a condominium arrangement.

There are two main types of housing co-operative share pricing: market rate and limited equity. With market rate, the share price is allowed to rise on the open market and shareholders may sell at whatever price the market will bear when they want to move out. In many ways market rate is thus similar financially to owning a condominium, with the difference being that often the co-op may carry a mortgage, resulting in a much higher monthly fee paid to the co-op than would be so in a condominium. The purchase price of a comparable unit in the co-op is typically much lower, however.

With limited equity, the co-op has rules regarding pricing of shares when sold. The idea behind limited equity is to maintain affordable housing. A sub-set of the limited equity model is the no-equity model, which looks very much like renting, with a very low purchase price (comparable to a rental security deposit) and a monthly fee in lieu of rent. When selling, all that is re-couped is that very low purchase price.

Research in Canada found that housing cooperatives had residents rate themselves as having the highest quality of life and housing satisfaction of any housing organization in the city. Other research among older residents from the rural United States found that those living in housing cooperatives felt much safer, independent, satisfied with life, had more friends, had more privacy, were healthier and had things repaired faster. Australian researchers found that cooperative housing built stronger social networks and support, as well as better relationships with neighbors compared to other forms of housing. They cost 14% less for residents and had lower rates of debt and vacancy. Other US research has found that housing cooperatives tended to have higher rates of building quality, building safety, feelings of security among residents, lower crime rates, stable access to housing and significantly lower costs compared to conventional housing.

In the United States, housing co-ops are usually categorized as corporations or LLCs and are found in abundance in the area from Madison, Wisconsin, to the New York metropolitan area. There are many regional housing cooperative associations, such as the Midwest Association of Housing Cooperatives, which is based in Michigan and serves the Midwest region, covering Ohio, Michigan, Indiana, Illinois, Wisconsin, Minnesota, and more.^[31]

The National Association of Housing Cooperatives (NAHC) represents all cooperatives within the United States who are members of the organization. This organization is a nonprofit, national federation of housing cooperatives, mutual housing associations, other resident-owned or controlled housing, professionals, organizations, and individuals interested in promoting the interests of

cooperative housing communities. NAHC is the only national cooperative housing organization, and aims to support and educate existing and new cooperative housing communities as the best and most economical form of homeownership.

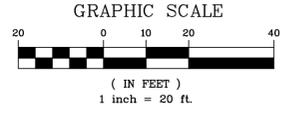
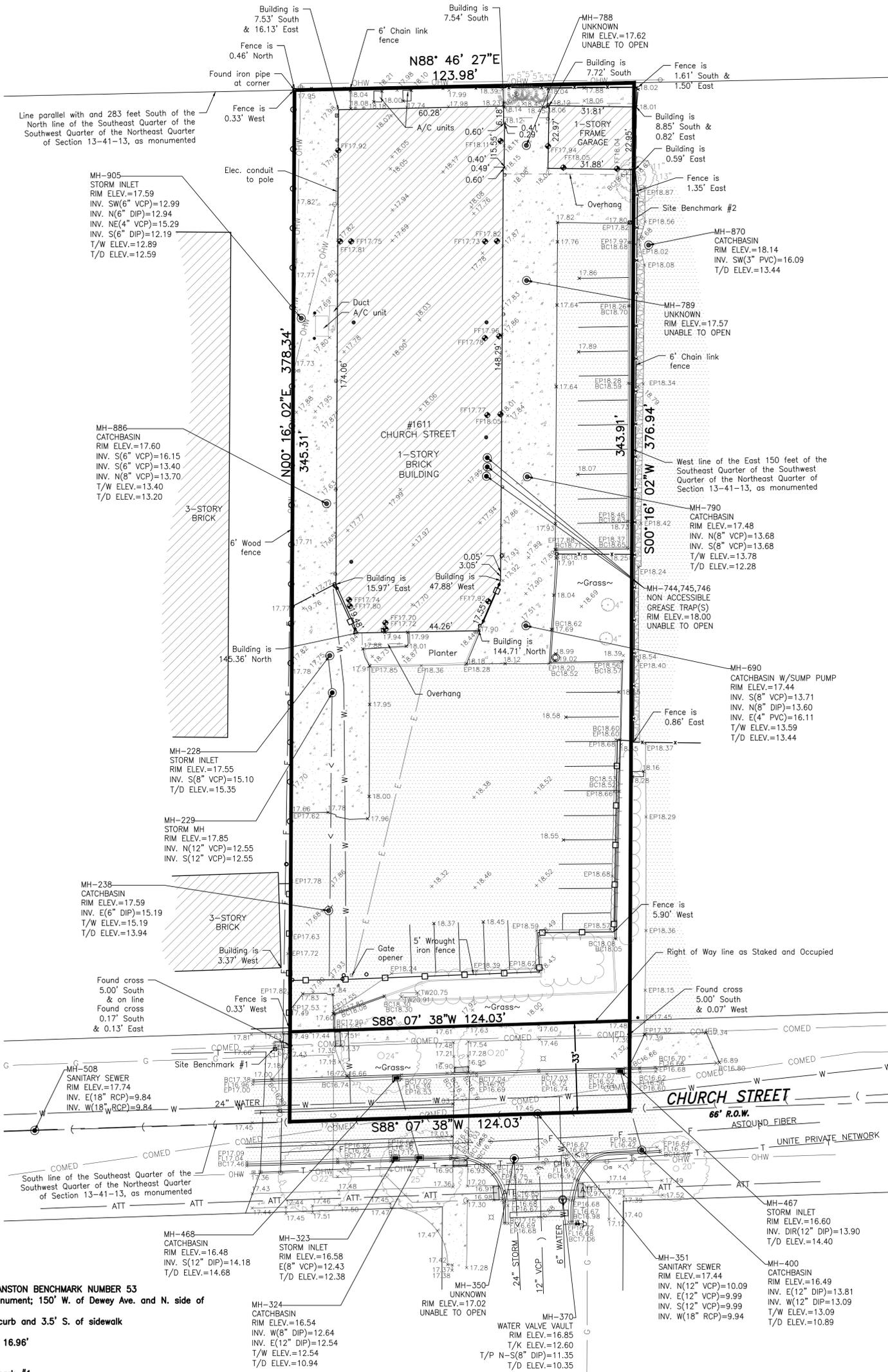
Housing cooperatives offer several advantages:

- **Affordable housing:** Although not all housing cooperatives are affordable, limited-equity co-ops focus on providing affordable housing to residents.
- **A voice in the operations:** Cooperatives are collectively owned, which means that all shareholders and residents have a voice in how things are run. For many, this is preferable to having a landlord that has absolute authority over operations and rules.
- **Reduced maintenance compared to a house:** Since maintenance is shared between residents, the responsibility for each resident may be less than the amount required for a single-family home.
- **At-cost housing:** Some cooperative housing complexes operate at-cost, which means residents do not pay markups on their units' maintenance and upkeep.

However, there are some disadvantages:

- **Strict approval process:** Housing co-ops tend to have more stringent criteria for who can become a resident than other types of housing. The approval process may include interviews and the provision of tax returns. Some co-ops may cap the income of potential residents to help maintain an affordable environment that caters to low-income residents.
- **Restrictions on renting:** Some co-ops require the shareholder physically reside in their unit. That often means subletting or renting to others is not possible.
- **Fewer financing options:** Getting a share loan is not as common as getting a mortgage, so there may be fewer loan options available.

PLAT OF SURVEY



LEGEND AND ABBREVIATIONS:

	PROPERTY LINE
	BUILDING
	CONCRETE
	ASPHALT
	GRAVEL
	DEPRESSED CURB
	CHAIN LINK FENCE
	IRON FENCE
	WOOD FENCE
	GUARDRAIL
	FOUND PK NAIL
	FOUND REBAR
	SET IRON ROD/PIPE
	SET MAG NAIL
	SET/FOUND CUT CROSS
	COMBINATION SEWER
	SANITARY SEWER
	STORM SEWER
	WATER LINE
	GAS LINE
	COMMUNICATION LINE
	TELEPHONE LINE
	AT&T LINE
	OVERHEAD WIRE LINE
	COMED ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	RECORD DIMENSION
	MEASURED DIMENSION
	GROUND ELEVATION
	BACK OF CURB ELEVATION
	FLOW LINE ELEVATION
	EDGE OF PAVEMENT ELEVATION
	FINISH FLOOR ELEVATION
	MANHOLE
	WATER MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	CURB INLET
	CATCH BASIN
	AREA DRAIN
	UTILITY POLE
	POWER POLE W/LIGHT
	POWER POLE W/TRANSFORMER
	LIGHT POLE
	FIRE HYDRANT
	GAS VALVE
	GAS METER
	ELECTRIC METER
	BUFFALO BOX
	WATER VALVE
	TREE-DECIDUOUS
	TREE-EVERGREEN
	BUSH
	POST
	SIGN
	BOLLARD
	SPRINKLER
	CLEANOUT

LEGAL DESCRIPTION

A tract of land described as follows: That part of the Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 13, Township 41 North, Range 13 East of the Third Principal Meridian, described as follows, to wit: Commencing at a point on the East Boundary line of the Southeast Quarter of the Southwest Quarter of the Northeast Quarter of said Section 13, 283 feet South of the Northeast corner thereof; thence West parallel with and 283 feet distant from the North line of said Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 13 aforesaid, a distance of 273.94 feet; thence in a Southerly direction in a straight line to a point on the South boundary of said Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 13 aforesaid 273.94 feet West of the Southeast corner of said Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 13 aforesaid; thence East on said South boundary line 273.94 feet to the Southeast corner of said Southeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 13 aforesaid; thence North on the East boundary line of the Northeast Quarter of the Southwest Quarter of the Northeast Quarter of Section 13 aforesaid approximately 375.24 feet to the place of beginning (except therefrom the East 150 feet thereof), all in Cook County, Illinois.

Said parcel containing 1.074 acres (46,804 square feet), more or less, of which 0.094 acres (4,093 square feet), more or less, of which has been previously dedicated or used as right of way, 0.981 acres (42,711 square feet), more or less remaining.

STATE OF ILLINOIS
COUNTY OF COOK

We, Terra Engineering, Ltd., Illinois Professional Design Firm 184-003610, hereby certify that the property hereon described was surveyed under the direct supervision of an Illinois Professional Land Surveyor and that this Professional Service conforms to the current Illinois Minimum Standards for a Boundary & Topographic Survey.

Given under my hand and seal in Chicago, Illinois, this 12th day of June, 2023.

Terra Engineering, Ltd.

Thomas E. Baumgartner
THOMAS E. BAUMGARTNER, ILLINOIS LAND SURVEYOR NO. 3142
LICENSE EXPIRATION 11-30-2024
Field work completed April 21, 2023.



General Notes:

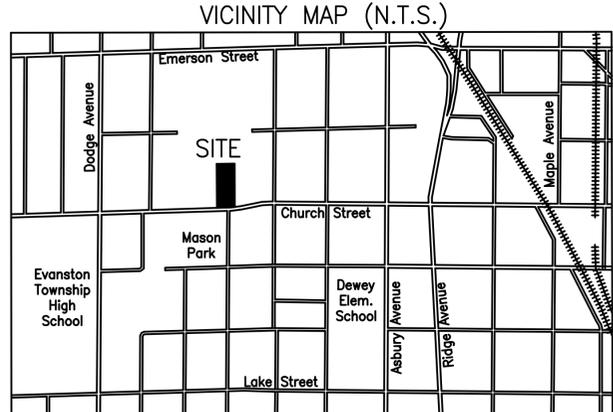
- All dimensions are given in feet and decimal parts thereof.
- All bearings and distances are based on Illinois State Plane Coordinate System, East Zone, NAD83 (2011 adjustment), GPS derived.
- All elevations shown are referenced to City of Evanston datum.
- No dimensions shall be derived from scale measurement.
- The legal description shown hereon can be found in Warranty Deed recorded December 6, 2021 as Document 2134055128.
- We did not find a dedication for Church Street.

I FURTHER STATE that the accompanying plat is a scaled representation of the physical situation which I found in the field and shows the location of visible evidence of utilities which I found at the time of my survey of these premises, and underground based on supplied plans. No attempt has been made as part of this survey to excavate, uncover or expose those facilities to field check the existence, size, depth, condition, capacity or exact location of those facilities. For more information concerning those utilities, please contact the appropriate public agencies or utility company.

CITY OF EVANSTON BENCHMARK NUMBER 53
NGS 3D monument; 150' W. of Dewey Ave. and N. side of Davis St;
3.4' N. of curb and 3.5' S. of sidewalk
Elevation = 16.96'

Site Benchmark #1
Square cut on SW corner of electric manhole on W. side of driveway at the entrance to #1611, on the N. side of Church Street
Elevation = 17.62'

Site Benchmark #2
Square cut on concrete curb on E. side of subject property; 49.7' S. of a chain link fence along the N. line of subject property
Elevation = 18.66'



#	Date	Description
1	05-09-23	Issued
2	05-11-23	Revised ROW note
3	06-12-23	Add utility atlas information

TERRA ENGINEERING LTD.
225 W. Ohio Street
4th Floor
Chicago, IL 60654
TEL: (312) 467-0123
FAX: (312) 467-0220
www.terraengineering.com
ILLINOIS PROFESSIONAL DESIGN FIRM 184-003610

Project Information
PROJECT #: 23-168
DRAWN BY: DS
CHECKED BY: LAG
APPROVED BY: TEB
CLIENT:
CSE 1611, LLC
4850 N. California Ave.
Chicago, IL 60626

