



**AGENDA**  
**Preservation Commission**  
**Tuesday, December 10, 2024**  
**Lorraine H. Morton Civic Center, Council Chambers Room 2800 7:00 PM**

Page

**1. CALL TO ORDER/DECLARATION OF A QUORUM**

**2. PUBLIC COMMENT**

Members of the public are afforded three minutes per person to provide testimony related to items listed under discussion, or to otherwise address the Commission generally. Members of the public wishing to provide testimony on new or unfinished business shall be given the opportunity to do so during those agenda items in a manner and under time limits determined by the Chair.

**3. NEW BUSINESS**

**A. 1012 Lake Shore Boulevard - Landmark - Lakeshore Hist. District - 24PRES-0169 3 - 30**

Shumaker Design Associates, architect and applicant on behalf of the property owner, submit for a Certificate of Appropriateness to construct a new single-story bay addition to the rear volume of the structures north elevation, and construct a new railing at a west elevation existing roof deck behind an existing parapet wall.

**Applicable Standards:** Alteration [1-10]; and Construction [1-8; 10-13; and 15].

[1012 LakeShore STAFF REPORT](#)  
[1012 LakeShore COA Application](#)

**B. 1314 Judson Avenue - Lakeshore Historic District - 24PRES-0170 31 - 56**

Jeanie Petrick, architect and applicant on behalf of the property owner, submit for a Certificate of Appropriateness to raise the ceiling height and alter the roof form of an existing two-story addition to the

structures south elevation, alter the homes pattern of fenestration including replacement windows in existing and new openings, and truncating the existing volume and roof of a rear elevation screened porch.

**Applicable Standards:** Alteration [1-10]; and Construction [1-8; 10-13; and 15].

[1314 Judson STAFF REPORT](#)

[1314 Judson COA Application](#)

C. **1423 Elmwood Avenue - Landmark - 24PRES-0171** 57 - 83

Jeanie Petrick, architect and applicant on behalf of the property owner, submit for a Certificate of Appropriateness to construct a second-story hipped roof addition to an existing single-story gable addition at the homes rear volume, and alter the current homes pattern of fenestration with new windows in new openings, and replacement windows in existing openings.

**Applicable Standards:** Alteration [1-10]; and Construction [1-8; 10-13; and 15].

[1423 Elmwood STAFF REPORT](#)

[1423 Elmwood COA Application](#)

D. **Adoption of 2025 Meeting Dates** 84

[2025 Meeting Dates](#)

**4. APPROVAL OF MEETING MINUTES**

A. **November 12 Meeting Minutes** 85 - 91

[20241112 HPC Minutes](#)

**5. ADJOURNMENT**

**Order & Agenda Items are subject to change.** Information about the Preservation Commission is available at the Preservation Commission website. Questions can be directed to Cade W. Sterling at 847-448-8231 or at [csterling@cityofevanston.org](mailto:csterling@cityofevanston.org) The city is committed to ensuring accessibility for all citizens; if an accommodation is needed to participate in this meeting, please contact the Planning and Zoning Division at (847-448-8687) 48 hours in advance so that arrangements can be made for the accommodation if possible.

**Español** - La ciudad de Evanston tiene la obligación de hacer accesibles todas las reuniones públicas a las personas minusválidas o a quienes no hablan inglés. Si usted necesita ayuda, favor contacte a Cade W. Sterling de la Oficina de Planificación y Zonificación llamando al (847/448-8231) o [csterling@cityofevanston.org](mailto:csterling@cityofevanston.org) con 48 horas de anticipación para acomodar su pedido en lo posible



# STAFF REPORT

To: Members of the Preservation Commission  
From: Cade W. Sterling, Planner  
Subject: 1012 Lake Shore Blvd – Landmark - Lakeshore Hist. District - 24PRES-0169  
Date: December 3, 2024

Public Notice

Shumaker Design Associates, architect and applicant on behalf of the property owner, submit for a Certificate of Appropriateness to construct a new single-story bay addition to the rear volume of the structures north elevation, and construct a new railing at a west elevation existing roof deck behind an existing parapet wall.

**Applicable Standards:** Alteration [1-10]; and Construction [1-8; 10-13; and 15].

Construction Period:

1894

Style:

Tudor Revival

Architect of Record:

Robert C. Spencer (Spencer and Kendall)

Condition:

Good

Integrity:

Excellent

Status:

Landmark designated (1978) under criteria A4 (high quality of architectural design), A5 (work of a master architect), and A9 (selected for inclusion in the 1972 Illinois Historic Structures Survey).

Setting:

1012 Lake Shore Boulevard is located in the east central portion of the Lakeshore Historic District between Lee Street to the south and Greenleaf Street to the north. The block once contained a small number of large estates, including 1012 Lake Shore Boulevard. As was common across Evanston, lots were subdivided over time, leading to early revival styles and more contemporary styled homes including those at 1020, 1030, and 1036 Lake Shore Boulevard. The block retains good integrity of setting.

Significance:

Designed by a Chicago architectural firm that was closely allied to those who formed the Prairie School, this English Half Timbered structure shows the concern for natural materials used structurally to form an impressive effect, an important consideration to that group. A large and well designed structure, it has a variety of decorative elements that reveal its proximity in time to the high point (locally) of the Queen Anne style. It is the oldest surviving structure overlooking the lake in this section of Evanston, is the first English Half Timber house built in Evanston (and an early example regionally), and was one of Evanston's first landmark designations.

The brick ground floor standing above a low freestone sill supports a half timber second story and a high pitched roof whose gable also half timber, faces the front. Projecting to the north is a two-story entrance structure covered by a pitched roof. The upper story and high attic project over a porch in the front and are sustained by carefully wrought timbers. On the second story, two broad, timber-framed polygonal bays project slightly from the surface. Above them, the sill of the attic's frame projects out to the plane of the front of the projecting bays below. The attic is lit by a strip of four double hung windows whose upper sashes have diagonal lights. The gable rafters are supported by projecting purlins that complement the ends of the projecting struts supporting the attic window's sill. Near the re-entrant angle of the northern projection is a tall chimney that carries up the brick of the ground floor. The brick in this section is laid to produce complex forms and openings. The home appears to be unaltered except for altered roofing material, likely slate originally.

Robert C. Spencer:

A contemporary of Frank Lloyd Wright, Spencer is known for an amalgamation of the Prairie style and more classically inspired design elements and vocabularies. The home at 1012 Lake Shore is Spencers first large commission. Shortly after, he would establish his own practice in the Schiller building in Chicago with an office adjacent to Wrights. The following year, Spencer and Wright would move offices to Steinway Hall, a co-working space with individual offices, shared secretary, and open drafting room known as the "loft". The open workspace attracted a number of young and innovative architects. In 1905, Spencer would form the firm Spencer and Powers, a partnership with Horace S. Powers, designing residential structures in Chicago, the surrounding suburbs, and across the Midwest including Evanston.

Tudor Revival:

Tudor Revival styled homes feature steeply pitched roofs, a dominant front gable, half-timbering, masonry or stucco walls, massive chimneys and narrow multi-light casement windows. Tudor Revival is based on late Medieval English prototypes from grand manors to thatched roof cottages and was popularized in the United States during the same period as the Colonial Revival gained ascendancy as a preferred residential architecture style. Tudor Revival is sometimes termed "Tudorbethan" – an amalgamation of Elizabethan

medieval prototypes and the Jacobean style, which features more Classical stylistic elements designed mostly in masonry. The Tudor Revival is mostly a post World War I American architectural style found in many “estate” neighborhoods of both cities and suburbs. There are 60 Tudor Revival Landmarks in Evanston.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commission's discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

**Alteration**

1. Every reasonable effort shall be made to adapt the property, structure, site, or object in a manner that requires minimal alteration of the property, structure, site, or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site, or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites, and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

### **Construction**

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of facades shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

6. *Rhythm of entrance porches, storefront recesses and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



# Application for Certificate of Appropriateness (COA)

**NOTICE:** This form is not a permit application.

**Application Required:** This application is required for all scopes of exterior work, including minor, major, and window/door replacement projects affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when work is visible from the public way (street, alley, sidewalk, or other parcel of land appropriated to the public for public use).

**Submission Deadline:** To ensure timely processing of your application, submit this application no less than **15 business days** before the second Tuesday of each month. **Incomplete applications will not be accepted. Refer to the Submittal Requirements, pages within this application to ensure completeness.** Upon receipt of your application, staff will determine whether the proposal can be reviewed administratively, or whether it will be referred to the Preservation Commission for review and action. Completed applications referred to the Commission will be scheduled for review at the next available meeting as long as all required information is provided by the deadline and the number of items on the agenda allows.

**For more information:** It is encouraged, but not required, to meet with staff to review submittal requirements prior to submitting. To set up a meeting or to answer any questions as to which requirements apply to your project, please contact Cade W. Sterling at (847) 448-8231 or email: csterling@cityofevanston.org

## Section A. Required Information (Print Clearly)

|   |              |   |                        |  |
|---|--------------|---|------------------------|--|
| <b>1) Property Address:</b><br>1012 Lake Shore Blvd   |              | <b>FOR STAFF USE ONLY</b><br><b>Application Number:</b> |                        |  |
| <b>2) Applicant's Name:</b><br>Kurt Skrudland, Shumaker Design Assoc.   |              | Address:<br>705 Washington                              |                        |  |
| City:<br>Evanston   | State:<br>IL | Zip:<br>60202   | Phone:<br>847.864.0595 | Email:<br>garry@shumakerdesignassociates.com |
| <b>3) Owner's Name:</b><br>Jeff Patt and Patty Marfise-Patt   |              | Address:<br>1012 Lake Shore Blvd.                       |                        |  |
| City:<br>Evanston   | State:<br>IL | Zip:<br>60202   | Phone:<br>224.522.3661 | Email:<br>patty.patt91@gmail.com             |
| <b>4) Applicant's Relationship to the Owner:</b> <input type="checkbox"/> Same <input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Other:  |              |   |                        |  |
| <b>5) Landmark:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   |              |   |                        |  |
| <b>6) Within Local Historic District:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;<br>If yes, <input checked="" type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Woman's Christian Temperance Union  |              |   |                        |  |
| <b>7) Refer to the completed Zoning Analysis and check as applicable if your project requires:</b><br><input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Special Use; <input type="checkbox"/> Planned Development → <b>If any are checked, additional submission requirements may apply. A member of the Planning &amp; Zoning Division will contact you.</b>                                    |              |   |                        |  |
| <b>8) Acknowledgement of Potential Archaeological Resources:</b> <input checked="" type="checkbox"/> I acknowledge that if any archaeological materials are encountered during construction, I will stop work and notify the Planning & Zoning Division immediately. An approved Certificate of Appropriateness is not a clearance for purposes of the Illinois Human Remains Protection Act as amended. (20 ILCS 3440) |              |   |                        |  |
| <b>9) Applicants Signature:</b> I acknowledge that I understand the requirements for what constitutes a complete application and affirm that the requirements for a complete application have been met.<br><br><i>Kurt Skrudland</i> _____ Date: 11/13/24   |              |   |                        |  |

## Section B: Application for Certificate of Appropriateness

### 1) Describe, in detail, the proposed activity and reason for requesting a Certificate of Appropriateness.

Attach a separate sheet or sheets if necessary.

1. Window restoration work. The existing original wood windows are being either mechanically or fully restored with new hardware. In order to remove the existing aluminum triple track storms that are not original to the residence, some windows will receive new insulated glass in the existing sashes. Other windows will receive new wood storm windows that will replicate the storms that would have originally been on the residence.
2. A one story bay is being added to the north elevation nearest the west end of the residence. The bay is designed to replicate the details of the existing adjacent bay to just to the east of it.
3. A third floor roof deck is being added to the existing flat roof area on the southwest corner and a railing is to be added for safety reasons. The railing will be mounted to the inside face of the existing parapet walls so it will be set back and less visible at an angle from the ground. The railing design is intended to be in character with the residence and be as simple as possible and not detract from the existing architecture.
4. The existing masonry chimney that no longer has a functional purpose is being removed from the main ridge line. The chimney is in need of repair and is not decorative.

### 2) Select the three standards from the [Binding Review Standards](#) that you believe are most relevant to your proposal. Then describe, in detail, how your proposal meets the standards you have selected.

Attach a separate sheet or sheets if necessary.

(For assistance selecting relevant standards contact Cade W. Sterling, City of Evanston Preservation Planner: [casterling@cityofevanston.org](mailto:casterling@cityofevanston.org) or 847-448-8231.)

#### Most Applicable Standards For Review

2. The distinguishing original qualities and character of a property, structure, site or object and its environment shall not be destroyed. Historic material shall be preserved.

The window restoration will not replace any material or elements

5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship shall be treated with sensitivity.

The bay addition will replicate all the same materials and trim profiles currently in use on adjacent architectural elements.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

The deck rail could be removed, without affecting the essential integrity of the residence.

## **CERTIFICATE OF APPROPRIATENESS SUBMITTAL REQUIREMENTS**

### **REPAIR, REPLACEMENT, RE-POINTING, SOLAR INSTALLATION, AND SITEWORK INCLUDING NEW PATIOS, TERRACES, OR WALKWAYS**

- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Plat of survey that accurately represents current conditions of the property.
- As applicable, provide a to-scale existing and proposed site plan (roof plan for solar installation) clearly showing the proposed change(s) with dimensions of proposed features, setbacks from proximate lot lines, and material annotations. An aerial image or birds eye photo with areas of work identified will be sufficient for proposed roof replacement and re-pointing.
- Labeled, color photographs showing all exterior views of the building, structure, and/or site including all areas of proposed work and any areas of deterioration. Google street view or other non-current photos will not be accepted.
- If materials are being proposed for repair or replacement that are other than an exact match to original, physical or visual samples or manufacturer brochures must be submitted.
- Any additional information that is requested after your initial consultation with staff or as requested by the Commission's Pre-Application Review Subcommittee.

**FENCES** – Provide a plat of survey with the existing and proposed fence and gate location(s) clearly identified. Include photos of the existing fence and any gates, and an illustration or sample photo of the proposed fence and gate style(s).

### **REPLACEMENT OF WINDOWS, DOORS, and SKYLIGHTS**

Due to the sensitivity required for window and door replacement, the Commission has created additional resources for applicants (available following the links below or accessing the Preservation Commissions webpage) including separate design guidelines, a sample best practice submission, and sample drawings for wood and steel windows.

- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Context photos of all impacted elevations with the location of new or altered windows/doors labeled by number and by type. If there are typical windows (more than one of the same size material, and operating style), label each window type A,B,C etc. If there are multiple windows for a single type, those would be labeled as, 1A, 2A, 3A etc. Google street view or other non-current photos will not be accepted.
- Condition photos, interior and exterior, of all windows and doors scheduled for replacement. Labels on condition photos should match those on the context photos above.
- If replacing original or historic wood windows, provide information on the viability of restoration/repair. This must come from a licensed general contractor, architect, or restoration specialist on the provider's letterhead, not from the window supplier/contractor.
- To-scale and labeled floor plans (recommended if new window openings are proposed).
- To-scale, existing and proposed elevation and section drawings for each window type presented side-by-side on the same sheet. Drawings must include annotations and dimensions including the overall window opening, stile, top and bottom rail, meeting rail, muntin, sill, and exterior trim or moulding profiles. Drawings of existing windows must be based on field measurements. For all drawings, the window's relationship to the existing wall plane must also be provided.

**Important Notice:** Manufacturers' standard cut sheets are not an acceptable substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project.

**~~X~~ MAJOR ALTERATIONS, ADDITIONS, NEW CONSTRUCTION, RELOCATION, AND DEMOLITION**

If a major alteration, construction or relocation, or demolition is planned, City staff will notify neighbors within 250 feet of the subject property at least five (5) business days prior to the Preservation Commission hearing. The applicant is responsible for paying the mailing fee.

- **Zoning Analysis Required:** A completed Zoning Analysis must be submitted with the COA application. Zoning staff requires at least 10 business days to complete a zoning analysis. During the height of construction season, zoning analysis reviews may take longer. Applicants must give themselves enough time to request a zoning analysis in order to meet the COA deadline below.
- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Plat of survey that accurately represents the current conditions of the property including the location of existing trees with their size and species identified.
- Drawings that accurately indicate existing conditions and all proposed changes and areas of new work
  - To-scale existing and proposed site plan clearly showing the proposed change(s) with dimensions of proposed features, setbacks from proximate lot lines, material annotations, and approximate location of major structures on adjacent lots.
  - Labeled, color photographs showing all exterior views of the building, structure, and/or site including all areas of proposed work and any areas of deterioration which demonstrate why repair is not possible. If a change in height, scale, or massing is proposed, provide photos of the existing structure in context with the immediate structures on the block to which it is visually related. Google street view or other non-current photos will not be accepted.
  - To-scale, annotated, and dimensioned existing and proposed exterior elevations side-by-side on the same sheet (as possible). Elevations must clearly annotate all building materials, window types, trim types and sizes, etc.
  - If the proposal includes changes or additions to the original roof, include to-scale and annotated existing and proposed roof plans including details such as configuration, slope, overhang dimensions, and the new roof transitions into existing.
  - For new additions and new free-standing construction, 3D drawings, models, or axonometric drawings in context with the primary structure and its immediate surroundings are required. Context includes adjoining structures on adjoining lots. **This requirement may be waived for new garages and smaller accessory structures.**
  - For proposed free-standing construction including ADU's, Coach Houses, and new Principle Structures along streets, block studies showing the visual, massing, and other proportional relationships of the proposed structure to the structures it is visually related to shall be provided.
  - Details or sections if required to explain areas of complexity.
- For proposed demolition, include photos and narratives demonstrating the current conditions that necessitate demolition and why repair or rehabilitation are not possible or being pursued. Depending on the proposal, staff may require a statement from a structural engineer.

**FEE** – Proposals which are referred to the Preservation Commission for review are subject to a preservation fee per Code Section 2-8-16. An invoice will be sent to the applicant following receipt of a complete application. **The invoice must be paid prior to a case being scheduled for review.**

**Links to Additional Information:**

1. [Evanston Preservation Commission Including List of Meeting Dates](#)
2. [Frequently Asked Questions](#)
3. [Procedural Guidelines](#)
4. [Evanston Preservation Program Including Resources for Applicants](#)
5. [Preservation Commission Window Replacement Guidelines](#)
6. [Sample Best Practice Window Replacement Submission](#)
7. [Sample Supplemental Window Drawings](#)
8. [Solar Panel Installation Guidelines](#)



**Zoning Analysis  
Summary**

Review Date: 11.14.24  
By: Cade W. Sterling

**Case Number:**

**Case Status/Determination:**

24ZONA-0139 – 1012 LakeShore

**Compliant**

**Applicant:** Kurt Skrudland

**Plans prepared by:** Kurt Skrudland

**Plans dated:** 11.11.24

**Survey dated:** 7.15.24

**District:** R1

**Proposal:**

New side elevation bay at homes rear volume, and new railing behind existing parapet wall at the homes rear volume at a proposed third-story roof deck at an existing section of flat roof.