BOUNDARY & TOPOGRAPHIC SURVEY
1611 CHURCH STREET
EVANSTON, IL

1611 Church Street
Land Use Commission Meeting

1611 Church Street Evanston, IL 60201
05.22.2024



Garage



Front Facade

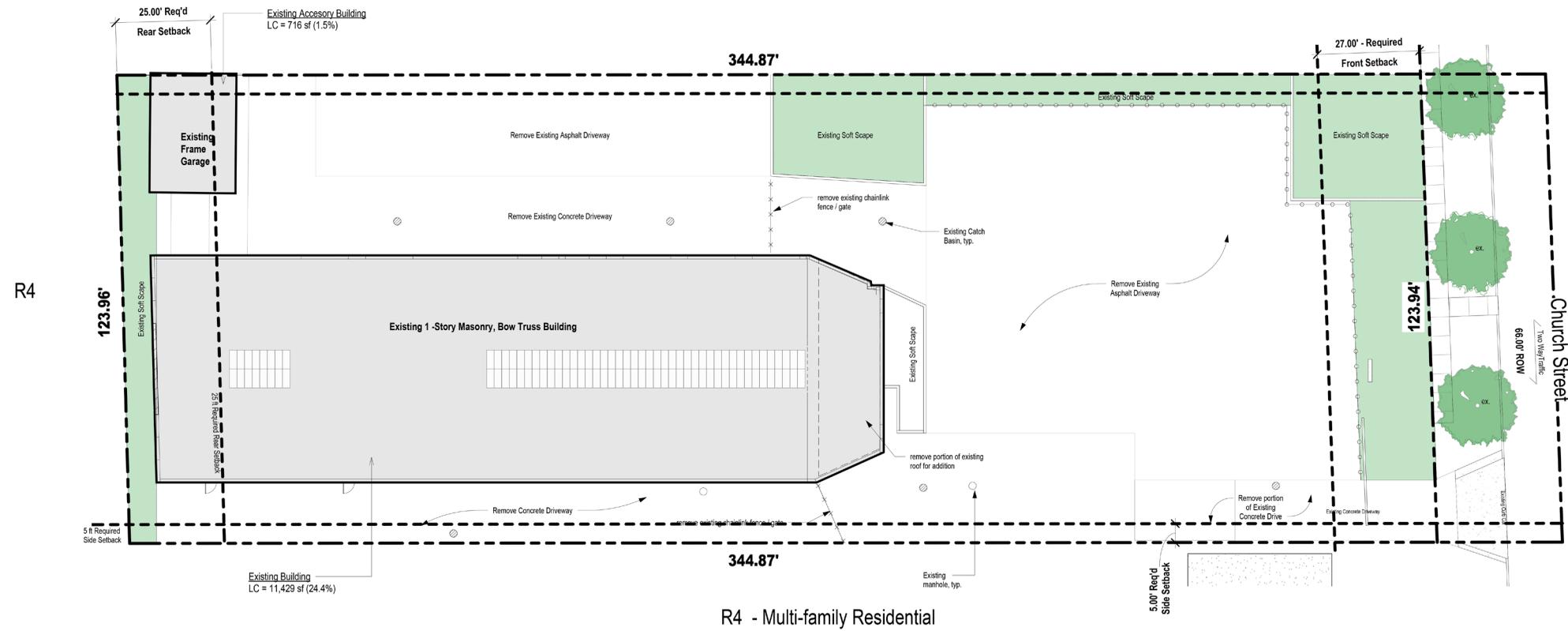


Front Facade - Tuckpoint existing brick



View - North west

WE1 - Industrial

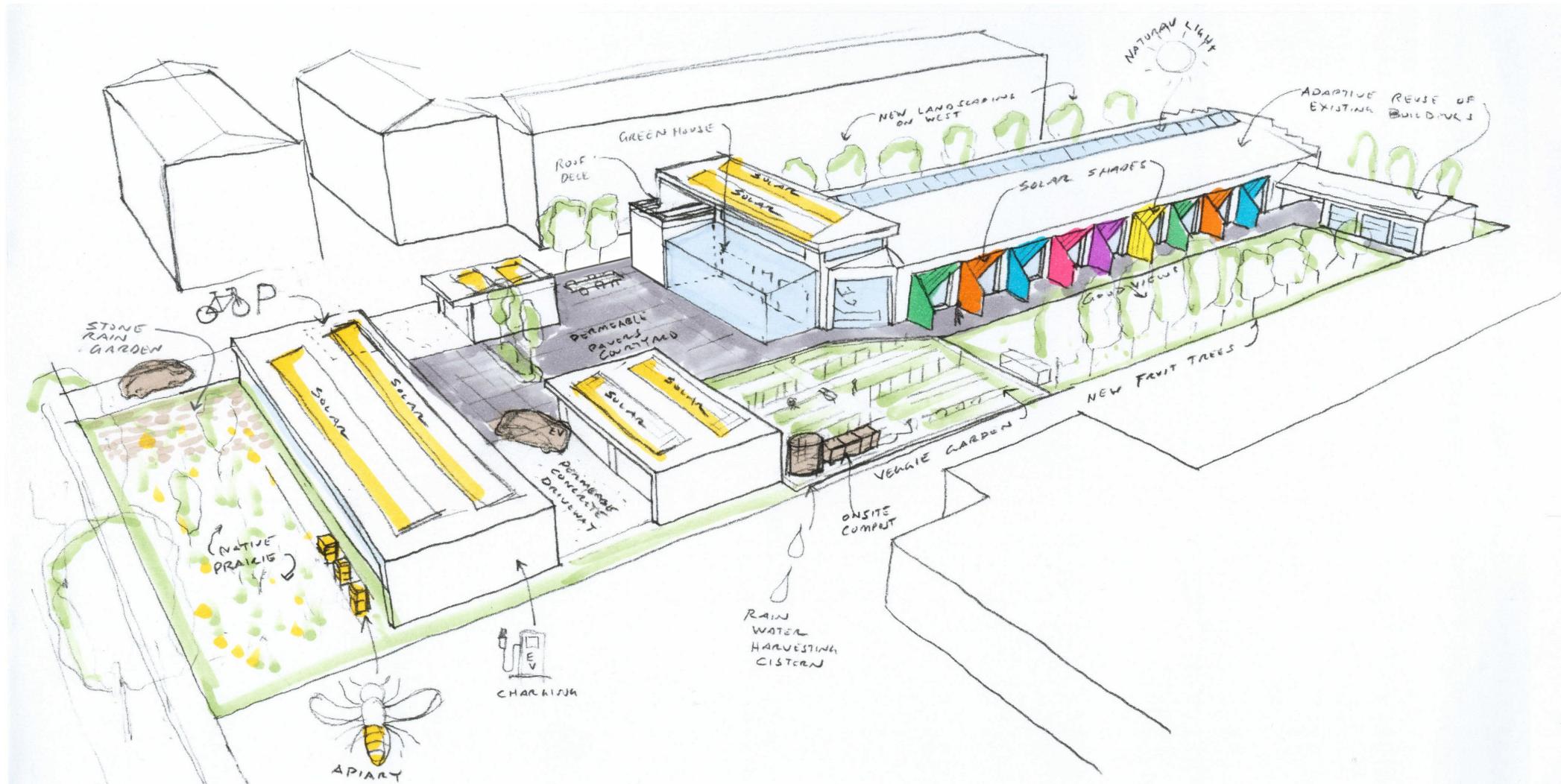


Existing Site Summary

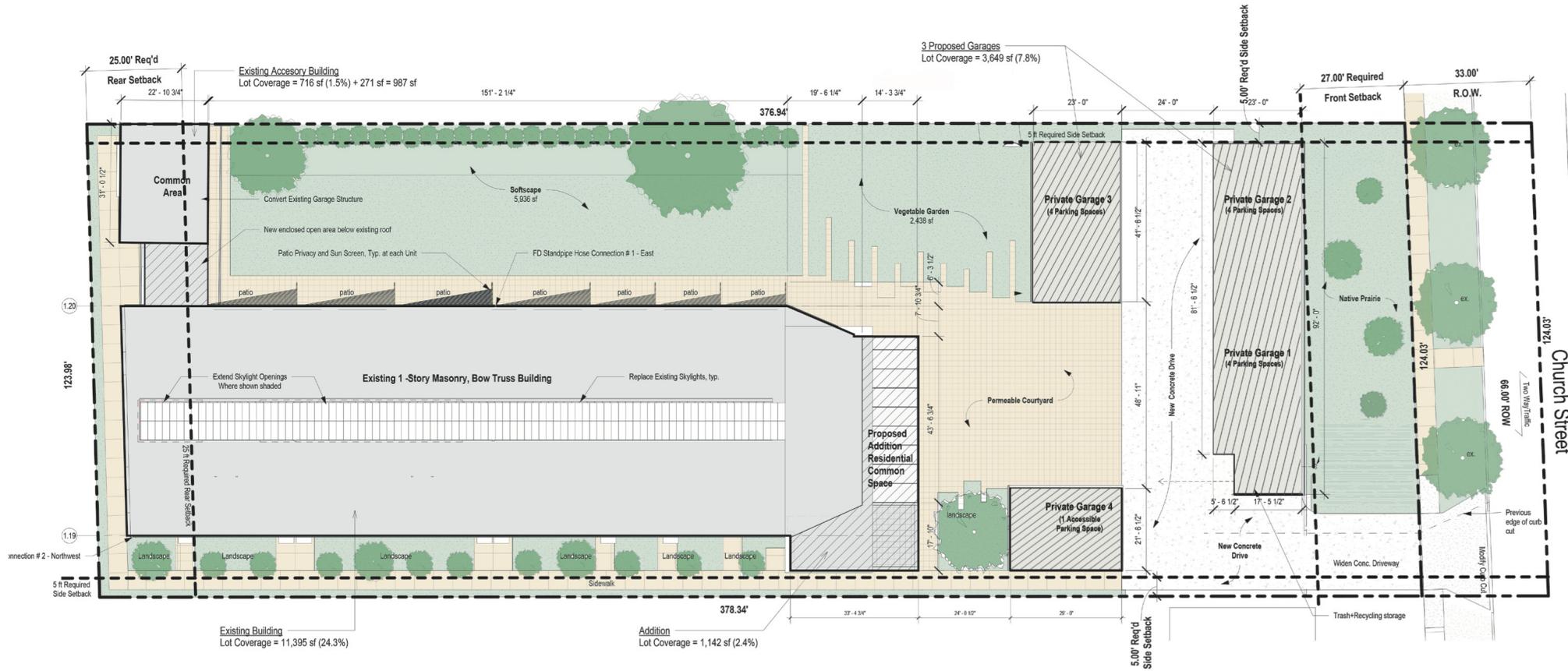
Site Area:	46,767 Square Feet		
Existing Lot Coverage:	Existing Building	11,429 sf	24.4 %
	Existing Garage	716 sf	1.5 %
	Total	12,147 sf	25.9 %
Existing Impervious Area:	Building	12,147 sf	(25.9 %)
	Existing Hardscape	27,436 sf	(58.67 %)
	Total	39,583 sf	(84.6 %)
Pervious Area:	Softscape / Garden / Parkway 7,184 sf (15.3 %)		

Site Plan Symbol Legend

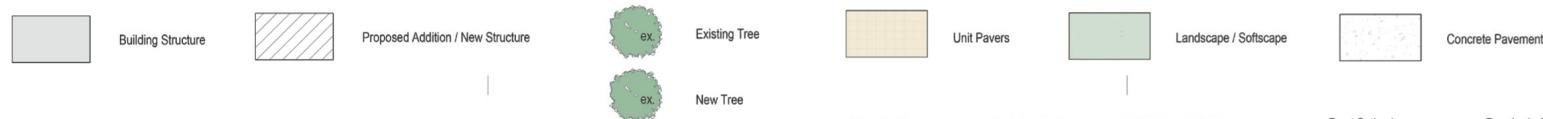
	Concrete / Asphalt Pavement		Landscape / Softscape		Existing Building		Existing Tree		Existing Catch Basin
									Existing Man Hole



Proposed Site Plan



Site Plan Symbol Legend



Zoning Classification: Existing: oWE1 - Industrial
Proposed: WE1 - R4

Site PIN: 10-13-222-004-0000

Building Height: Required - 30'-0"
Proposed - 22'-1"

Number of Stories: 1 Story

Site Area: 46,767 Square Feet

Lot Coverage: 40% Maximum = 18,706 sf

Building Lot Coverage:	Existing Building	11,429 sf	24.4 %
	Existing Garage	716 sf	1.5 %
	Other roofed area	271 sf	0.6 %
	Addition	1,142 sf	2.4 %
	Proposed Garages	3,649 sf	7.8 %
	Total	17,207 sf	36.8 %
Impervious Area:	Required	25,722 sf	(55 % max)
	Existing	36,777 sf	(86.0 %)
Proposed Pervious Area:	Proposed:		
	Building Lot Coverage	17,207 sf	(36.8 %)
	Hardscape / Paving	14,202 sf	(30.4 %)
Total	31,409 sf	(67.2 %)	
Proposed Pervious Area:	Softscape / Garden	15,358 sf	(32.8 %)

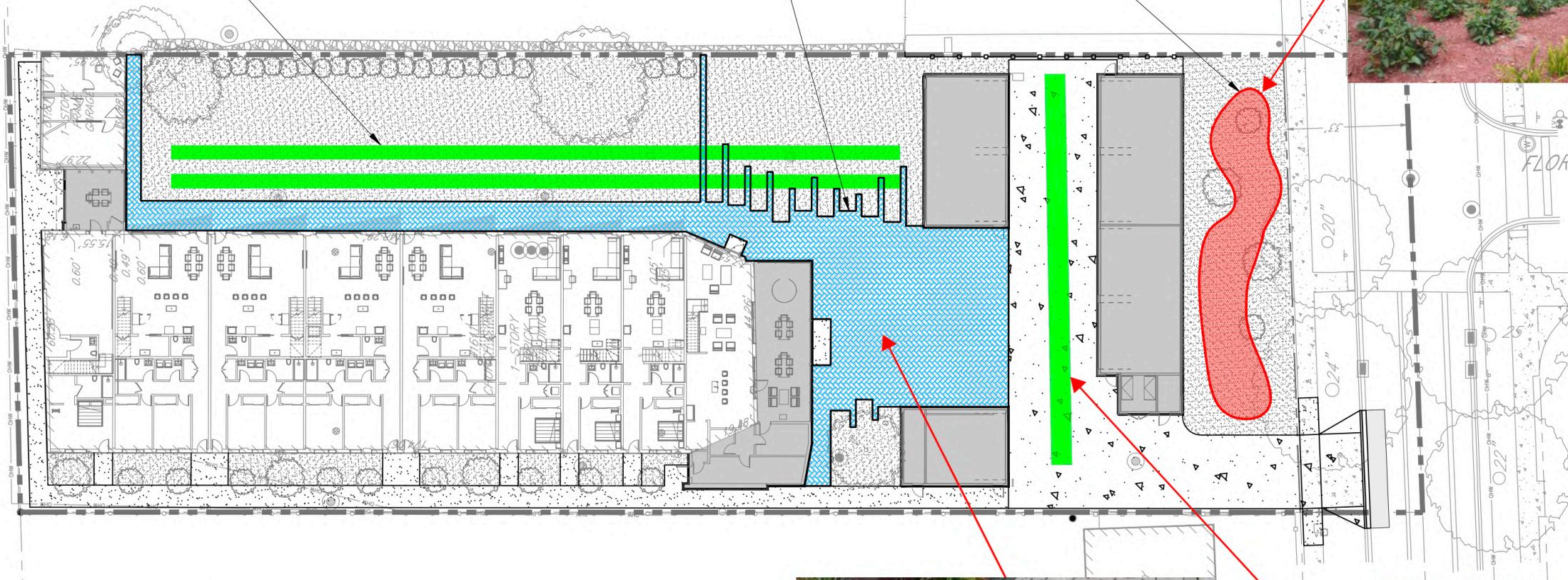
Front Setback:	Required - 27'-0" Proposed Garage - 27.2' (refer to Civil Sheets)
Rear Setback:	Required - 25'-0" Existing - 7.53' no change (refer to Survey)
Side Setback:	Required - 5'-0" (Accessory Buildings) Proposed East - 5.28' (refer to Civil Sheets) Proposed West - 6.29' (refer to Civil Sheets)
Off Street Parking:	Required - 4 units at 1.25 spaces and 4 units at 1.5 spaces 11 Required Parking spaces Proposed - 13 Total Spaces (1 Accessible)

Site Plan 1

48" HDPE (TYP)

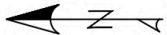
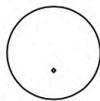
PERMEABLE PAVERS WITH 2.5' OF STONE

RAIN GARDEN

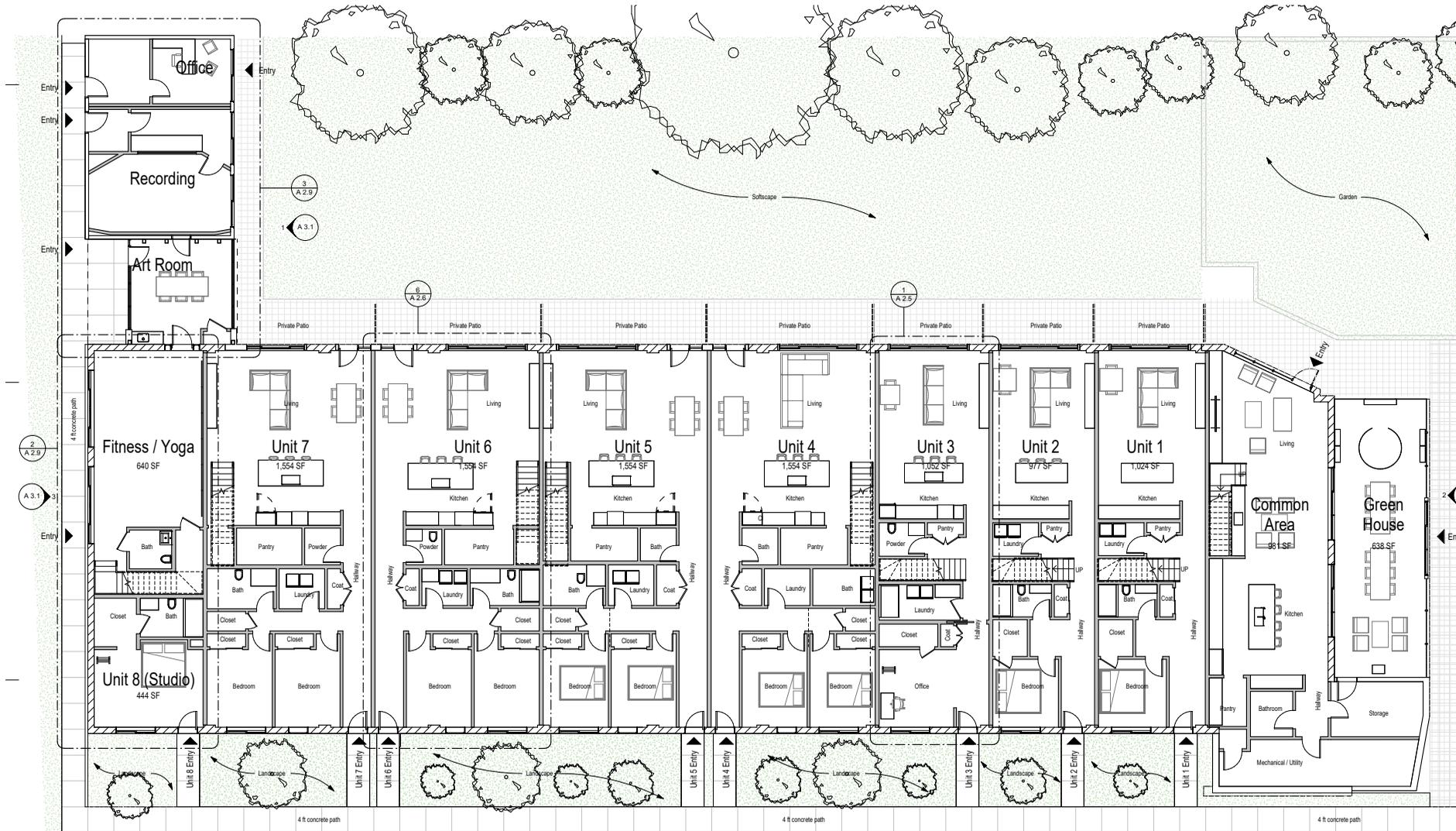


STORMWATER MANAGEMENT - OPTION C

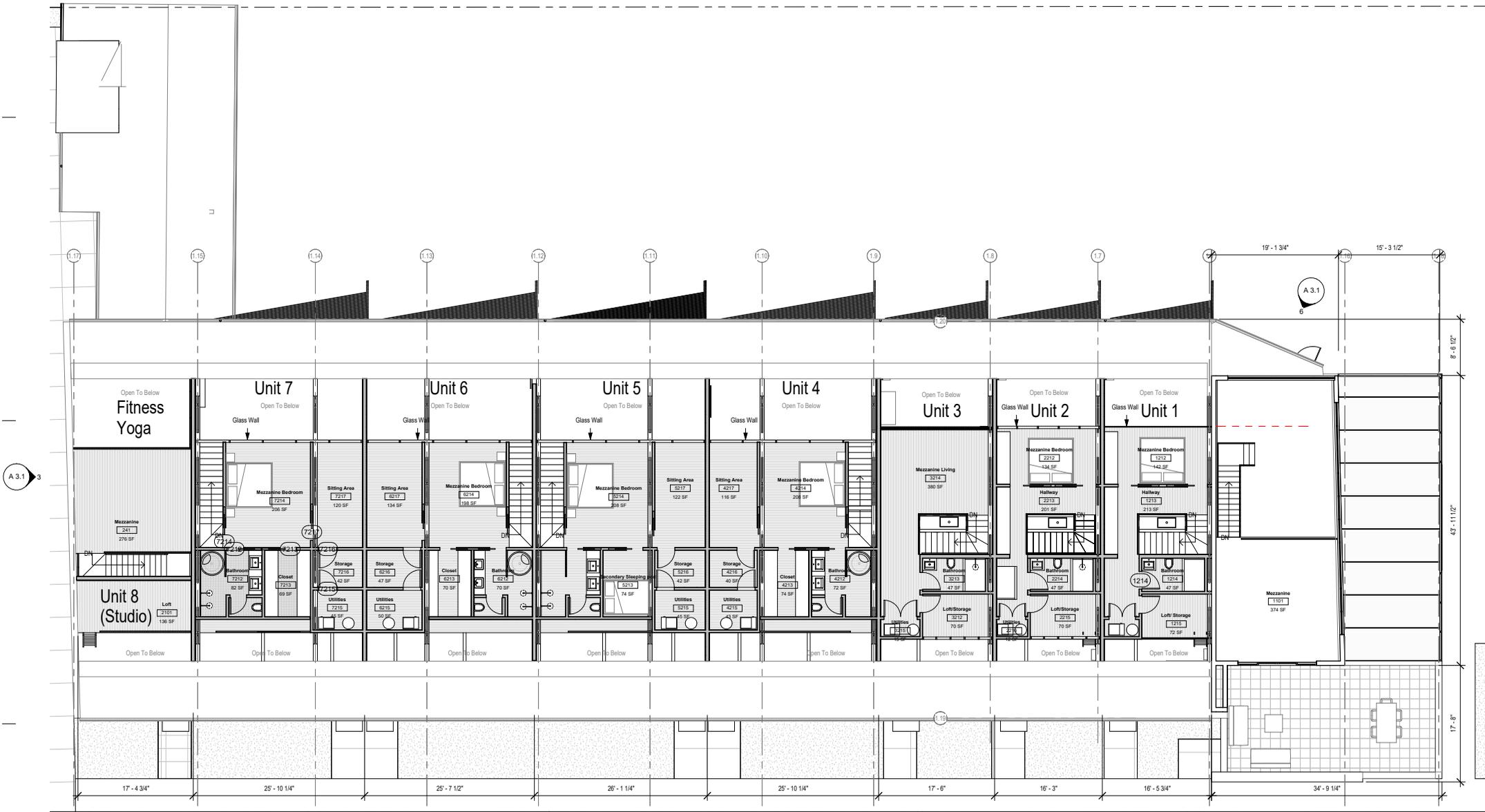
SCALE: 1" = 30'

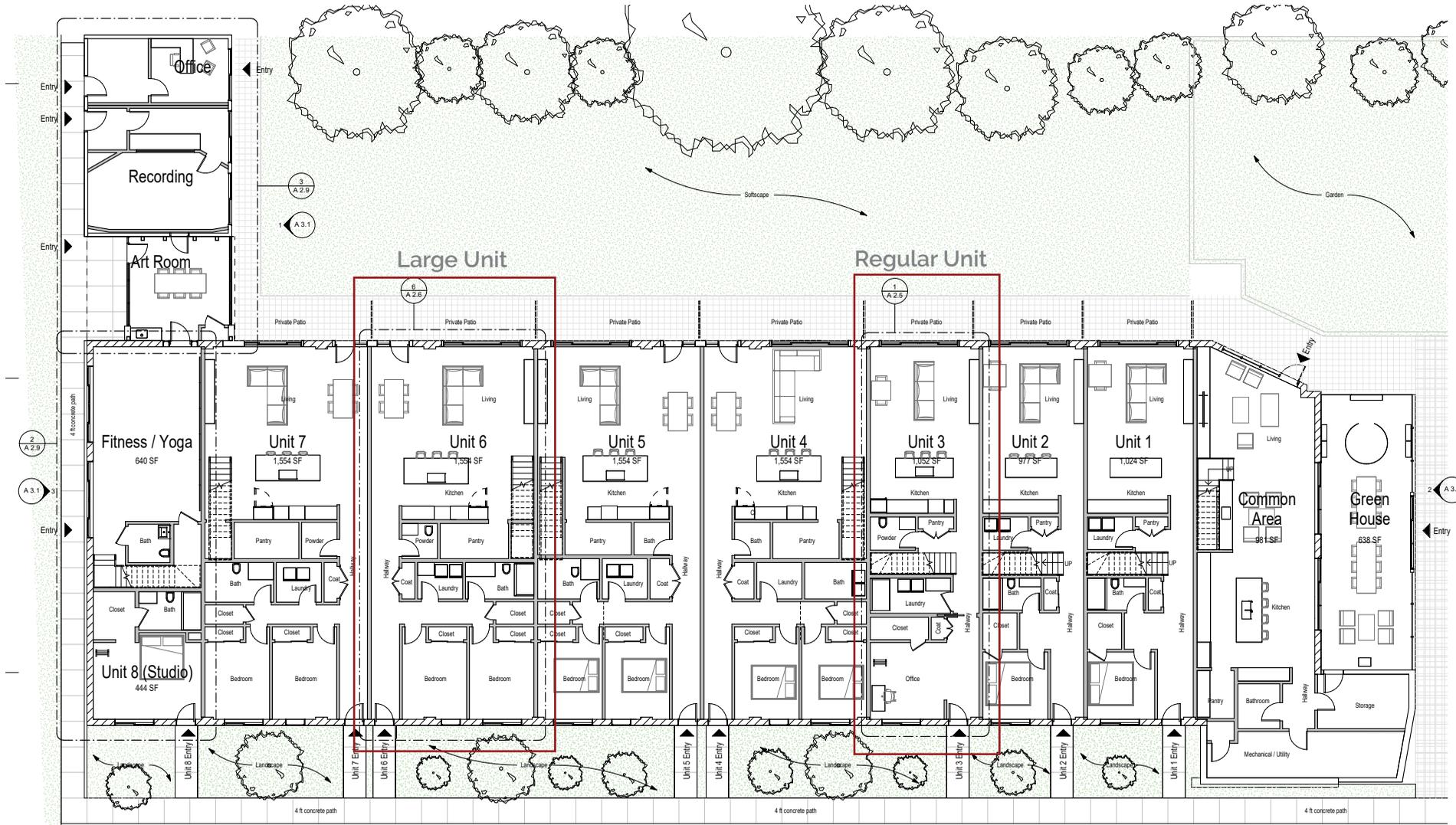


Ground Floor Plan

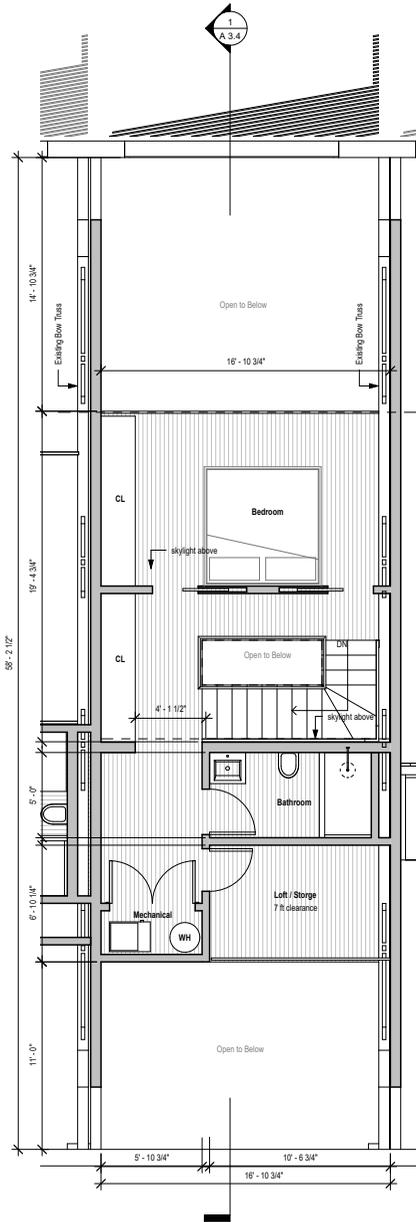


Mezzanine Floor Plan

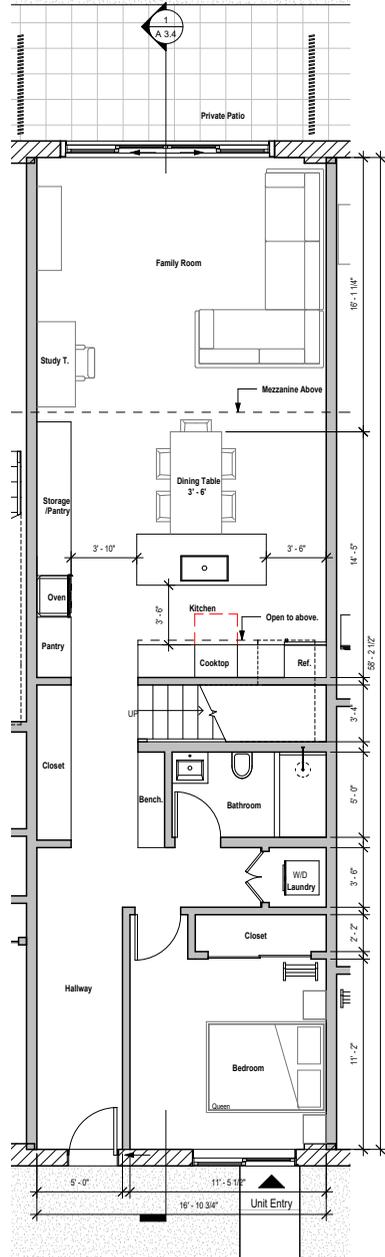




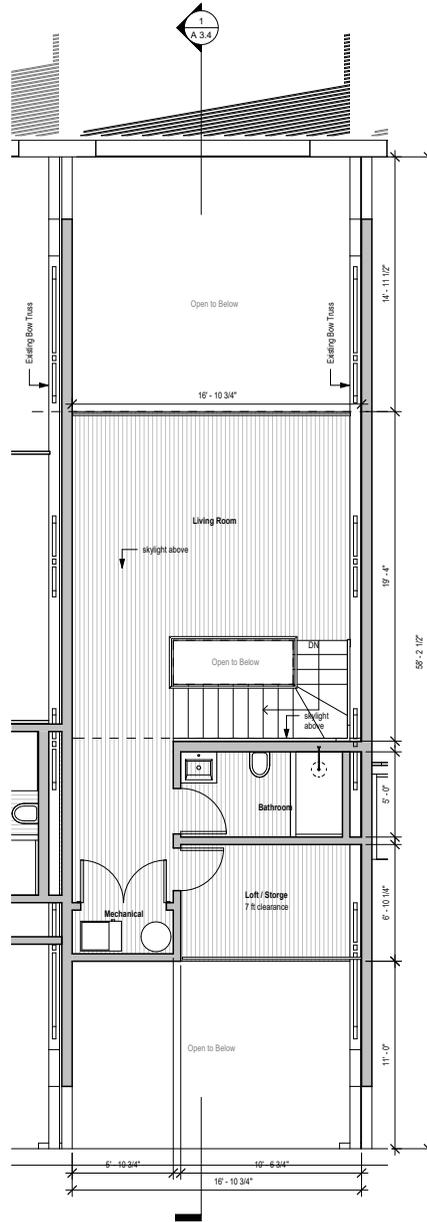
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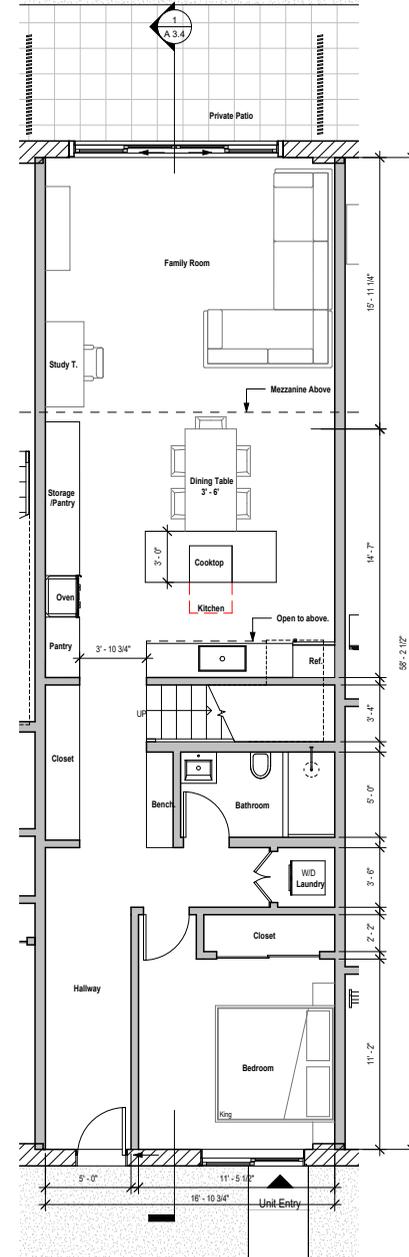
Type B - Mezzanine Plan 4