**Non-compliant:**

| Code Section | Proposed and Required | Recommendation |
|--------------|-----------------------|----------------|
|--------------|-----------------------|----------------|

**Additional Comments:** Review and approval by the Preservation Commission required. COA Application has already been received and case scheduled for review at the December 10 meeting.

| <b>Principal Use and Structure:</b> |   |
|-------------------------------------|---|
| Cite Code Section                   |   |
| 6-8-2-5                             | Lot size: No Change. 18,383 existing where 7,200 is the minimum required  |
| 6-8-2-6                             | Lot width: No Change. 100' existing where 35' is the minimum required   |
| 6-8-2-7                             | Building Lot Coverage: Compliant. 22.75% where 30% is the maximum permitted   |
| 6-8-2-10                            | Impervious Surface Coverage: Compliant. 42.75% where 45% is the maximum permitted   |
| 6-8-2-9                             | Building Height: No Change. 41.7' where the lesser of 35' or 2.5 stories is the maximum permitted. Legal Non-Conforming.  |
| 6-8-2-8                             | Yards (Setbacks):<br><br>Front: No Change<br><br>Street Side: N/A<br><br>N Interior Side: No Change (proposed bay is being the existing legally conforming side-yard setback).<br><br>S Interior Side: No Change<br><br>Rear: No Change |

BEGINNING STREET #   
 END STREET #   
 STREET # SUFFIX   
 STREET NAME   
 SUFFIX   
 PIN



**LOCAL**  
 WITHIN LOCAL DISTRICT?   
 LOCAL DISTRICT CONTRIB/NON-CONTRIB?   
 LOCAL LANDMARK?  YEAR   
 LOCAL LANDMARK ELIGIBLE?   
 CRITERIA:

**NATIONAL REGISTER**  
 WITHIN NR DISTRICT?   
 NR DISTRICT CONTRIB/NON-CONTRIB?   
 NR LANDMARK?  YEAR   
 NR ELIGIBLE?  CRITERIA

PHOTO ID

PREVIOUSLY SURVEYED?

**GENERAL INFORMATION**

CATEGORY  CURRENT USE   
 CONDITION  HISTORIC USE   
 INTEGRITY  SECONDARY STRUCTURE   
 NRSECOND

**ARCHITECTURAL DESCRIPTION**

|                              |  |                      |   |
|------------------------------|--|----------------------|---|
| ARCHITECTURAL CLASSIFICATION | <input type="text" value="Tudor Revival"/>   | ROOF TYPE            | <input type="text" value="Front gable"/>                        |
| DETAILS                      | <input type="text" value="-"/>               | ROOF MATERIAL        | <input type="text" value="Asphalt - shingle"/>                  |
| CONSTRUCTION YEAR            | <input type="text" value="1894"/>            | FOUNDATION           | <input type="text" value="Stone"/>                              |
| OTHER YEAR                   | <input type="text" value="-"/>               | PORCH                | <input type="text" value="Front"/>                              |
| DATESOURCE                   | <input type="text" value="Building permit"/> | WINDOW MATERIAL      | <input type="text" value="Wood"/>                               |
| WALL MATERIAL (current)      | <input type="text" value="Brick"/>           | WINDOW MATERIAL 2    | <input type="text" value="Leaded glass"/>                       |
| WALL MATERIAL 2 (current)    | <input type="text" value="Stucco"/>          | WINDOW TYPE          | <input type="text" value="Casement/fixe/double hung"/>          |
| PLAN                         | <input type="text" value="Irregular"/>       | WINDOW CONFIGURATION | <input type="text" value="Multi-light; multi/1; 1/1; 1-light"/> |
| NO OF STORIES                | <input type="text" value="2.5"/>             |                      |   |

**SIGNIFICANCE**

**HISTORIC FEATURES**

**ADDRESS**

1012 - LAKE SHORE BOULEVARD

**ALTERATIONS**

Two-story rear addition; some 1-light casement and 1/1 double hung windows may be replacement

**HISTORIC INFORMATION**

**OLD ADDRESS**  
(city dir.year)

-

**ORIGINAL OWNER**

Grepe, John Stanley, owner brass & copper foundry.

**BUILDING MOVED?**

No

**ORIGINAL ARCHITECT**

Spencer & Kendall

**MOVED FROM**

-

**ARCHITECT SOURCE**

BP431

**BUILDER**

Voight, Henry

**ADDITIONAL PHOTOGRAPHS**



PHOTO ID2 \Images\11-19-219-018-0000-2.jpg

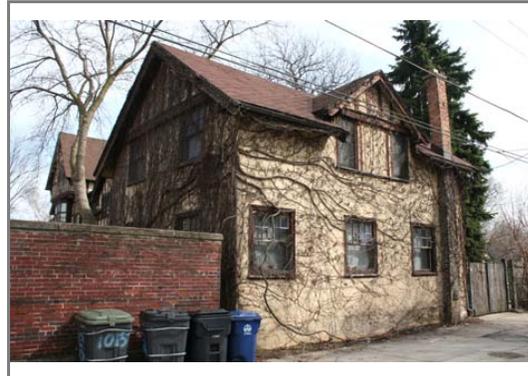


PHOTO ID3 \Images\11-19-219-018-0000-3.jpg

**SURVEYOR**

Lara Ramsey

**SURVEYOR ORGANIZATION**

GRANACKI HISTORIC CONSULTANTS

**SURVEY DATE**

4/4/2011

**Historic Info Compiler**

aoe

**PERMIT/HISTORIC INFORMATION**

**CURRENT ADDRESS**

1012 — - LAKE SHORE BOULEVARD

**OLD ADDRESS**  
(city dir.year)

-

**DATE OF CONSTRUCTION** 1894

**MOVING INFORMATION**

**BUILDING MOVED?** No

**MOVING PERMIT #** - **DATE** -

**MOVED FROM** -

**ORIGINAL PERMIT INFORMATION**

**BLDG PERMIT #** 431 **DATE** 1894.06.02

**BUILDING PERMIT DESCRIPTION** 2-story house 42x63x44 10 rooms

**COST** \$8500

**ORIGINAL OWNER** Grepe, John Stanley, owner brass & copper foundry.

**ORIGINAL OWNER OCCUPIED?** Yes (EvD)

**ORIGINAL ARCHITECT** Spencer & Kendall

**ARCHITECT SOURC** BP431

**BUILDER** Voight, Henry

**EXTERIOR ALTERATION PERMITS**

-

**OTHER PERMIT INFO**

1906 1-story frame shed 12x20x12 \$190. BP8031 1919.10.10  
1 1/2-story frame garage \$3000 o: F S Colburn archt E A Mayo

**COA INFO**

Tear off existing roofing material and replace it in kind with 30-year GAF Timberline shingles (main house and garage) (07)

**HISTORIC INFO**

1966.03.02 Applied for & withdrew application for special use permit to install dwelling unit in accessory building in R1 dist. 2-car garage has gym for owners on 2d floor.

**OTHER SOURCES**

IHSS #153\*. Evanston Landmark (1978). ELHD #193. Real estate photos Hokanson & Jenks 1959; Sherwin 1969 (all EHC).

**HISTORIC INFO COMPILER** aoe

**PRIMARY KEY** 11-19-219-018-0000

**City of EVANSTON**  
LAKESHORE HISTORIC DISTRICT RE-SURVEY  
CONTINUATION SHEET

**STREET #** 1012

**STREET** LAKE SHORE  
BOULEVARD

---

---

**ADDITIONAL PHOTOS OR INFORMATION**

*Historic Features*

Steeply pitched front gable roof with exposed rafter tails and false beams under gable; intersecting 2.5-story north side gable wing along west end of elevation, with leaded glass double hung and casement windows; decorative half timbering on 2<sup>nd</sup> stories and under gables; recessed front porch with heavy wood columns and rustic arched openings; 1-story front gable north side entry bay with brackets, paneled wood door; shallow projecting window bays on 2<sup>nd</sup> story front façade; historic wood casement windows with diamond light transoms on front façade (those in north 2<sup>nd</sup> story window bay look like they've been replaced); wood double hung windows with diamond-pattern leaded glass upper sash on side elevations; some 1-light casement windows and 1/1 wood windows also appear historic; south side gable bay with cutaway corners and overhangs, with half timbering on 2<sup>nd</sup> story and wood-trimmed window bay on 1<sup>st</sup> story



## STATEMENT OF SIGNIFICANCE

The brick ground floor standing above a low freestone sill supports a half timber second story and a high pitched roof whose gable, also half timber, faces the front (east). Projecting to the north is a two-story entrance structure covered by a pitched roof.

The upper story and high attic project over a porch in the front and are sustained by carefully wrought timbers. On the second story, two broad, timber-framed polygonal bays project slightly from the surface. Above them, the sill of the attic's frame projects out to the plane of the front of the projecting bays below. The attic is lit by a strip of four double hung windows whose upper sashes have diagonal lights. The gable rafters are supported by projecting purlins that complement the ends of the projecting struts supporting the attic window's sill. Near the re-entrant angle of the northern projection is a tall chimney that carries up the brick of the ground floor. The brick in this section is laid to produce complex forms and openings.

Except for the placement of asphalt shingles on the roof, the structure appears to be unaltered.