Type B - Level 1 Plan 3



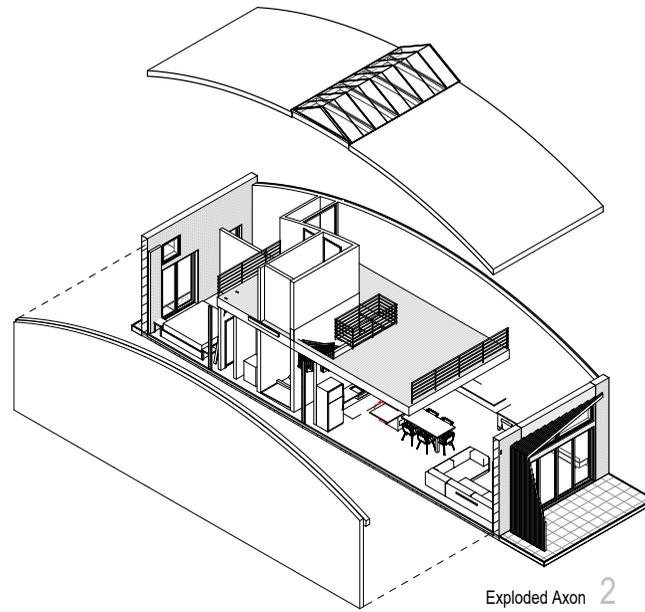
Type B - Mezzanine Plan 2



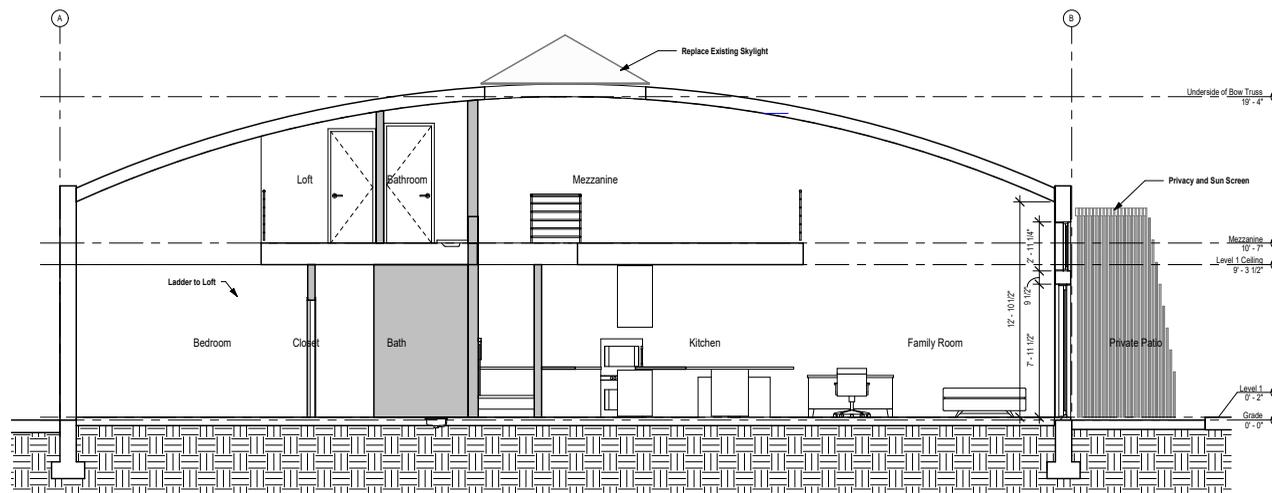
Type B - Level 1 Plan 1



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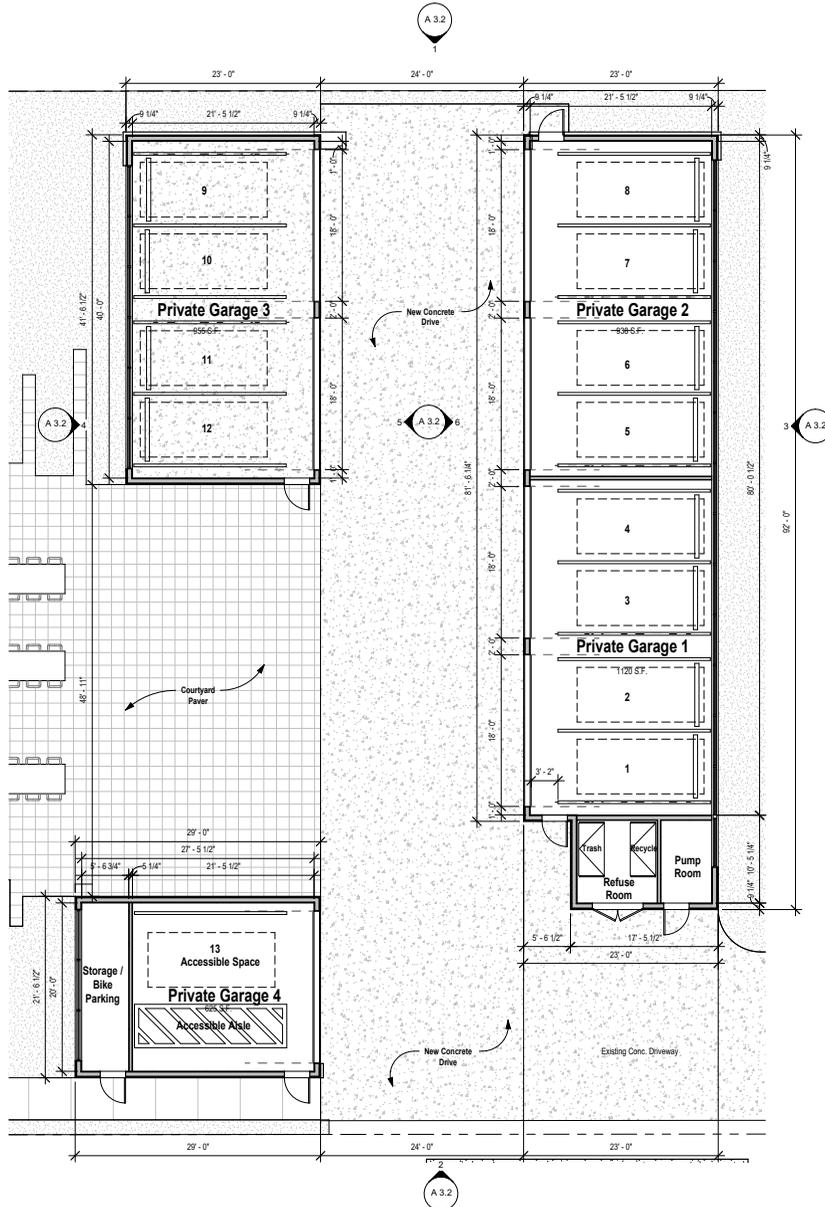


Exploded Axon 2



Typical Unit Section 1

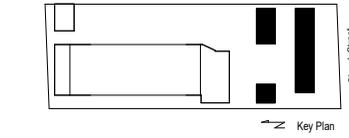
Typical Unit Sections (1 Bay)
 Scale: 1/4" = 1'



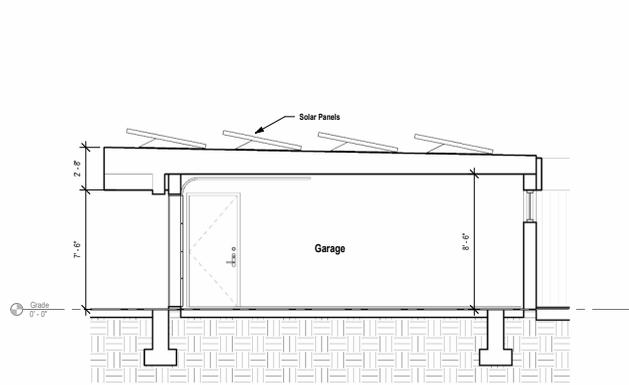
Site Garage Plan 1
Scale: 1/8" = 1'-0"

Required Parking Calculation

Proposed Residential Units:	Unit #1-3	1 Bedroom Apartment
	Unit #4-7	2 Bedroom Apartment
	Unit #8	Studio Apartment
	Total	8 Apartment Units
Required Off Street Parking:	1.25 space/unit x 4 Units (1 Bedroom)	
	1.5 space/unit x 4 Units (2 Bedroom)	
	11 spaces required	
Proposed Parking Spaces:	12 Spaces and 1 Additional Accessible Space (13 Total)	
Loading:	0 Required for Multi-Family Building	
	<30,000 SF	
	0 Provided	
Bike Parking:	0 Required	
	8 Provided	



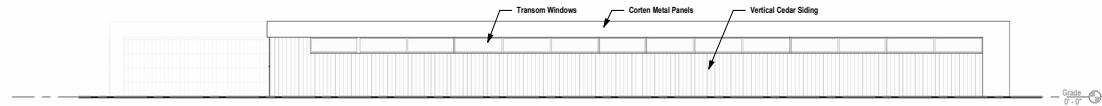
All sizes, design, arrangements, and items indicated or mentioned in these drawings are intended to be used as a guide only. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided.



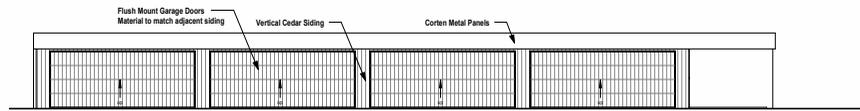
Typical Garage Section 7



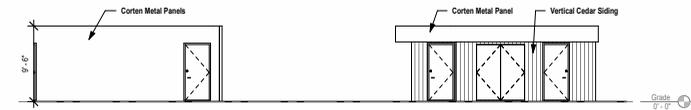
Garage 2/3 Elevation - North 4



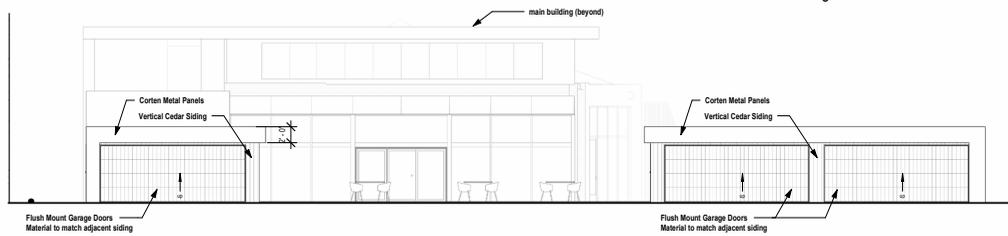
Garage 1 Elevation - South 3



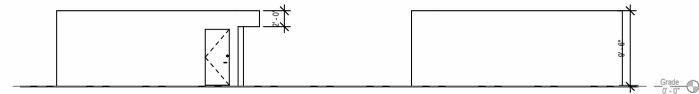
Garage 1 Elevation - North 6



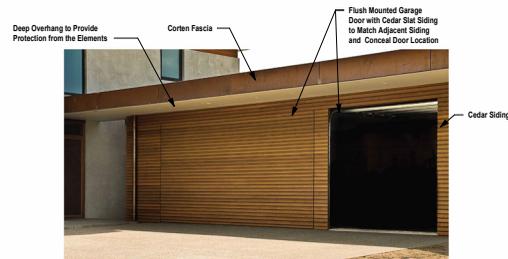
Garage West Elevation 2



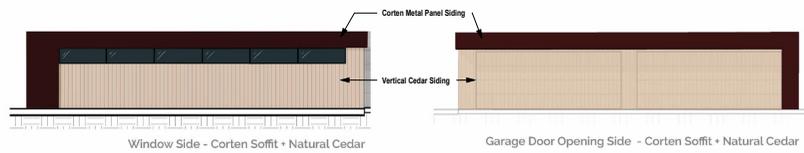
Garage 2/3 Elevation - South 5



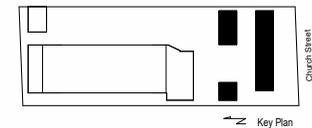
Garages East Elevation 1



Flush Mounted Garage Door Example



Garage Color Elevations



Building Elevations (Garage)



Material Existing Material Palette



Rear Facade



West Facade



Existing Brick



East Facade - Remove Parge / Expose Brick



Front Facade - Tuckpoint existing brick



Existing Parge

Material - Cedar Wood Siding

Untreated



New

Natural Aging

Stained



Rough Sawn

Smooth



Lap Siding



Tongue and Groove (T&G)



Clear



Knotty

Corten Steel Aging/Patina Process:



0.5 Months



1.5 Months



6 Months



2 Years



5 Years



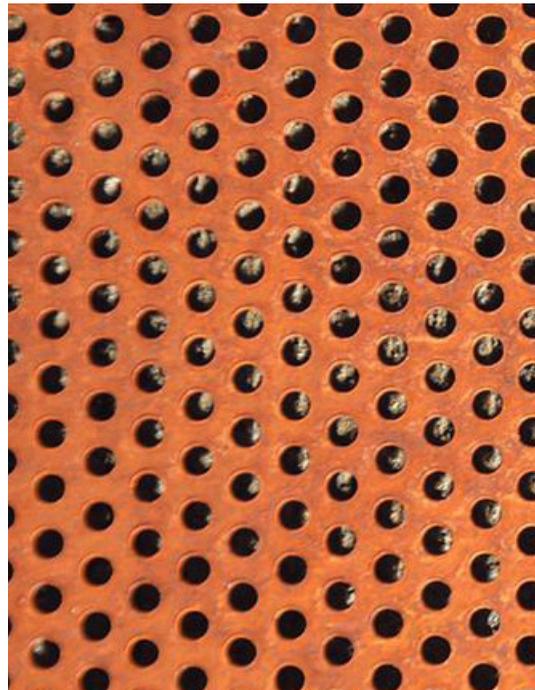
22 Years



40 Years



Flat Solid



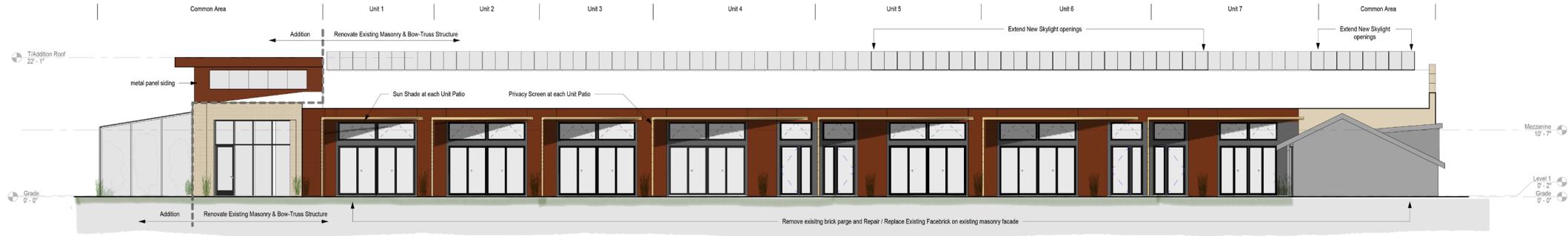
Perforated



Corrugated

Material - Corten Steel





East Elevation 5



West Elevation 4

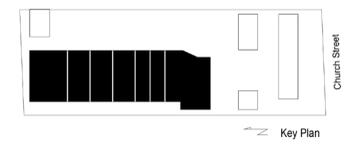


North Elevation 3



South Elevation 2

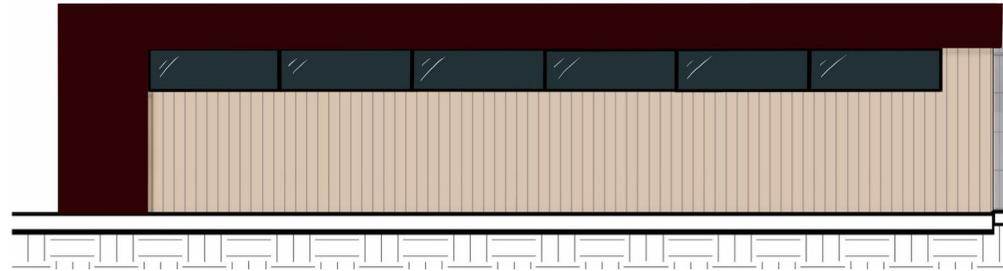
Common Area North - South Elevation 1



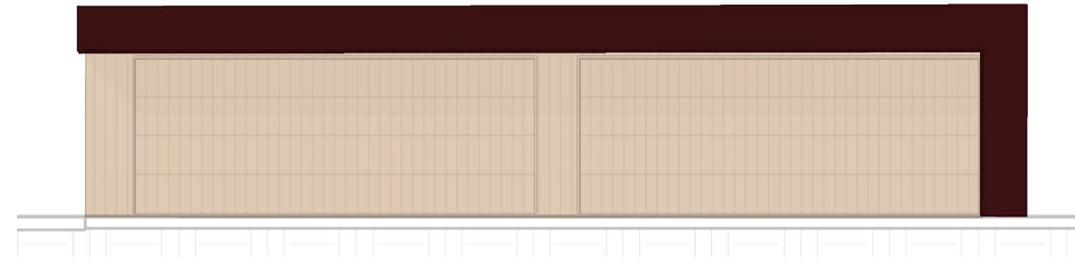
Building Elevations

Garage Elevations

Cladding Material Example



Window Side - Corten Soffit + Natural Cedar



Garage Door Opening Side - Corten Soffit + Natural Cedar

Flush Mount Garage Doors
Wood Slat Doors to Match Adjacent Siding - Hiding Door Opening
Corten Facsia and Deep Roof Overhang for Protection