Designed by a Chicago architectural firm that was closely allied to those who formed the Prairie School, this English Half Timber structure shows the concern for natural materials used structurally to form an impressive effect, an important consideration to that group. A large and well designed structure, it has a variety of decorative elements that reveal its proximity in time to the high point (locally) of the Queen Anne style. It is the oldest surviving

## EVANSTON LANDMARK

ADDRESS: 1012 Lake Shore Boulevard

COMMON NAME: Same

REAL ESTATE INDEX NUMBER:

DATE OF CONSTRUCTION: 1894

ARCHITECT OR BUILDER: Spencer and Kendall

ORIGINAL SITE  MOVED

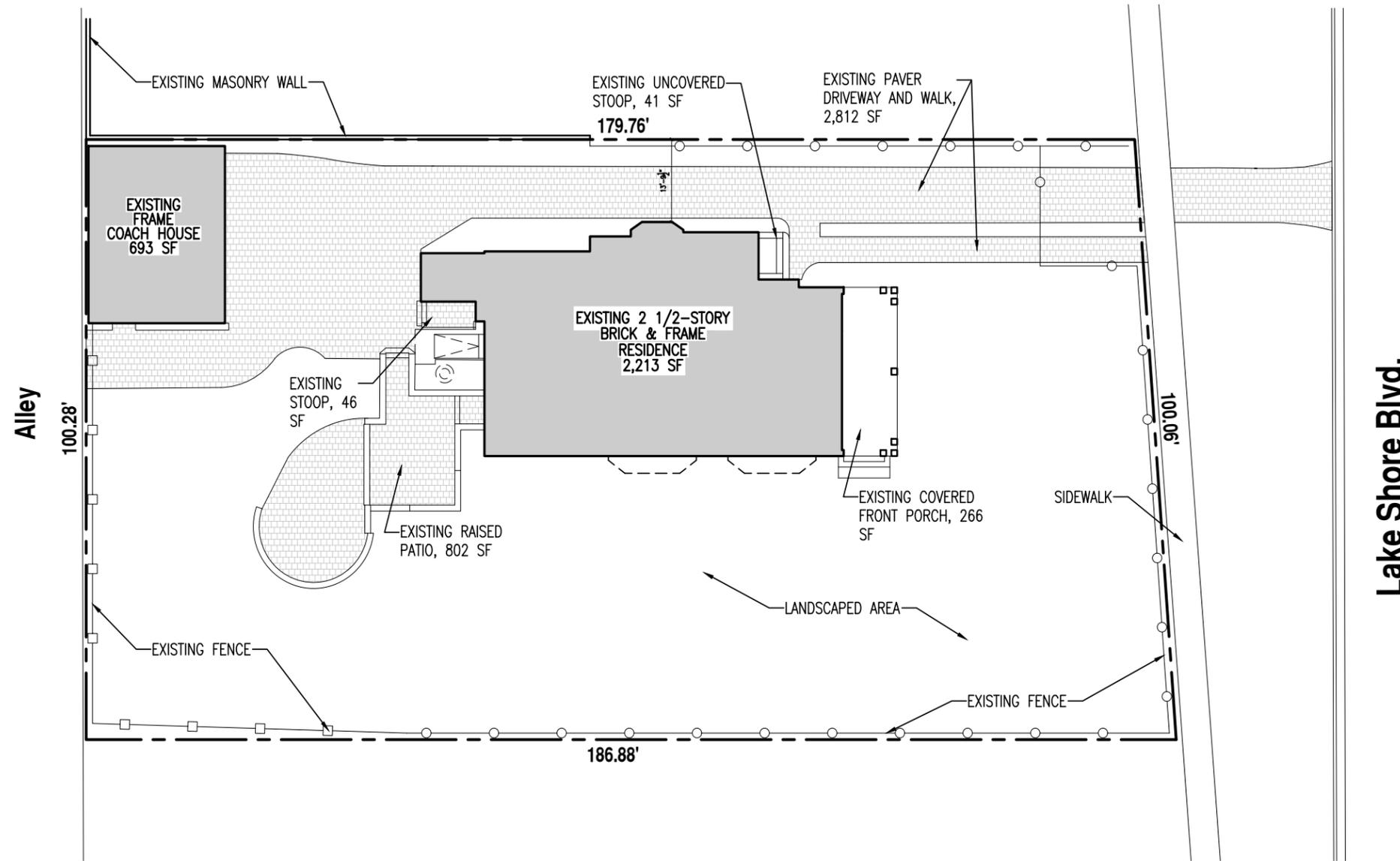
SIGNIFICANCE:

|               |  |  |  |
|---------------|--|--|--|
| HISTORICAL    | <input type="checkbox"/> H1            | <input type="checkbox"/> H2            | <input type="checkbox"/> H3            |
| ARCHITECTURAL | <input checked="" type="checkbox"/> A4 | <input checked="" type="checkbox"/> A5 | <input type="checkbox"/> A6            |
|               | <input type="checkbox"/> A7            | <input type="checkbox"/> A8            | <input checked="" type="checkbox"/> A9 |

OTHER COMMENTS: (Significance cont'd)

structure overlooking the lake in this section of Evanston, and the first English Half Timber house built in Evanston.





**1 Existing Site Plan**

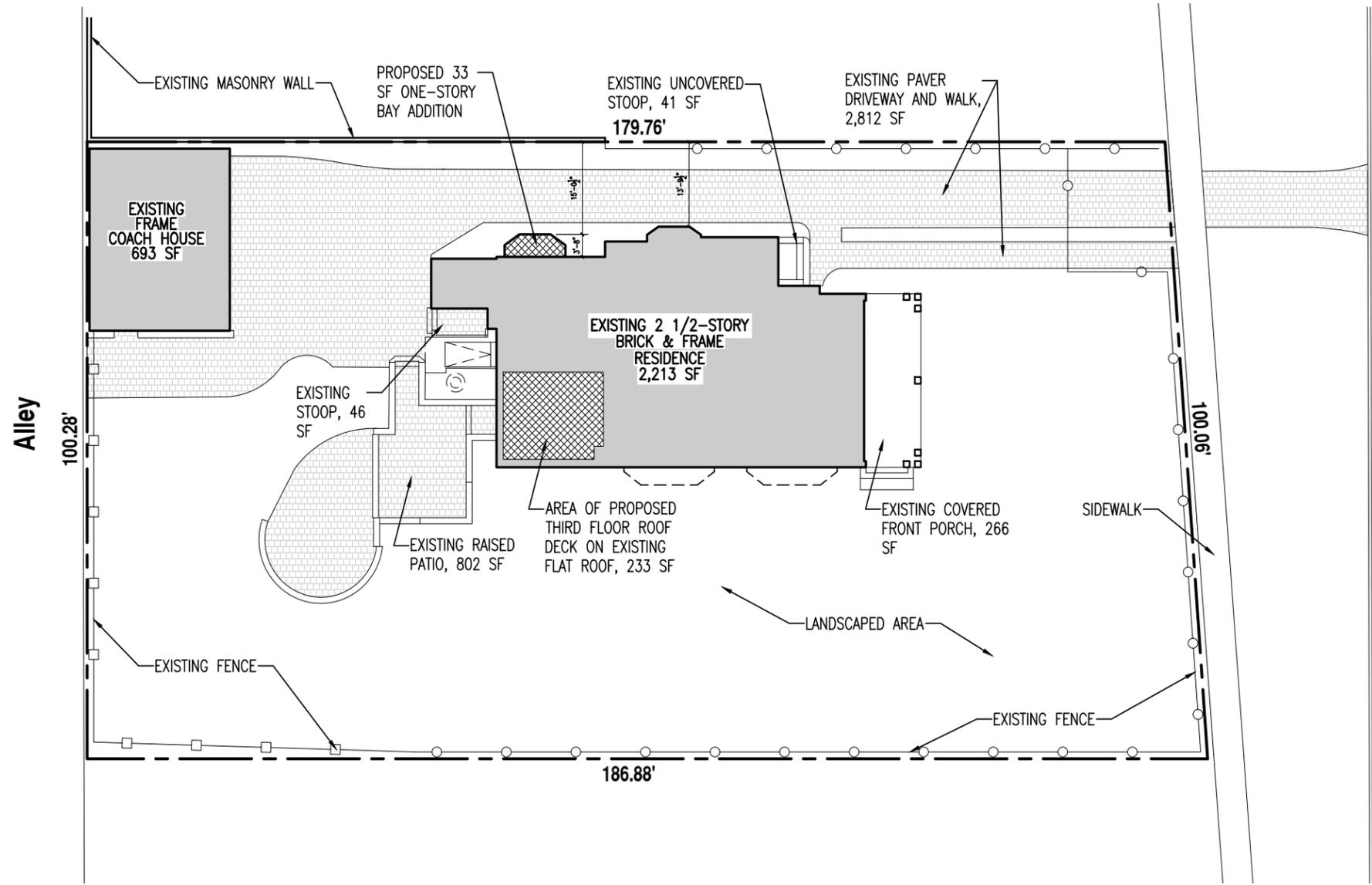
SCALE: 1" = 20'-0"

**PATT-MARFISE RESIDENCE**  
 1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
 DESIGN  
 ASSOCIATES**  
 705 WASHINGTON ST.  
 EVANSTON IL 60202  
 847.864.0595

SHUMAKERDESIGNASSOCIATES.COM



**1 Proposed Site Plan**  
SCALE: 1" = 20'-0"

| BUILDING SETBACKS                |          |          |
|----------------------------------|----------|----------|
|                                  | EXISTING | PROPOSED |
| Front yard                       | 53.9'    | 53.9'    |
| Street side yard (if corner lot) |          |          |
| Interior side yard (1)           | 13.8'    | 13.8'    |
| Interior side yard (2)           | 47.4'    | 47.4'    |
| Rear yard                        | 57.3'    | 57.3'    |

| RESIDENTIAL & TRANSITIONAL CAMPUS DISTRICTS ONLY      |                 |                 |
|---|-----------------|-----------------|
| BUILDING LOT COVERAGE                                 |                 |                 |
|   | EXISTING        | PROPOSED        |
| Principal Structure Footprint (excluding front porch) | 3,172 SF        | 3,205 SF        |
| Roofed Front Porch (receives 50% credit)              | 266 SF          | 266 SF          |
| Detached Garage Footprint                             | 693 SF          | 693 SF          |
| Other Accessory Structures' Footprints                |                 |                 |
| Other Roofed Areas                                    |                 |                 |
| <b>TOTAL BUILDING LOT COVERAGE</b>                    | <b>4,131 SF</b> | <b>4,164 SF</b> |

| IMPERVIOUS SURFACE COVERAGE (hard surfaced areas not under a roof: asphalt, concrete, decks, brick pavers, etc.) |                 |                 |
|--|-----------------|-----------------|
|  | EXISTING        | PROPOSED        |
| Patios & Terraces (brickwork receives 20% credit)  | 802 SF          | 802 SF          |
| Sidewalks  |                 |                 |
| Driveways  | 2,812 SF        | 2,812 SF        |
| Decks  |                 |                 |
| Stairs/Landings  | 87 SF           | 87 SF           |
| Other Impervious Areas   |                 |                 |
| SUB-TOTAL  | 3,701 SF        | 3,701 SF        |
| + Building Lot Coverage  | 4,131 SF        | 4,164 SF        |
| <b>TOTAL IMPERVIOUS SURFACE AREA</b>   | <b>7,832 SF</b> | <b>7,865 SF</b> |

| BUILDING HEIGHT                          |          |          |
|--|----------|----------|
|  | EXISTING | PROPOSED |
| Principal Structure - Peak Height        | 41.7 SF  | 41.7 SF  |
| Principal Structure - Number of Stories  | 3        | 3        |
| Detached Garage - Peak Height            | 21 FEET  | 21 FEET  |
| Other Accessory Structures - Peak Height |          |          |

**Lake Shore Blvd.**

**PATT-MARFISE RESIDENCE**  
1012 Lake Shore Blvd. Evanston, IL 60202

**SHUMAKER  
DESIGN  
ASSOCIATES**  
705 WASHINGTON ST.  
EVANSTON IL 60202  
347.864.0595  
SHUMAKERDESIGNASSOCIATES.COM

18 November 2024



View #1



View #2

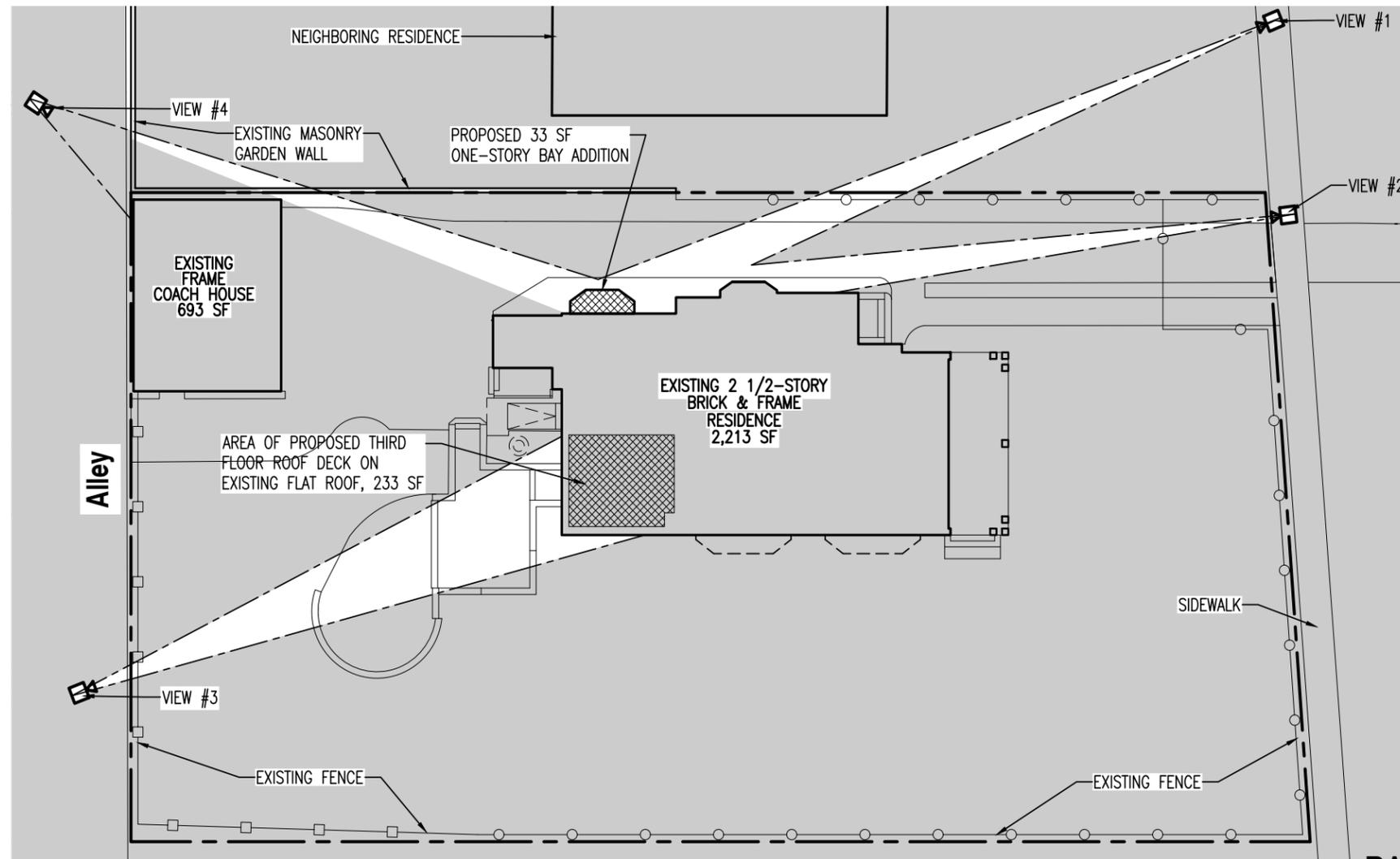


View #3



View #4

LOCATION OF XISTING ROOF DECK WITH NEW RAILING



NEW FIRST FLOOR BAY

View #5 New Bay Perspective



# 1 Views from Public Way

SCALE: 1" = 20'-0"

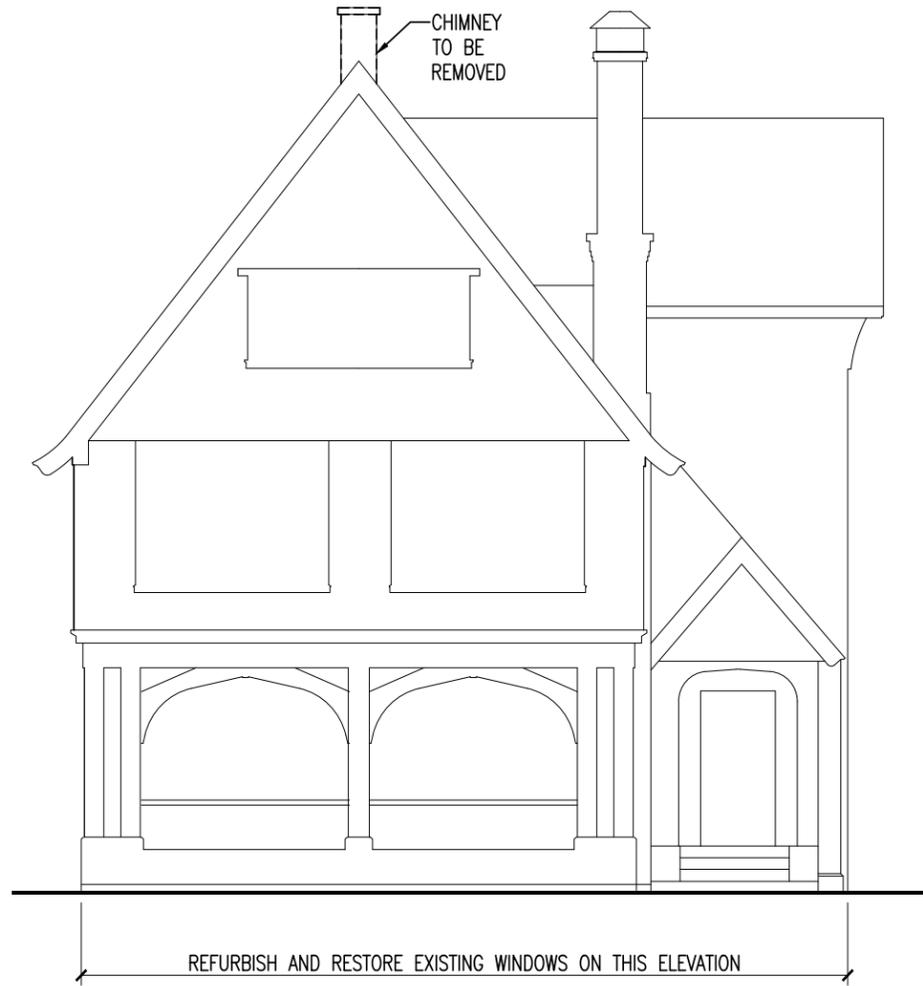
**PATT-MARFISE RESIDENCE**  
1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
DESIGN  
ASSOCIATES**

705 WASHINGTON ST.  
EVANSTON IL 60202  
847.864.0595

SHUMAKERDESIGNASSOCIATES.COM



**Existing East Elevation**

SCALE: 1/8" = 1'-0"



**Photo of Ridge Chimney**



**Photo of Ridge Chimney**

**PATT-MARFISE RESIDENCE**

1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
DESIGN  
ASSOCIATES**

705 WASHINGTON ST.  
EVANSTON IL 60202  
847.864.0595

SHUMAKERDESIGNASSOCIATES.COM



Photo of Bay Area Looking West



Photo of Bay Area Looking South



Photo of Bay Area Looking East

**PATT-MARFISE RESIDENCE**

1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

|   |
|---|
| <p><b>SHUMAKER<br/>DESIGN<br/>ASSOCIATES</b></p> <p>705 WASHINGTON ST.<br/>EVANSTON IL 60202</p> <p>847.864.0595</p> <p><small>SHUMAKERDESIGNASSOCIATES.COM</small></p> |
|---|



### Existing North Elevation

SCALE: 1/8" = 1'-0"

### PATT-MARFISE RESIDENCE

1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
DESIGN  
ASSOCIATES**

705 WASHINGTON ST.  
EVANSTON IL 60202  
847.864.0595

SHUMAKERDESIGNASSOCIATES.COM



**Partial Existing North Elevation**

SCALE: 3/16" = 1'-0"