Church Street Elevation

View of Site from Church Street



Zoning Analysis Summary

Re-Review
 Date:03/18/2024
 updated 04/04/2024
 Melissa Klotz, Zoning Administrator

Case Number:

Case Status/Determination:

22ZONA-0239 1611 Church Street	Noncompliant
--------------------------------	--------------

Proposal:

Adaptive reuse of existing structure to convert to 7 DUs + detached ADU; new detached garage buildings. Requesting ADU as the affordable unit (equivalent request; does not meet IHO).

Non-compliant:

Code Section	Proposed and Required	Recommendation
Existing Zoning: oWE & WE1-R4	<p>West Evanston Overlay District and the WE1-R4 sub-district requires a specific plan for townhouse and small-lot houses and including a significant portion of land dedicated for the extension of Florence Ave. as a public street. The regulating plan may be deviated from minimally with respect to building locations and architectural details (cap and base types, building materials) but does not allow for variation of other zoning regulations.</p> <p>Proposal for 7 DUs + detached ADU does not comply with the specific plan for 1611 Church St. in the West Evanston Physical Planning & Urban Infill Design Master Plan as a WE1 property. Adaptive reuse of the existing industrial building to side by side dwelling units may meet the intent of the oWE & WE1 per 6-15-6-6-B. However, the addition of any new structures and exclusion of the extended Florence Ave. do not comply with the regulating plan. Rezoning the property is required for the proposed adaptive reuse, per 6-15-15-II-B-2.</p> <p>Map Amendment to remove the property from the oWE Overlay and WE1-R4 overlay zoning district, and replacement with the R4 General Residential District, is needed. Of note, the end goal of the oWE & WE1 is to convert the property to R4 once redeveloped. Said map amendment would accomplish the same goal and therefore meets the intent of the Plan. Rezone the property to R4. A Planned Development under the R4 is not required due to reuse of existing principal structure – not deemed substantial construction.</p> <p>FYI, the City is now updating the Comprehensive General Plan and Zoning Code, and anticipates adoption in the first</p>	Map Amendment to rezone to R4 with overlay removed.

	quarter of 2025. Substantial zoning changes/modifications to zoning regulations are anticipated, which may reduce the amount of zoning relief and/or map amendment needed to achieve this proposal.	
IHO	Inclusionary Housing Ordinance applies to all developments of 5 or more DUs. When zoning relief is needed, at least 5% of on-site units must be affordable. Current proposal requests 7 DUs + 1 ADU with the ADU as the affordable unit – this does not meet the IHO so no zoning bonuses are applied within the zoning analysis. Continue working with Marion Johnson in Housing regarding these details. Details are required and must be confirmed prior to scheduling for a public hearing with the LUC.	City Council approval of the ADU affordable unit request is required as an Alternative Equivalent Request.
6-8-1-12	Townhomes are required to face the public street frontage. Propose facing interior side yard.	Variation required
6-4-6-2-D	Accessory structure yard: detached accessory structures are not permitted between the principal structure and the front property line. Propose accessory structures in the front yard (not within the required front yard setback).	Variation required

Request Map Amendment, 2 Variations, IHO Alternative Equivalent Request. The Land Use Commission reviews the Map Amendment and Variations and makes a recommendation to the City Council, who will then vote on all requests including the IHO portion.

Additional Comments:

- Planned Development due to lot size is not required because the principal structure is existing.
- Confirm garage height – shown as 9’6” and 10’2” (both measurements are compliant) as well as ADU height (maximum 2 stories and 28’ for a peaked roof is allowed or 20’ for a flat roof).
- Impervious Surface: Lowered – existing is legally nonconforming at 86%. Proposed is now compliant.
- Confirm eaves extend no more than 6” into the 5’ required interior side yard and rear yard setbacks (new construction portion only).

Principal Use and Structure: Analyzed under R4 (anticipated map amendment)	
	Use: Townhomes 2,500 sq ft lot size/DU required = 17 DUs max; 7 + ADU proposed; compliant
	Lot width: 124; compliant
	Lot size: 46,804 sq ft; compliant (updated per new survey)
	Dwelling Units #: 7 + ADU; compliant
	Building Lot Coverage: 17,235 sq ft = 36.8%; compliant
	Impervious Surface Coverage: 25,640.5 sq ft = 54.8%; compliant

	Accessory Structure Rear Yard Coverage: no change
	Gross Floor Area: NA
	Building Height: 22'1" @ addition; compliant
	Yards: compliant Front: 27' (to accessory structure) Street Side: NA Interior Side: N – no change Interior Side: S – 6.6' @ principal structure addition; compliant Rear: no change/enclose existing area within setback; non-compliant
Accessory Use and Structure 1: garages (new)	
	Location (Yard): Front yard; noncompliant
	Height: 10'2" @ flat roof; compliant Height (garage with ADU): assumed compliant at no more than 28' and 2 stories
	Distance from Principal Building: 24'; compliant
	Yards: building envelope for principal structure; compliant Front: 27' Street Side: NA Interior Side: N – 5' Interior Side: S – 6.6' Rear: NA
Accessory Use and Structure 2: patio	
	Location (Yard): building envelope attached to principal structure; compliant
	Height: NA
	Distance from Principal Building: NA
	Yards: building envelope Front: Street Side: Interior Side: N +5'; compliant

	Interior Side: Rear:
Parking Requirement:	
	Use 1: 7 townhouse DUs @ 1.5 spaces each = 10.5 = 11 Use 2: ADU = no parking Use 3: Total Required: 11 including one ADA; 13 proposed including one ADA; compliant
	Handicapped Spaces: 1 required; compliant
	Access: existing curb cut to street; no alley access present; compliant
	Vertical Clearance: 7'6" where 7' is required; compliant
	Surface: permeable concrete; compliant
	Location: garage – compliant
	Parking Angle 1: 90 Parking Space Size: 9' x 18' where 8.5' x 18' is required; compliant Drive Aisle Width: 24'; compliant Module: 42'; compliant Parking Angle 2:
Loading Requirements: NA	
	Use 1: Use 2: Use 3: Total Number of Short/Long Loading Berths:
	Long Berth Size:
	Short Berth Size:
	Vertical Clearance:
	Location:
Miscellaneous: rooftop deck	

	Located within building envelope on principal structure; compliant
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1611 Church Street
Ward Meeting