**Partial Proposed North Elevation**

SCALE: 3/16" = 1'-0"

**PATT-MARFISE RESIDENCE**

1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
DESIGN  
ASSOCIATES**

705 WASHINGTON ST.  
EVANSTON IL 60202  
847.864.0595

SHUMAKERDESIGNASSOCIATES.COM



Photo of Deck Railing Looking East



Photo of Deck Railing Looking North

**PATT-MARFISE RESIDENCE**  
 1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
 DESIGN  
 ASSOCIATES**  
 705 WASHINGTON ST.  
 EVANSTON IL 60202  
 847.864.0595

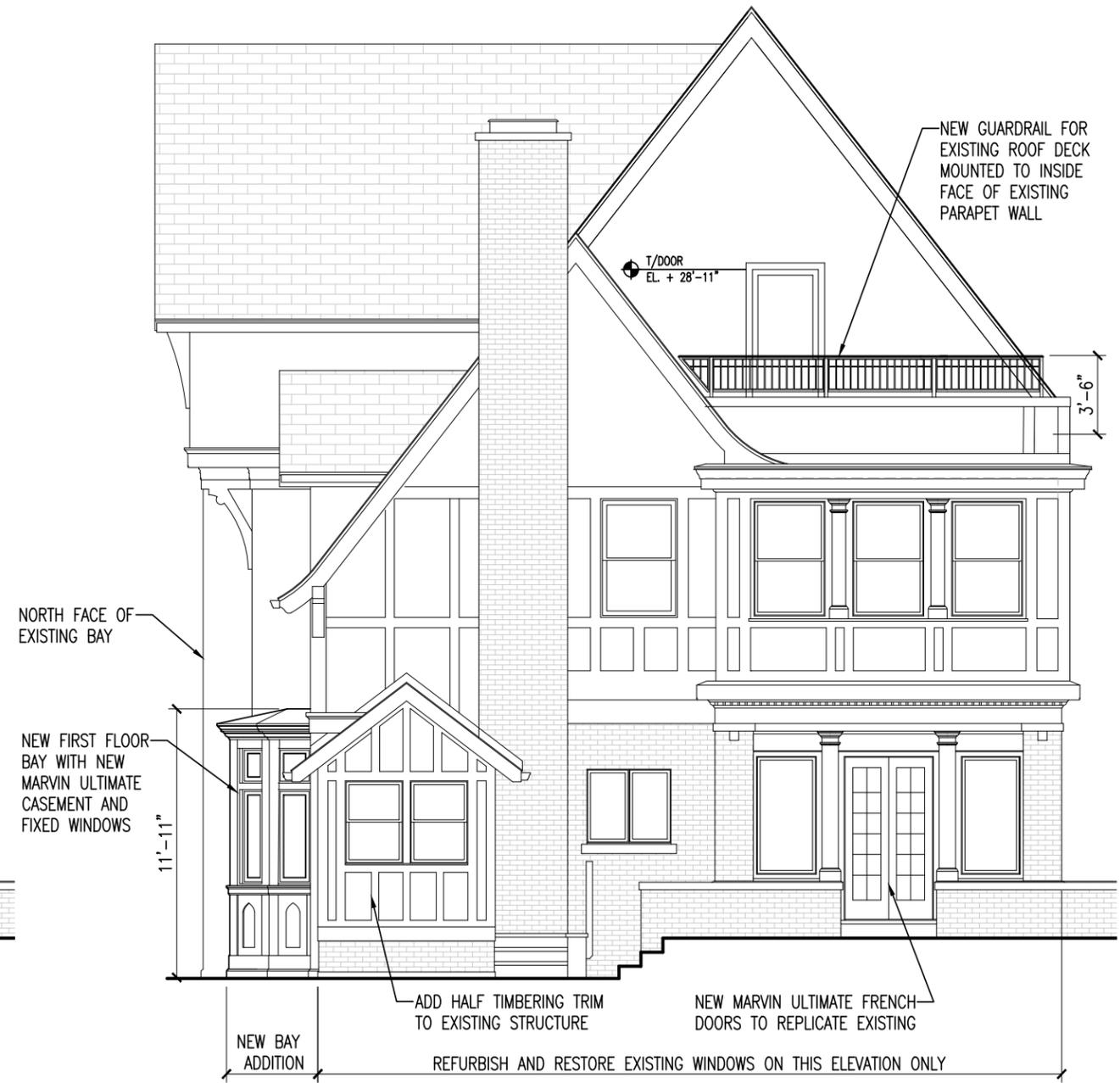
SHUMAKERDESIGNASSOCIATES.COM



EXISTING FRENCH DOORS TO BE REPLACED

### Existing West Elevation

SCALE: 3/16" = 1'-0"



### Proposed West Elevation

SCALE: 3/16" = 1'-0"

### PATT-MARFISE RESIDENCE

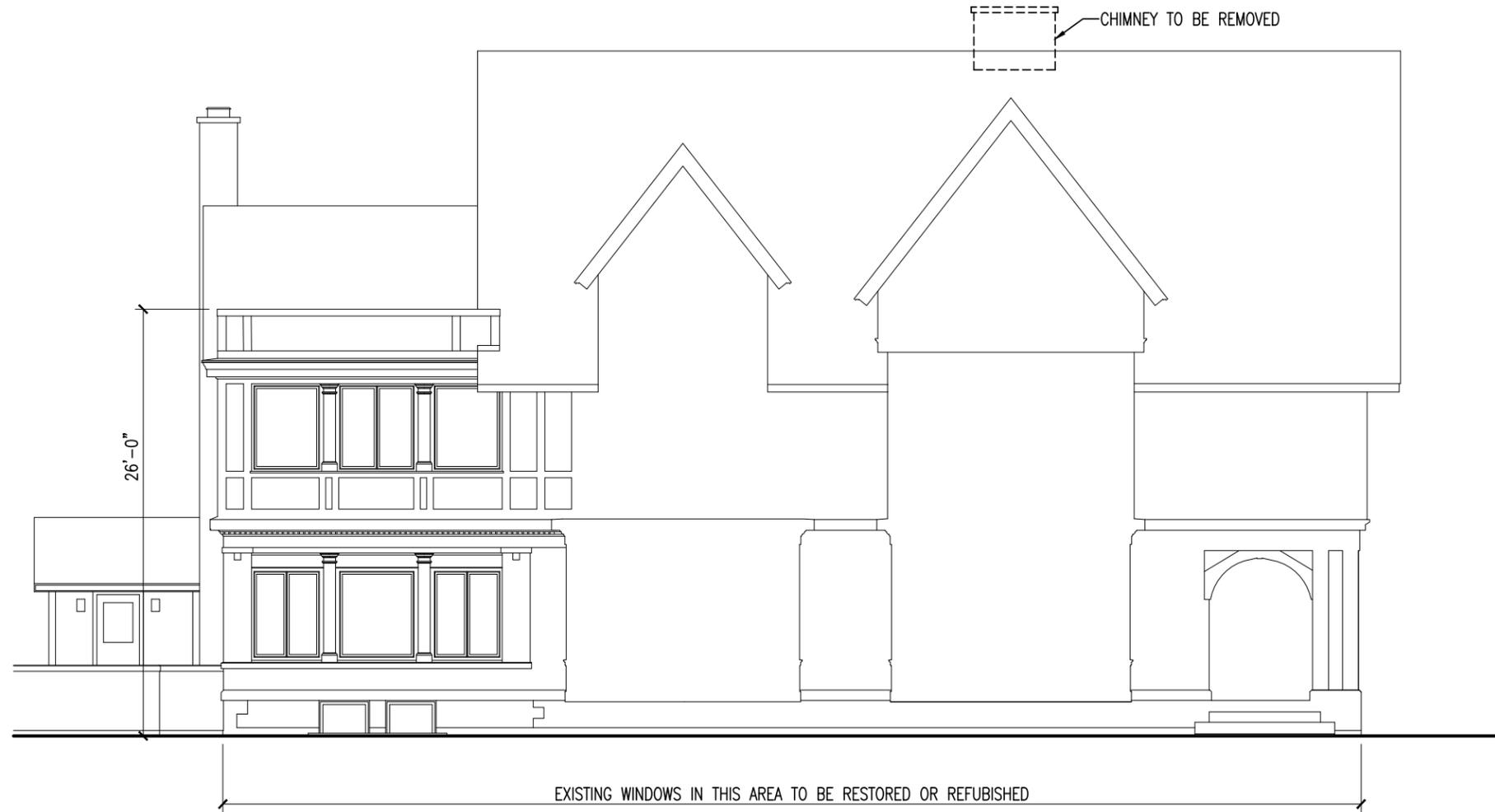
1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
DESIGN  
ASSOCIATES**

705 WASHINGTON ST.  
EVANSTON IL 60202  
847.864.0595

SHUMAKERDESIGNASSOCIATES.COM



**Existing South Elevation**

SCALE: 1/8" = 1'-0"