1611 Church Street Evanston, IL 60201
09.14.2023



Garage



Front Facade

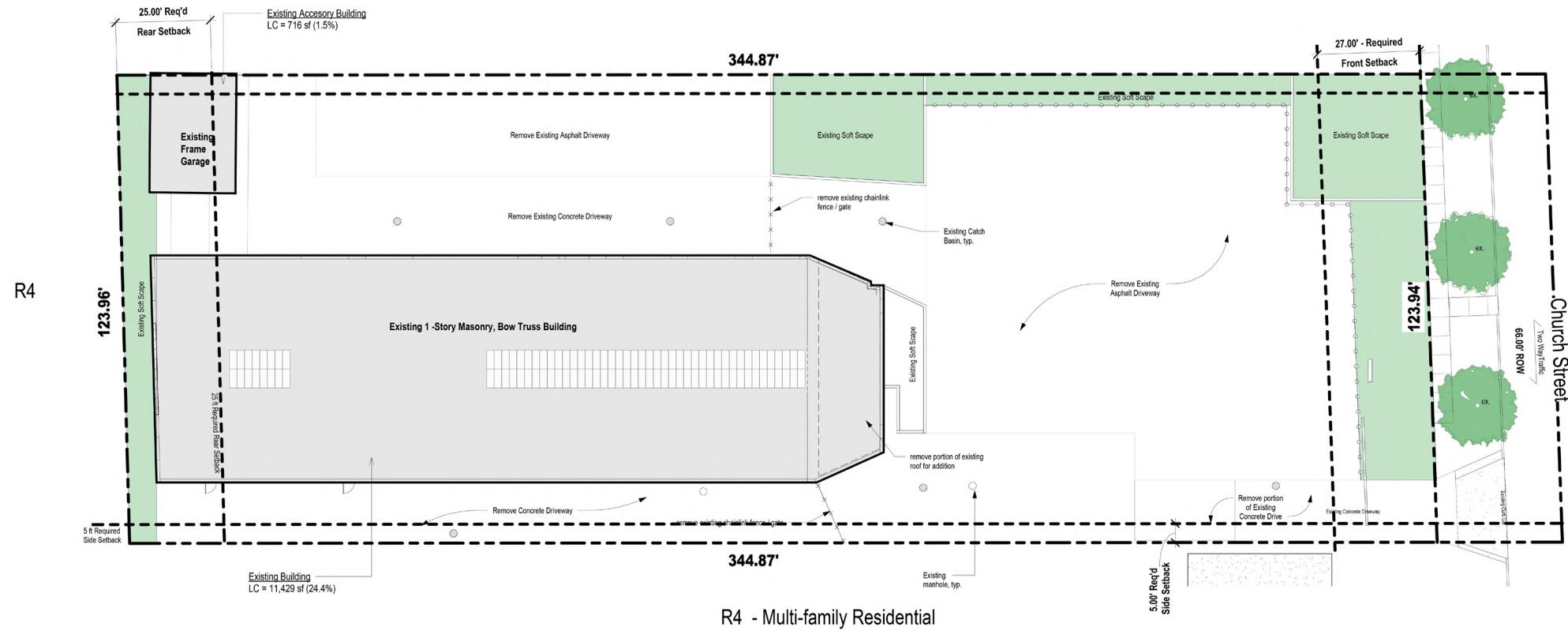


Front Facade - Tuckpoint existing brick



View - North west

WE1 - Industrial



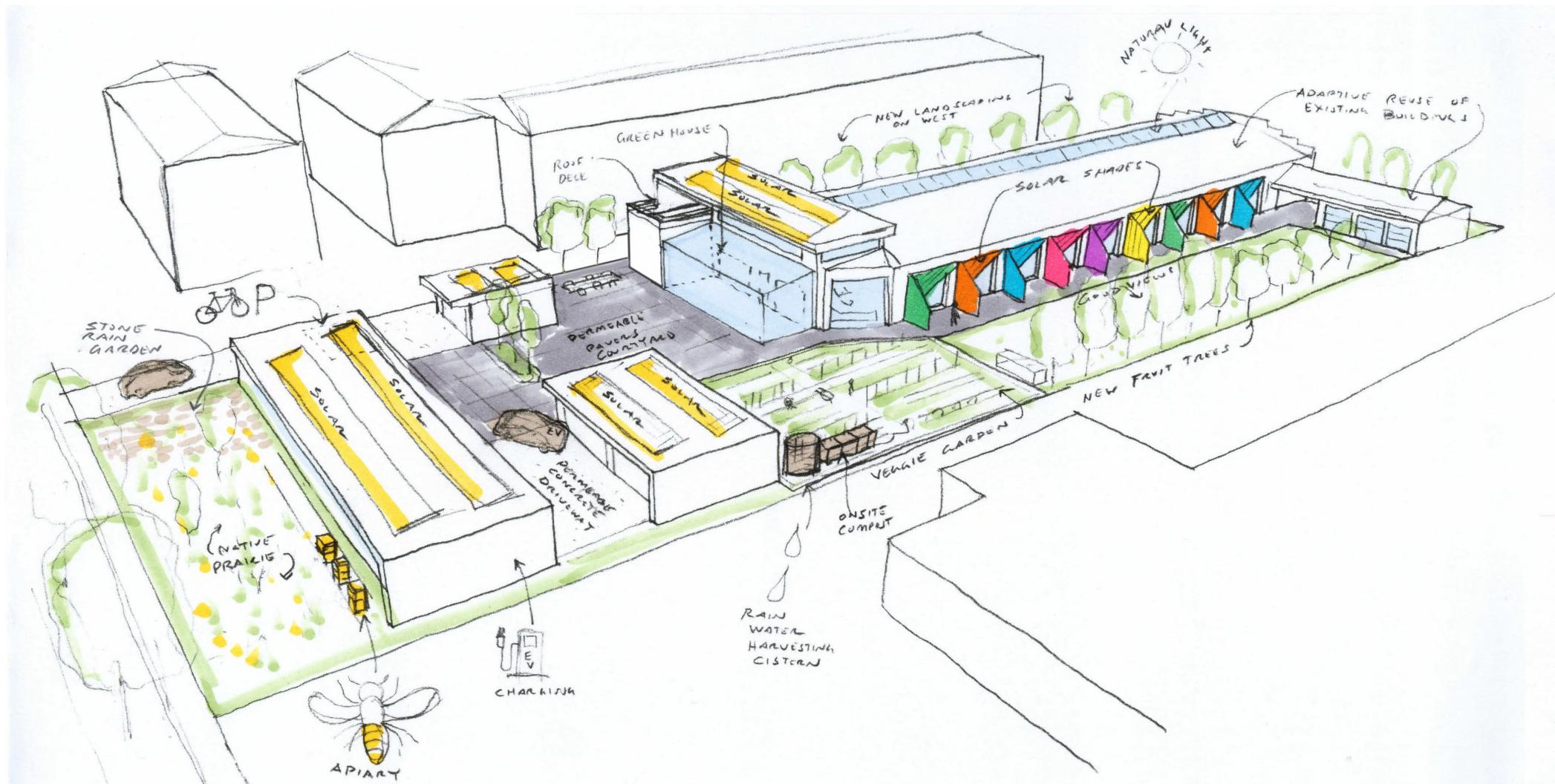
Site Demolition Plan 1

Existing Site Summary

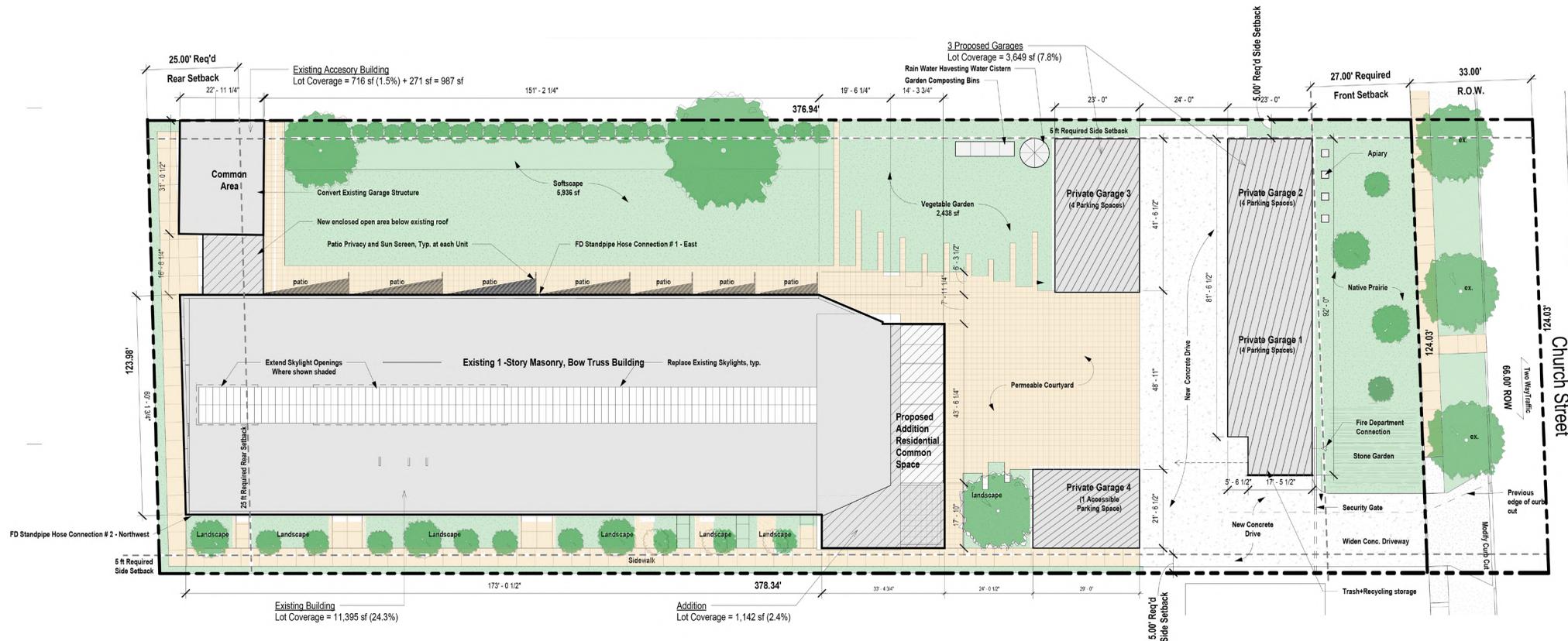
Site Area:	46,767 Square Feet		
Existing Lot Coverage:	Existing Building	11,429 sf	24.4 %
	Existing Garage	716 sf	1.5 %
	Total	12,147 sf	25.9 %
Existing Impervious Area:	Building	12,147 sf	(25.9 %)
	Existing Hardscape	27,436 sf	(58.67 %)
	Total	39,583 sf	(84.6 %)
Pervious Area:	Softscape / Garden / Parkway 7,184 sf (15.3 %)		

Site Plan Symbol Legend

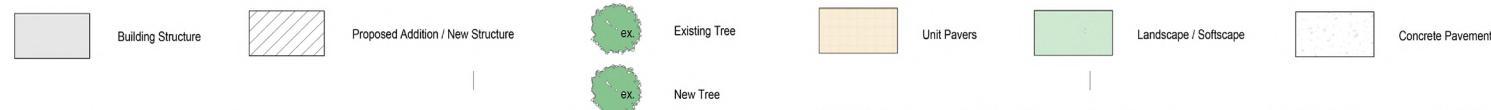
	Concrete / Asphalt Pavement		Landscape / Softscape		Existing Building		Existing Tree		Existing Catch Basin
									Existing Man Hole



Proposed Site Plan



Site Plan Symbol Legend



Zoning Classification: Existing: oWE1 - Industrial
Proposed: WE1 - R4

Site PIN: 10-13-222-004-0000

Building Height: Required - 30'-0"
Proposed - 22'-1"

Number of Stories: 1 Story

Site Area: 46,767 Square Feet

Lot Coverage: 40% Maximum = 18,706 sf

Category	Item	Area (sf)	Percentage
Building Lot Coverage:	Existing Building	11,429	24.4 %
	Existing Garage	716	1.5 %
	Other roofed area	271	0.6 %
	Addition	1,142	2.4 %
	Proposed Garages	3,649	7.8 %
	Total	17,207	36.8 %
Impervious Area:	Required	25,722	(55 % max)
	Existing	36,777	(86.0 %)
Proposed Pervious Area:	Proposed:		
	Building Lot Coverage	17,207	(36.8 %)
	Hardscape / Paving	14,202	(30.4 %)
	Total	31,409	(67.2 %)
Proposed Pervious Area:	Softscape / Garden	15,358	(32.8 %)

Front Setback: Required - 27'-0"
Proposed Garage - 27'-2" (refer to Civil Sheets)

Rear Setback: Required - 25'-0"
Existing - 7.53' no change (refer to Survey)

Side Setback: Required - 5'-0" (Accessory Buildings)
Proposed East - 5.28' (refer to Civil Sheets)
Proposed West - 6.29' (refer to Civil Sheets)

Off Street Parking: Required - 4 units at 1.25 spaces and
4 units at 1.5 spaces
11 Required Parking spaces

Proposed - 13 Total Spaces (1 Accessible)

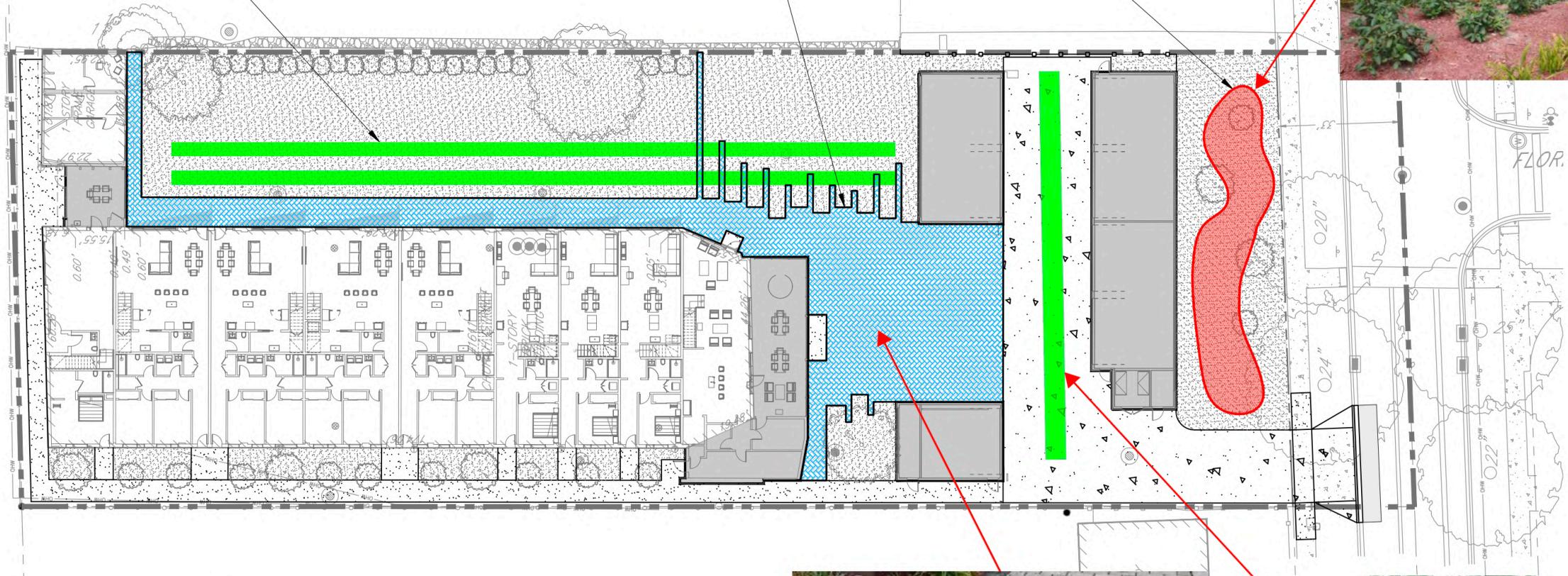
Site Plan 1

9/12/23 3:28:23 PM

48" HDPE (TYP)

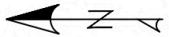
PERMEABLE PAVERS WITH 2.5' OF STONE

RAIN GARDEN

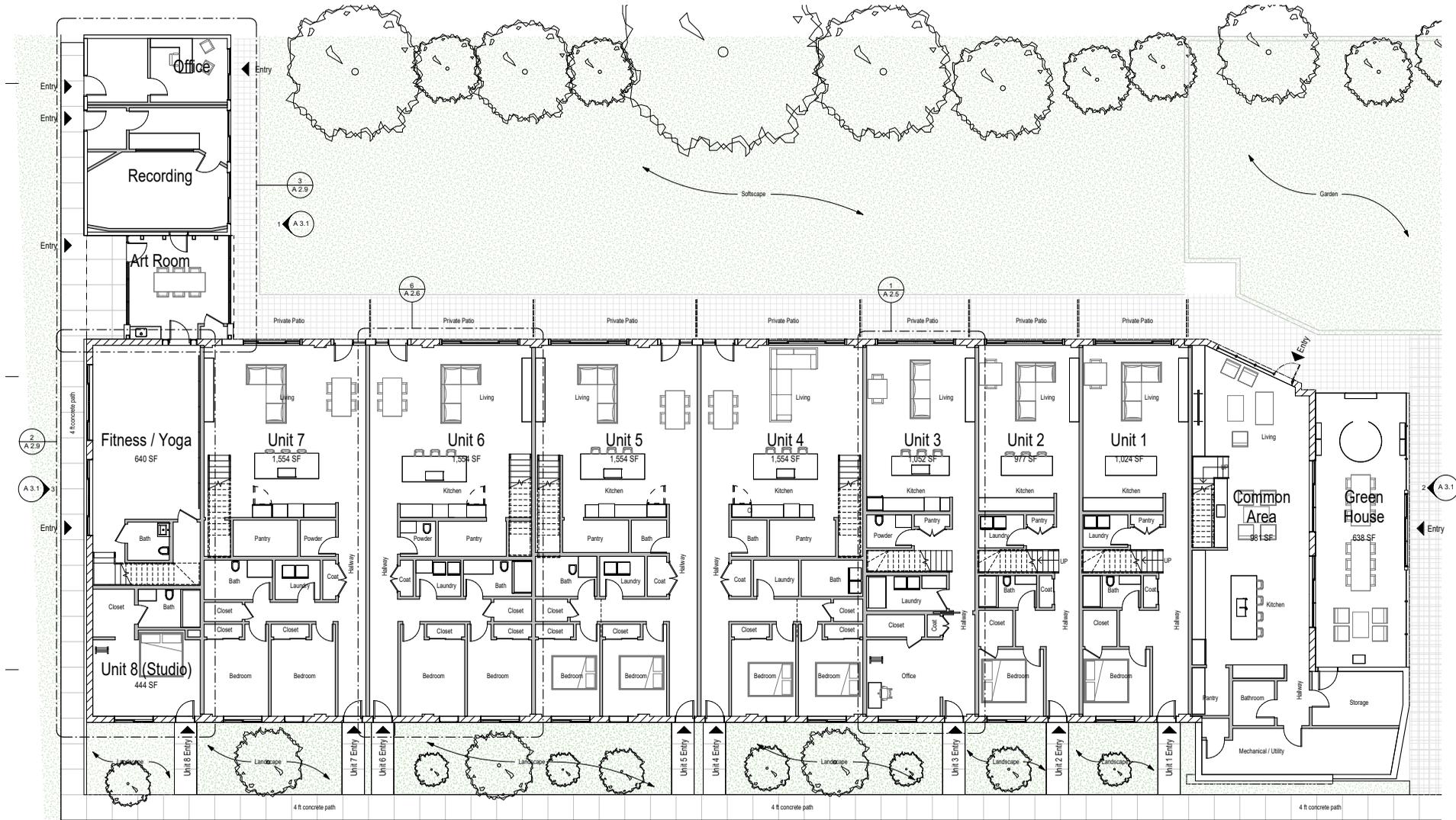


STORMWATER MANAGEMENT - OPTION C

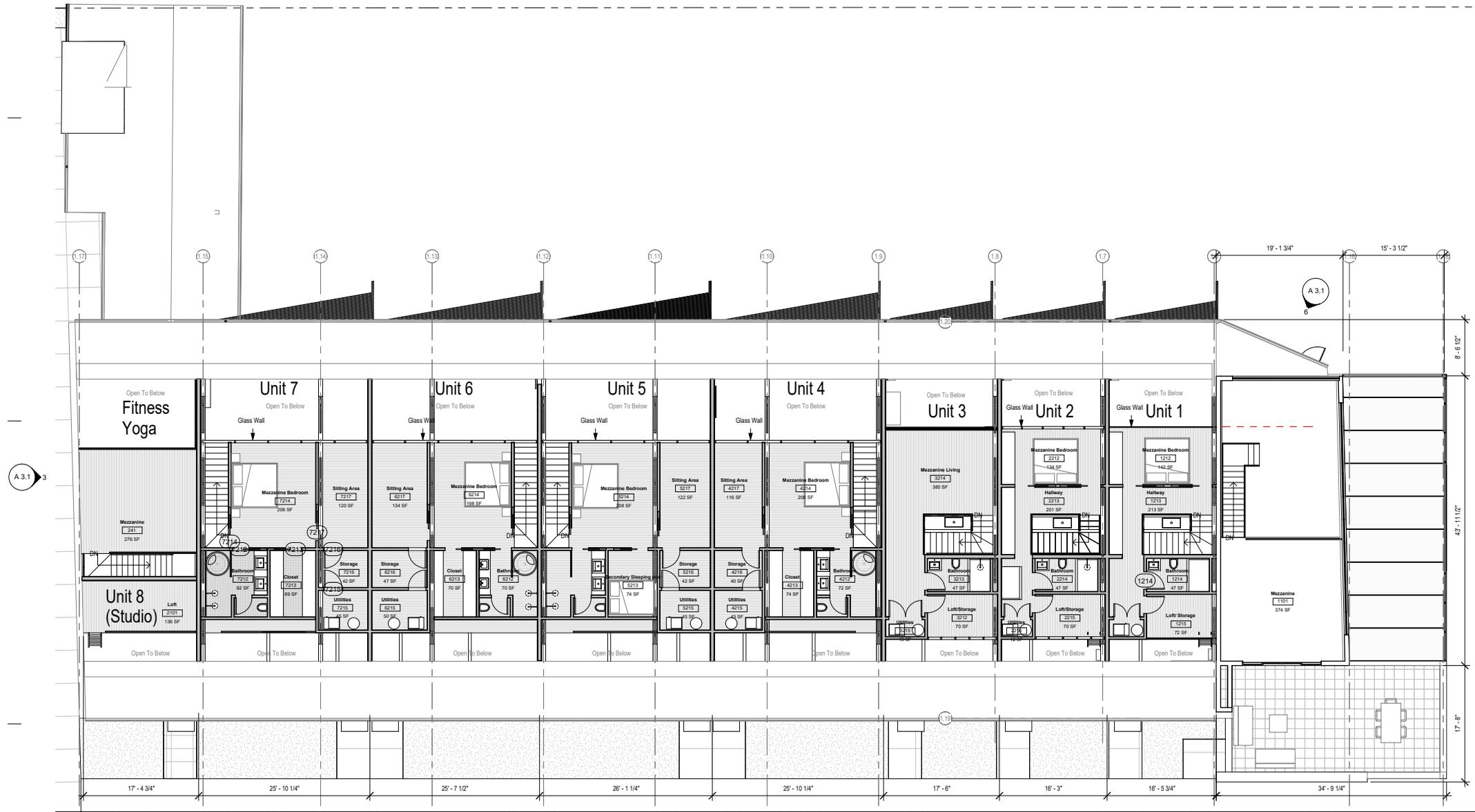
SCALE: 1" = 30'

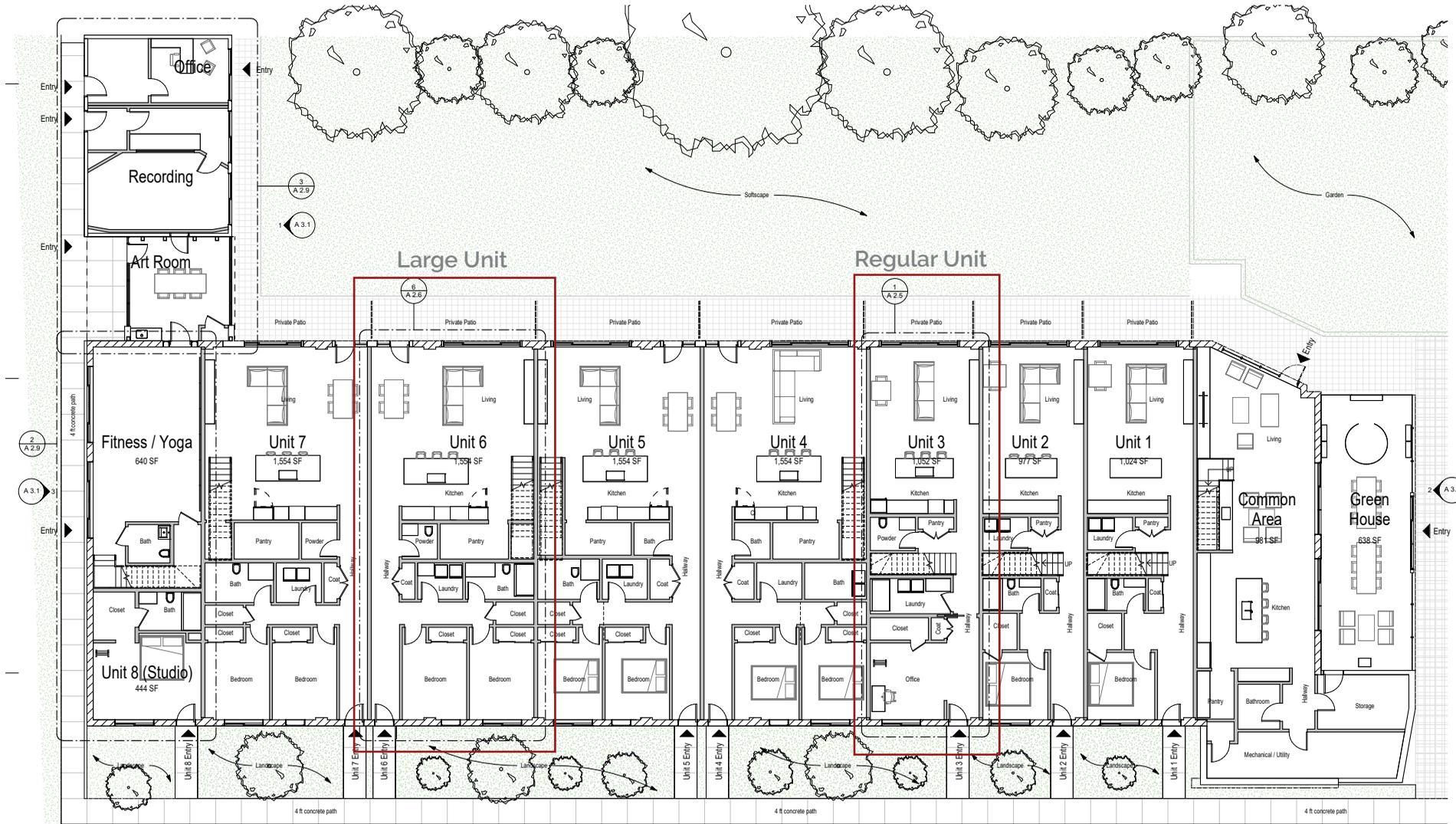


Ground Floor Plan

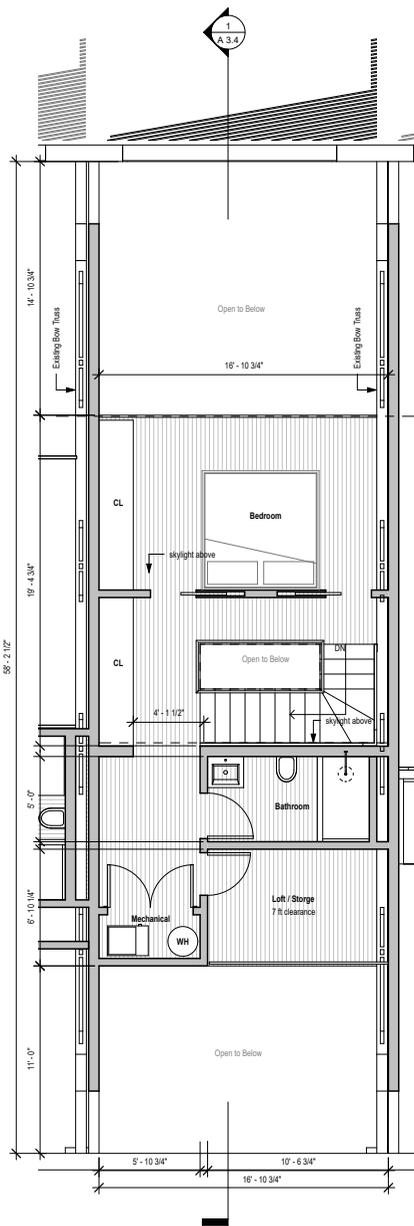


Mezzanine Floor Plan

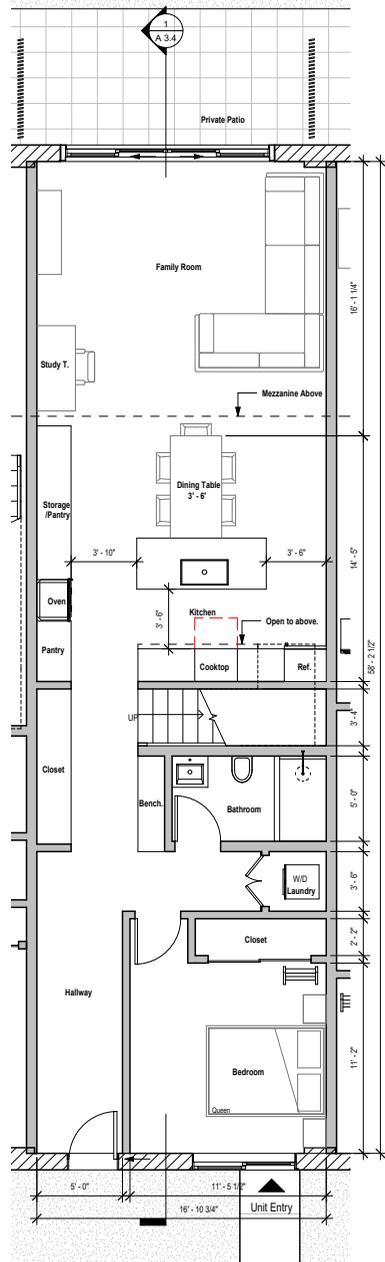




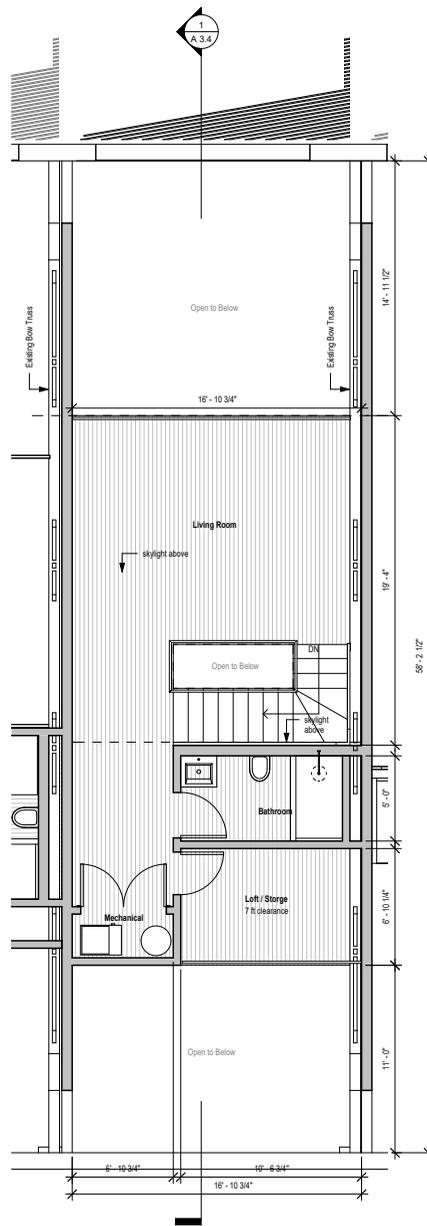
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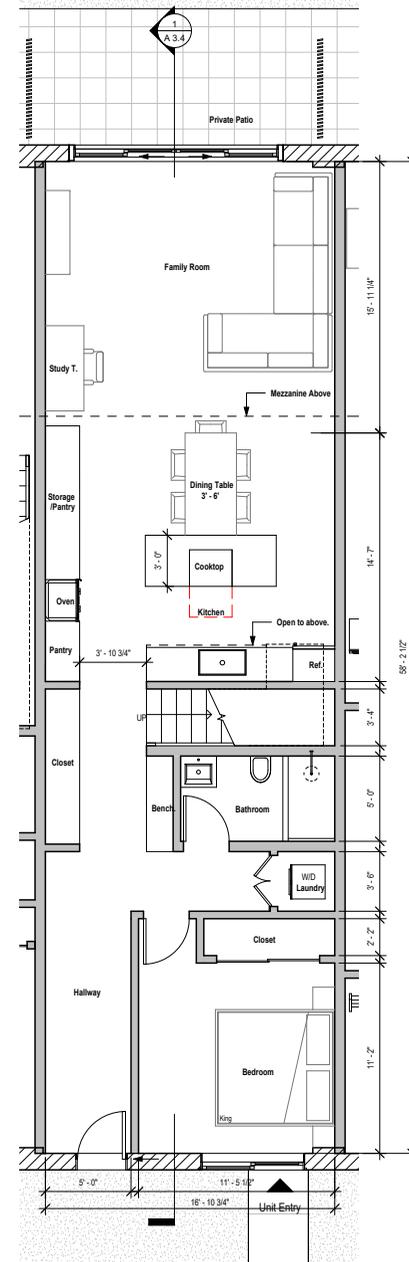
Type B - Mezzanine Plan 4



Type B - Level 1 Plan 3

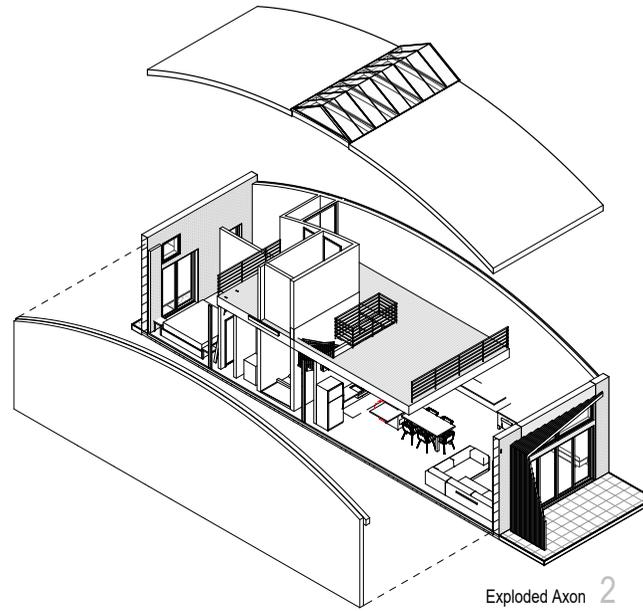


Type B - Mezzanine Plan 2

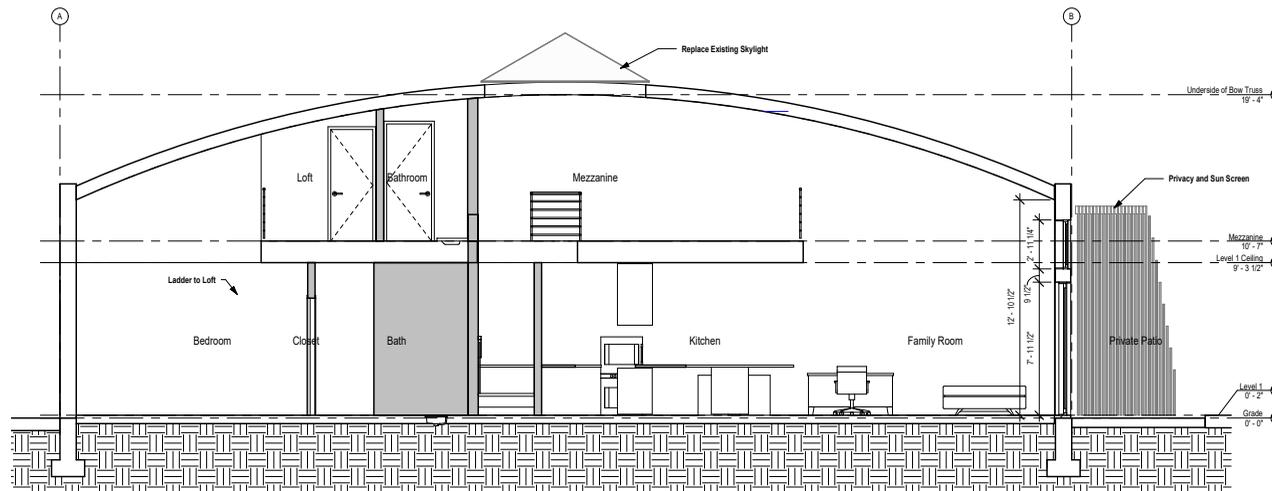


Type B - Level 1 Plan 1



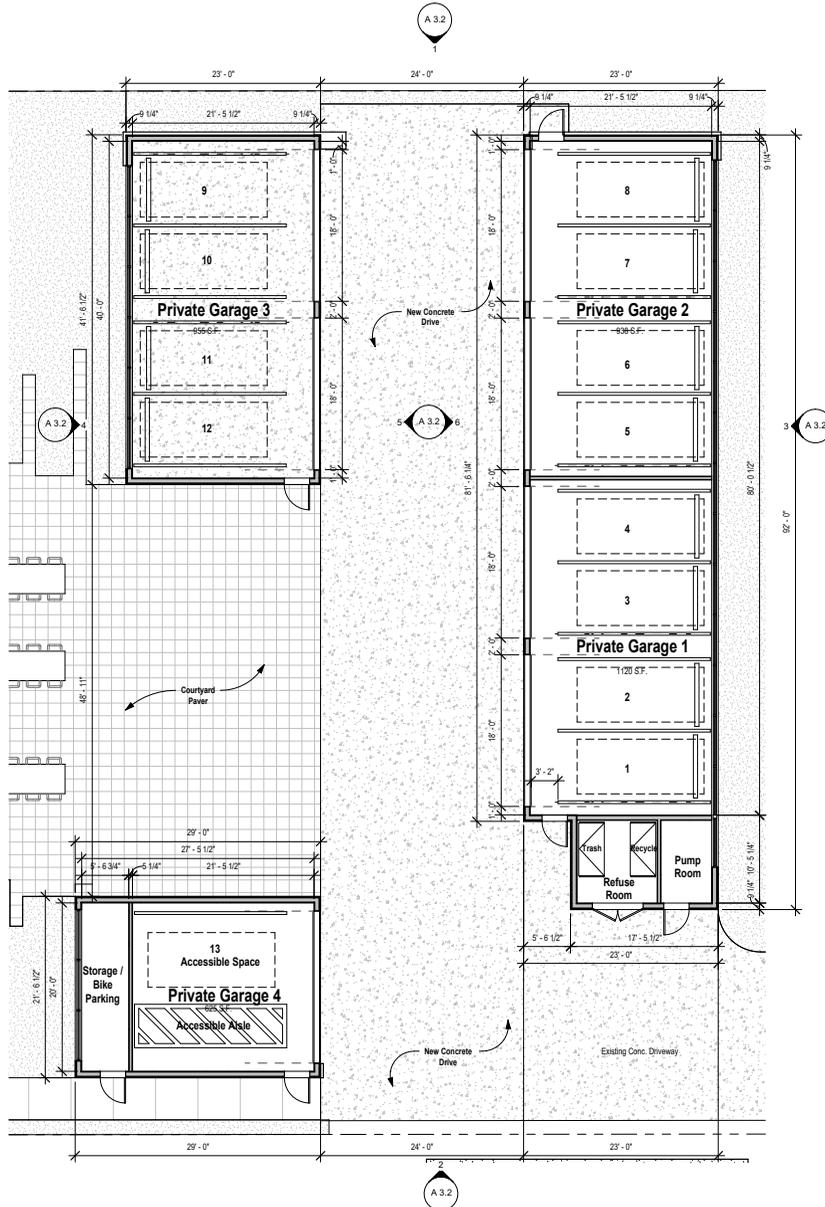


Exploded Axon 2



Typical Unit Section 1

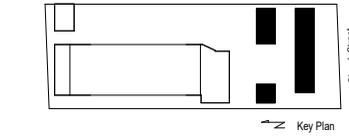
Typical Unit Sections (1 Bay)
 Scale: 1/4" = 1'