**PATT-MARFISE RESIDENCE**

1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
DESIGN  
ASSOCIATES**

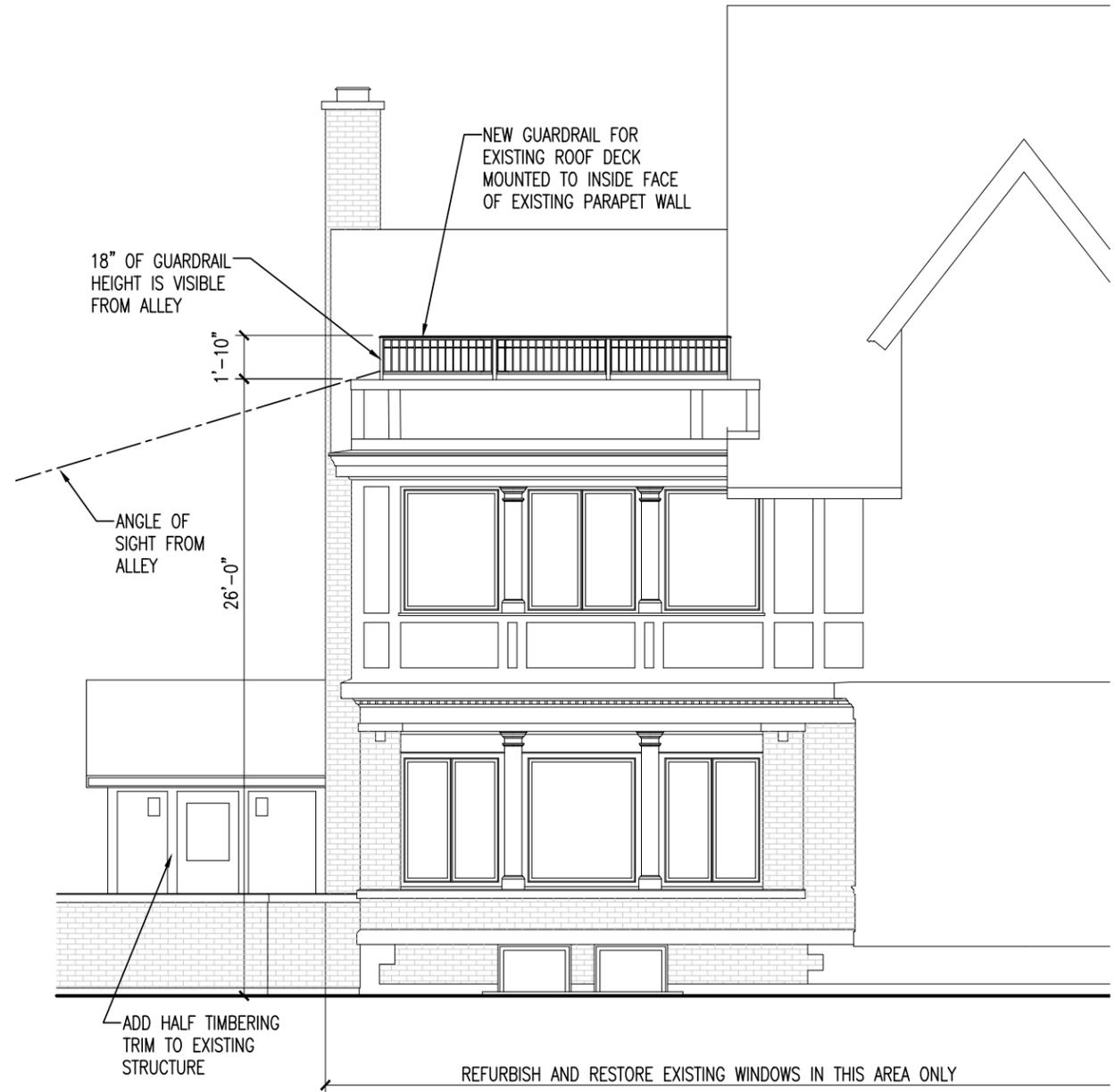
705 WASHINGTON ST.  
EVANSTON IL 60202  
847.864.0595

SHUMAKERDESIGNASSOCIATES.COM



**Existing South Elevation**

SCALE: 3/16" = 1'-0"



**Proposed South Elevation**

SCALE: 3/16" = 1'-0"

**PATT-MARFISE RESIDENCE**

1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024

**SHUMAKER  
DESIGN  
ASSOCIATES**

705 WASHINGTON ST.  
EVANSTON IL 60202

847.864.0595

SHUMAKERDESIGNASSOCIATES.COM



# ULTIMATE CASEMENT STYLES

## FULL FRAME OR NARROW FRAME

The Ultimate Casement and Ultimate Casement Narrow Frame windows are the most versatile and innovative casement windows ever produced. Featuring concealed multi-point locks, a patented Wash Mode, and durable hardware that operates smoothly even at the largest sizes.



**ULTIMATE CASEMENT**  
A recessed sash for a traditional look, plus a full jamb offers design flexibility for new construction or full frame replacement.



**ULTIMATE CASEMENT NARROW FRAME**  
A flush sash to the exterior and narrow jamb depth make this window an easy choice for frame-in-frame replacement or more contemporary new construction applications.

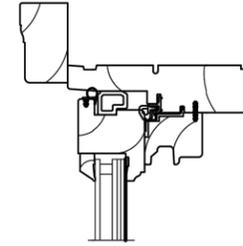


ULTIMATE CASEMENT EXTERIOR VIEW WITH 4 1/4" FULL JAMB

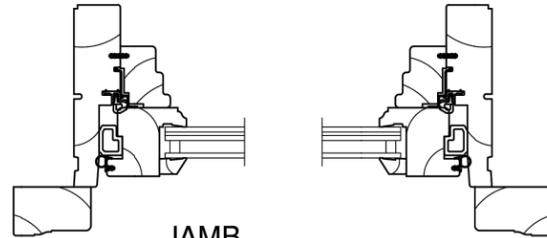
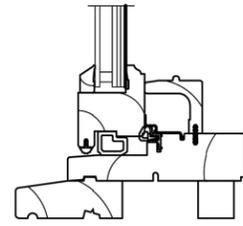


ULTIMATE CASEMENT NARROW FRAME EXTERIOR VIEW WITH 2 3/4" NARROW JAMB

**JAMBS + PROFILES**  
The Ultimate Casement has a recessed sash for a traditional or historic look. The Ultimate Casement Narrow Frame has a flush-to-frame sash for a contemporary look.



HEAD & SILL



JAMB

## 1 PROPOSED WINDOW DETAILS

SCALE: 1" = 1'-0"

**SHUMAKER  
DESIGN  
ASSOCIATES**

705 WASHINGTON ST.  
EVANSTON IL 60202  
847.864.0595

SHUMAKERDESIGNASSOCIATES.COM

## PATT-MARFISE RESIDENCE

1012 Lake Shore Blvd. Evanston, IL 60202

18 November 2024



# STAFF REPORT

To: Members of the Preservation Commission  
From: Cade W. Sterling, Planner  
Subject: 1314 Judson Avenue - Lakeshore Historic District - 24PRES-0170  
Date: December 3, 2024

## Public Notice

Jeanie Petrick, architect and applicant on behalf of the property owner, submit for a Certificate of Appropriateness to raise the ceiling height and alter the roof form of an existing two-story addition to the structures south elevation, alter the homes pattern of fenestration including replacement windows in existing and new openings, and truncating the existing volume and roof of a rear elevation screened porch.

**Applicable Standards:** Alteration [1-10]; and Construction [1-8; 10-13; and 15].

## Construction Period:

Circa 1884

## Style:

Stick Style

## Architect of Record:

Unknown

## Condition:

Good

## Integrity:

Fair

## Status:

Contributing

Setting:

1314 Judson Avenue is located in the northwest portion of the Lakeshore Historic District on the west side of Judson Avenue mid-block between Greenwood Street to the north and Dempster Street to the south. The block was predominantly developed at the turn of the century with some early 1870 examples of vernacular housing and a high-styled Gothic Revival landmark at 1325 Judson Avenue. The majority of homes built in the Queen Anne style and more working class and vernacular Gable Front homes and cottages with sympathetic forms but spare detailing and ornamentation. The block retains significant integrity of setting and contains seven landmarked homes.

Significance:

The home is within the Districts period of significance, and contributes to its historic character by way of its compatible form, massing, materials, and spare detailing, being representative in form of a vernacular housing type once common throughout the City and a good example of a more refined or spare Stick Style with historic alterations that is uncommon throughout Evanston.

Stick Style:

The Stick Style is a transitional style between the preceding Gothic Revival and the subsequent and heavily popularized Queen Anne. Stick style homes are often Gothic in their overall massing and verticality but look toward the Queen Anne in their complexity both in form and in detailing and use of materials. Unlike Gothic Revival houses, the Stick Style stressed the wall surface itself as a decorative element, rather than as a plane surface, with decorative detailing applied around the windows, doors, or gables. Patterned wall treatment was carried even further in the Queen Anne Style. Like the Italianate and Gothic Revival styles, the Stick Style was popularized through house pattern books. Examples were commonly found in pattern books published in the 1860s and 1870s, but the style did not reach Evanston until the 1880s. The style, however, was far less widespread than the closely related Queen Anne style that was to replace it.

Typified by gabled roofs, Stick Style houses often have decorative trusses or other ornamental elements at the apex of the gable. The walls are typically clad in shingles or clapboards, interrupted by patterns of horizontal, vertical, or diagonal boards creating, "sticking", calling attention to the homes underlying framing.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commission's discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

**Alteration**

1. Every reasonable effort shall be made to adapt the property, structure, site, or object in a manner that requires minimal alteration of the property, structure, site, or object and its environment.

2. The distinguishing original qualities or character of a property, structure, site, or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.

3. All properties, structures, sites, and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.

4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.

7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.

10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

### **Construction**

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

2. *Proportion of facades.* The relationship of the width to the height of facades shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.

3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

6. *Rhythm of entrance porches, storefront recesses and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.

8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.

10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or non-directional character.

12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.

13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future,

the essential form and integrity of the historic property and its environment would be unimpaired.



# Application for Certificate of Appropriateness (COA)

**NOTICE:** This form is not a permit application.

**Application Required:** This application is required for all scopes of exterior work, including minor, major, and window/door replacement projects affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when work is visible from the public way (street, alley, sidewalk, or other parcel of land appropriated to the public for public use).

**Submission Deadline:** To ensure timely processing of your application, submit this application no less than **15 business days** before the second Tuesday of each month. **Incomplete applications will not be accepted.** Refer to the **Submittal Requirements, pages within this application to ensure completeness.** Upon receipt of your application, staff will determine whether the proposal can be reviewed administratively, or whether it will be referred to the Preservation Commission for review and action. Completed applications referred to the Commission will be scheduled for review at the next available meeting as long as all required information is provided by the deadline and the number of items on the agenda allows.