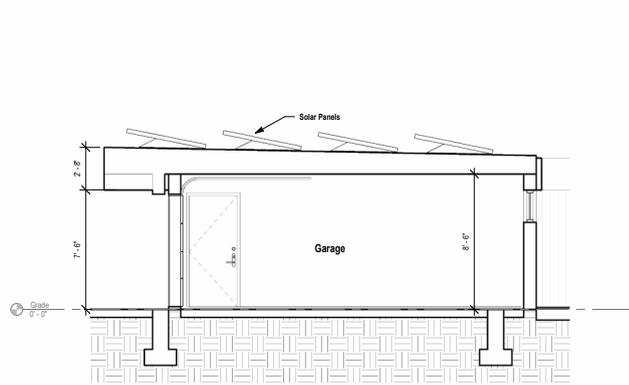
Site Garage Plan 1
Scale: 1/8" = 1'-0"

Required Parking Calculation

Proposed Residential Units:	Unit #1-3	1 Bedroom Apartment
	Unit #4-7	2 Bedroom Apartment
	Unit #8	Studio Apartment
	Total	8 Apartment Units
Required Off Street Parking:	1.25 space/unit x 4 Units (1 Bedroom)	
	1.5 space/unit x 4 Units (2 Bedroom)	
	11 spaces required	
Proposed Parking Spaces:	12 Spaces and 1 Additional Accessible Space (13 Total)	
Loading:	0 Required for Multi-Family Building	
	<30,000 SF	
	0 Provided	
Bike Parking:	0 Required	
	8 Provided	



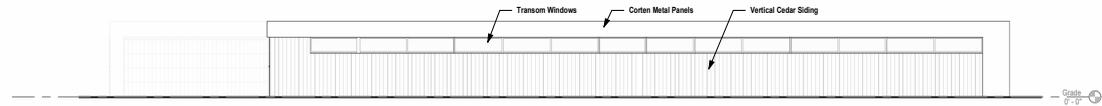
All sizes, design, arrangements, and items indicated or mentioned in these drawings are intended to be used as a guide only. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided.



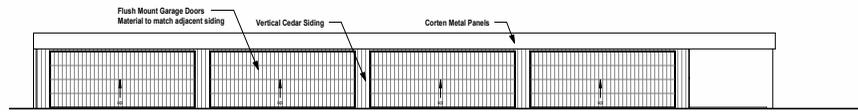
Typical Garage Section 7



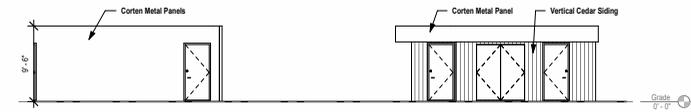
Garage 2/3 Elevation - North 4



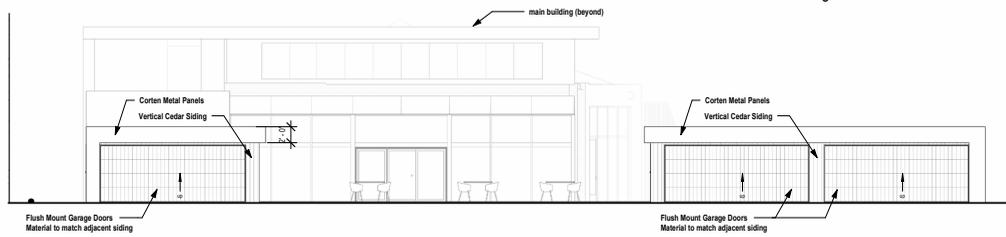
Garage 1 Elevation - South 3



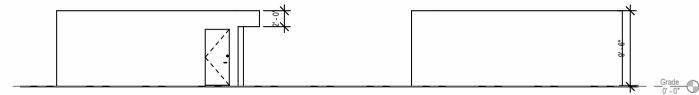
Garage 1 Elevation - North 6



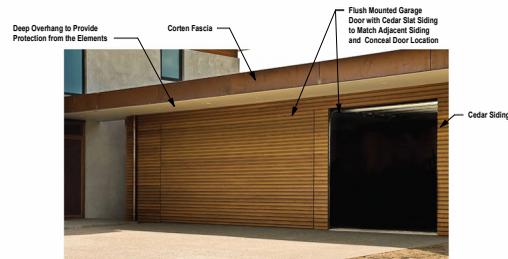
Garage West Elevation 2



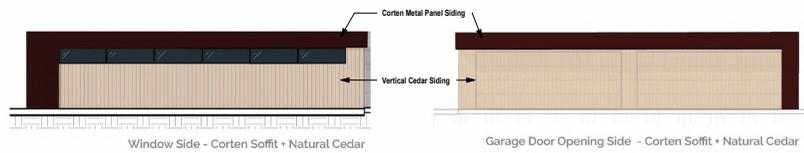
Garage 2/3 Elevation - South 5



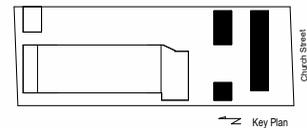
Garages East Elevation 1



Flush Mounted Garage Door Example



Garage Color Elevations



Building Elevations (Garage)



Material Existing Material Palette



Rear Facade



West Facade



Existing Brick



East Facade - Remove Parge / Expose Brick



Front Facade - Tuckpoint existing brick



Existing Parge

Material - Cedar Wood Siding

Untreated



New

Natural Aging

Stained



Rough Sawn

Smooth



Lap Siding



Tongue and Groove (T&G)



Clear



Knotty

Corten Steel Aging/Patina Process:



0.5 Months



1.5 Months



6 Months



2 Years



5 Years



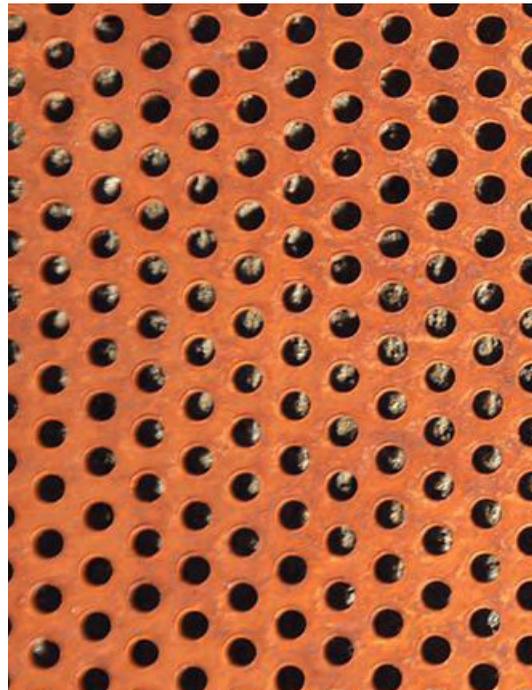
22 Years



40 Years



Flat Solid



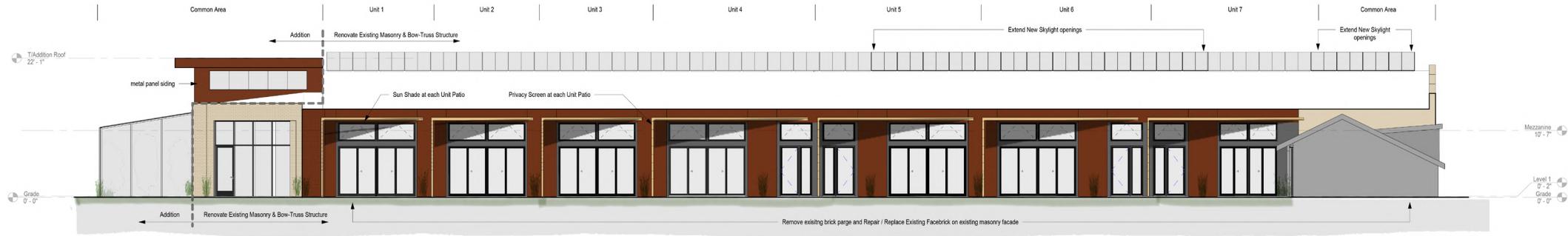
Perforated



Corrugated

Material - Corten Steel





East Elevation 5



West Elevation 4

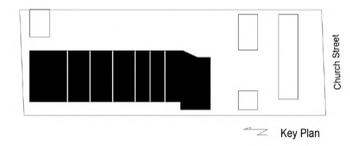


North Elevation 3



South Elevation 2

Common Area North - South Elevation 1



Key Plan

Building Elevations

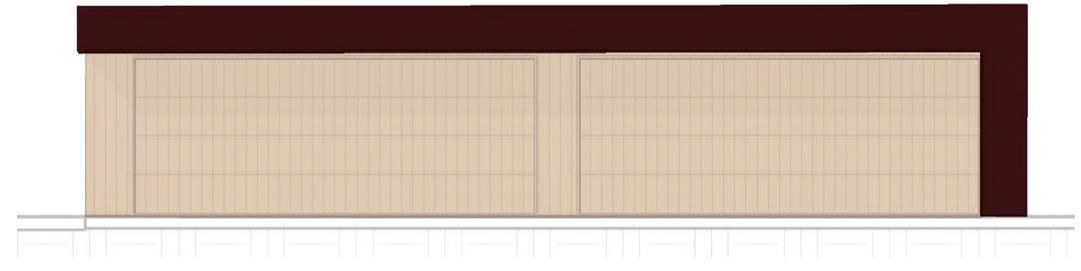


Garage Elevations

Cladding Material Example



Window Side - Corten Soffit + Natural Cedar



Garage Door Opening Side - Corten Soffit + Natural Cedar

Flush Mount Garage Doors
Wood Slat Doors to Match Adjacent Siding - Hiding Door Opening
Corten Facsia and Deep Roof Overhang for Protection



Church Street Elevation

View of Site from Church Street



NOTICE OF A PUBLIC HEARING

Evanston Land Use Commission

Wednesday, May 22, 2024, 7:00 pm

**Morton Civic Center, 2100 Ridge Avenue
Council Chambers**

Please be advised, as you own, or otherwise may have interest in a property within 500 ft. of the address listed below, for which the following zoning application will be discussed:

Map Amendment & Major Variations | 1611 Church Street | 23PLND-0045 & 23ZMJV-0047

Thomas Gourguechon of CSE1611 LLC, applicant for the property owner, submits for a Map Amendment and Major Variations for an adaptive reuse to convert an existing industrial/office building into 7 dwelling units and one ADU, and for additions/new construction for amenity space and parking. The applicant requests a Map Amendment to rezone the property from the current WE1 West Evanston Transitional District and the

oWE West Evanston Overlay District to the R4 General Residential District (Section 6-8-5). The applicant requests Major Variations for townhome orientation that does not face the right-of-way (Section 6-8-1-12), and detached accessory structures between the principal structure and the front property line but not within the required front yard (Section 6-4-6-2-D), in the R4 General Residential District. The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-4-8 of the Evanston Zoning Code. PIN: 10-13-222-004-0000

Those wishing to make public comments at the Land Use Commission meeting may attend in-person or submit written comments in advance by calling/texting 847-448-4311 or completing the Land Use Commission online comment form available online here: <https://bit.ly/lucpubliccomment>. Information about the Land Use Commission is available online at www.cityofevanston.org/government/land-use-commission. Questions can be directed to Michael Griffith, Planner, at 847-448-8155 or via e-mail at mgriffith@cityofevanston.org. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Community Development Department 48 hours in advance of the scheduled meeting so that accommodations can be made at 847-448-8170 (Voice) or 847-866-5095 (TDD). La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847-448-4311 (voz) o 847-866-5095 (TTY).





Melissa Klotz
Community Development Dept.
Planning & Zoning Division 2100
Ridge Avenue
Evanston, Illinois 60201
T 847.448.8153
TTY 847.448.8052
www.cityofevanston.org

October 12, 2023

Tom Gourguechon
CSE1611, LLC
1107 Hull Terrace
Evanston, IL 60202

RE: Adaptive Reuse
1611 Church Street

Dear Mr. Gourguechon,

Staff has reviewed your proposal for a seven dwelling unit plus one ADU adaptive reuse townhome proposal at 1611 Church Street. Please review the following comments from staff. Each comment should be addressed via a responses letter along with any corresponding updates to plans noted. Some comments are general information and may be responded to with “understood”.

Please note that the site plan, facades, building design, and construction materials that are stated as part of the application are reviewed by the Land Use Commission and are considered entitlement plans. The plans that will be submitted for permit must be “substantially compliant with the documents and testimony on record” from the Land Use Commission hearing and City Council determination. We recommend you work to finalize these elements prior to proceeding to the Land Use Commission.

Public Works – Waste

1. Acknowledgement that these structures are close to the Church Street Waste Transfer Station and Residents that live in these areas are to experience the occasional smells as well as noted truck traffic from the location of that station.
2. 7 Units mean at least 1.75 cubic yards of refuse waste service is needed per week for residents.
3. Refuse and recycling services must have access for the security gate as well as any access to refuse areas that are secured.
4. Encourage providing enough space to allow residents to be able to compost food scraps in refuse area.
5. Driveway must be properly plowed during snow events to ensure refuse services are able to be completed.
6. Who will be responsible for waste collection/litter around the property and in common areas?

Housing & Grants:

1. Updated Inclusionary Housing Ordinance application is required and has not been resubmitted to date. Application and details are needed prior to confirming the Land Use Commission public hearing date to confirm if there is compliance with the IHO, an on-site affordable unit, or an equivalent request that requires City Council approval.

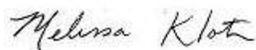
Public Works – Engineering

1. An MWRD permit is required for this project.
2. Provide storm water detention for the whole site per city ordinance and Bulletin 75.
3. Replace the site water and sanitary service lines.
4. Will there be one water meter (and one bill) or are separate water services/meters anticipated?
5. Replace any damaged public sidewalk adjacent to the site.
6. Consider how mail/package delivery will be handled and if access to the security gate for USPS and package delivery is needed.
7. Extend a marked pedestrian path from the residential area to the public right of way
8. Designate bike parking spaces.

Please be prepared to address the above comments and provide revisions if needed. As previously noted and restated in the Housing & Grants comments, an updated IHO Application is required prior to confirming the Land Use Commission public hearing date.

If you have any questions about the above comments, please do not hesitate to contact me directly at mklotz@cityofevanston.org.

Sincerely,



Melissa Klotz
Zoning Administrator

Cc: Elizabeth Williams, Planning Manager, Interim Housing Manager
Sarah Flax, Community Development Director
Krissie Harris, 2nd Ward Councilmember