**For more information:** It is encouraged, but not required, to meet with staff to review submittal requirements prior to submitting. To set up a meeting or to answer any questions as to which requirements apply to your project, please contact Cade W. Sterling at (847) 448-8231 or email: csterling@cityofevanston.org

### Section A. Required Information (Print Clearly)

|   |           |  |   |
|---|-----------|--|---|
| 1) <b>Property Address:</b> 1314 Judson Avenue, Evanston  |           | <b>FOR STAFF USE ONLY</b><br>Application Number: |   |
| 2) <b>Applicant's Name:</b> Jeanie Petrick  |           | Address: 1326 Asbury Avenue                      |   |
| City: Evanston  | State: IL | Zip: 60201                                       | Phone: 8477215975 Email: petrickj@yahoo.com |
| 3) <b>Owner's Name:</b> Kristen & Gus Granchalek  |           | Address: 1314 Judson Avenue, Evanston            |   |
| City: Evanston  | State:    | Zip:   | Phone: Email: kmgranchalek@gmail.com        |
| 4) <b>Applicant's Relationship to the Owner:</b> <input type="checkbox"/> Same <input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Other:  |           |  |   |
| 5) <b>Landmark:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |           |  |   |
| 6) <b>Within Local Historic District:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No;<br>If yes, <input checked="" type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Woman's Christian Temperance Union  |           |  |   |
| 7) <b>Refer to the completed Zoning Analysis and check as applicable if your project requires:</b><br><input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Special Use; <input type="checkbox"/> Planned Development → <b>If any are checked, additional submission requirements may apply. A member of the Planning &amp; Zoning Division will contact you.</b>                                    |           |  |   |
| 8) <b>Acknowledgement of Potential Archaeological Resources:</b> <input checked="" type="checkbox"/> I acknowledge that if any archaeological materials are encountered during construction, I will stop work and notify the Planning & Zoning Division immediately. An approved Certificate of Appropriateness is not a clearance for purposes of the Illinois Human Remains Protection Act as amended. (20 ILCS 3440) |           |  |   |
| 9) <b>Applicants Signature:</b> I acknowledge that I understand the requirements for what constitutes a complete application and affirm that the requirements for a complete application have been met.   |           |  |   |
| <i>Jeanie Petrick</i>   |           |  | Date: 15 sept 2024                          |

## Section B: Application for Certificate of Appropriateness

1) Describe, in detail, the proposed activity and reason for requesting a Certificate of Appropriateness.

Attach a separate sheet or sheets if necessary.

We are wanting to remodel and add to the existing residence. Main areas of remodel are the kitchen, family room, deck, second floor bathrooms and extended the ceiling height of the existing sleeping dorm to make for a 4 season office. This would include replacing the existing single pane glass windows with a simialr new window and transom window. We will raise the roof and change it to a 4 sided pitch roof. The wood deck is adjacent to the new family room and open pan kitchen for maximum visible and direct connection to nature and backyard.for this family of 5.

2) Select the three standards from the [Binding Review Standards](#) that you believe are most relevant to your proposal. Then describe, in detail, how your proposal meets the standards you have selected.

Attach a separate sheet or sheets if necessary.

(For assistance selecting relevant standards contact Cade W. Sterling, City of Evanston Preservation Planner: [casterling@cityofevanston.org](mailto:casterling@cityofevanston.org) or 847-448-8231.)

Probably the most applicable review standards that were considered during design period are #1, #2 and #5

1. We considered the minimum changes to the exterior of the home while providing the functions needed for a 21st century growing family.
2. We are relocating the ornate leaded glass windows in existing dining room and moving into the proposed family room at similar height and location.
5. While developing the drawings we considered the proportions and materials of existing windows, doors, trim. The house functions better for the homeowners and still maintains the essence of the original design.

## CERTIFICATE OF APPROPRIATENESS SUBMITTAL REQUIREMENTS

### REPAIR, REPLACEMENT, RE-POINTING, SOLAR INSTALLATION, AND SITEWORK INCLUDING NEW PATIOS, TERRACES, OR WALKWAYS

- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Plat of survey that accurately represents current conditions of the property.
- As applicable, provide a to-scale existing and proposed site plan (roof plan for solar installation) clearly showing the proposed change(s) with dimensions of proposed features, setbacks from proximate lot lines, and material annotations. An aerial image or birds eye photo with areas of work identified will be sufficient for proposed roof replacement and re-pointing.
- Labeled, color photographs showing all exterior views of the building, structure, and/or site including all areas of proposed work and any areas of deterioration. Google street view or other non-current photos will not be accepted.
- If materials are being proposed for repair or replacement that are other than an exact match to original, physical or visual samples or manufacturer brochures must be submitted.
- Any additional information that is requested after your initial consultation with staff or as requested by the Commission's Pre-Application Review Subcommittee.

**FENCES** – Provide a plat of survey with the existing and proposed fence and gate location(s) clearly identified. Include photos of the existing fence and any gates, and an illustration or sample photo of the proposed fence and gate style(s).

### REPLACEMENT OF WINDOWS, DOORS, and SKYLIGHTS

Due to the sensitivity required for window and door replacement, the Commission has created additional resources for applicants (available following the links below or accessing the Preservation Commissions webpage) including separate design guidelines, a sample best practice submission, and sample drawings for wood and steel windows.

- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Context photos of all impacted elevations with the location of new or altered windows/doors labeled by number and by type. If there are typical windows (more than one of the same size material, and operating style), label each window type A,B,C etc. If there are multiple windows for a single type, those would be labeled as, 1A, 2A, 3A etc. Google street view or other non-current photos will not be accepted.
- Condition photos, interior and exterior, of all windows and doors scheduled for replacement. Labels on condition photos should match those on the context photos above.
- If replacing original or historic wood windows, provide information on the viability of restoration/repair. This must come from a licensed general contractor, architect, or restoration specialist on the provider's letterhead, not from the window supplier/contractor.
- To-scale and labeled floor plans (recommended if new window openings are proposed).
- To-scale, existing and proposed elevation and section drawings for each window type presented side-by-side on the same sheet. Drawings must include annotations and dimensions including the overall window opening, stile, top and bottom rail, meeting rail, muntin, sill, and exterior trim or moulding profiles. Drawings of existing windows must be based on field measurements. For all drawings, the window's relationship to the existing wall plane must also be provided.

**Important Notice:** Manufacturers' standard cut sheets are not an acceptable substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project.

**□ MAJOR ALTERATIONS, ADDITIONS, NEW CONSTRUCTION, RELOCATION, AND DEMOLITION**

If a major alteration, construction or relocation, or demolition is planned, City staff will notify neighbors within 250 feet of the subject property at least five (5) business days prior to the Preservation Commission hearing. The applicant is responsible for paying the mailing fee.

- **Zoning Analysis Required:** A completed Zoning Analysis must be submitted with the COA application. Zoning staff requires at least 10 business days to complete a zoning analysis. During the height of construction season, zoning analysis reviews may take longer. Applicants must give themselves enough time to request a zoning analysis in order to meet the COA deadline below.
- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Plat of survey that accurately represents the current conditions of the property including the location of existing trees with their size and species identified.
- Drawings that accurately indicate existing conditions and all proposed changes and areas of new work
  - To-scale existing and proposed site plan clearly showing the proposed change(s) with dimensions of proposed features, setbacks from proximate lot lines, material annotations, and approximate location of major structures on adjacent lots.
  - Labeled, color photographs showing all exterior views of the building, structure, and/or site including all areas of proposed work and any areas of deterioration which demonstrate why repair is not possible. If a change in height, scale, or massing is proposed, provide photos of the existing structure in context with the immediate structures on the block to which it is visually related. Google street view or other non-current photos will not be accepted.
  - To-scale, annotated, and dimensioned existing and proposed exterior elevations side-by-side on the same sheet (as possible). Elevations must clearly annotate all building materials, window types, trim types and sizes, etc.
  - If the proposal includes changes or additions to the original roof, include to-scale and annotated existing and proposed roof plans including details such as configuration, slope, overhang dimensions, and the new roof transitions into existing.
  - For new additions and new free-standing construction, 3D drawings, models, or axonometric drawings in context with the primary structure and its immediate surroundings are required. Context includes adjoining structures on adjoining lots. **This requirement may be waived for new garages and smaller accessory structures.**
  - For proposed free-standing construction including ADU's, Coach Houses, and new Principle Structures along streets, block studies showing the visual, massing, and other proportional relationships of the proposed structure to the structures it is visually related to shall be provided.
  - Details or sections if required to explain areas of complexity.
- For proposed demolition, include photos and narratives demonstrating the current conditions that necessitate demolition and why repair or rehabilitation are not possible or being pursued. Depending on the proposal, staff may require a statement from a structural engineer.

**□ FEE –** Proposals which are referred to the Preservation Commission for review are subject to a preservation fee per Code Section 2-8-16. An invoice will be sent to the applicant following receipt of a complete application. **The invoice must be paid prior to a case being scheduled for review.**

**Links to Additional Information:**

1. [Evanston Preservation Commission Including List of Meeting Dates](#)
2. [Frequently Asked Questions](#)
3. [Procedural Guidelines](#)
4. [Evanston Preservation Program Including Resources for Applicants](#)
5. [Preservation Commission Window Replacement Guidelines](#)
6. [Sample Best Practice Window Replacement Submission](#)
7. [Sample Supplemental Window Drawings](#)
8. [Solar Panel Installation Guidelines](#)

BEGINNING STREET #

END STREET #

STREET # SUFFIX

STREET NAME

SUFFIX

PIN



**LOCAL**

WITHIN LOCAL DISTRICT?

LOCAL DISTRICT CONTRIB/NON-CONTRIB?

LOCAL LANDMARK?  YEAR

LOCAL LANDMARK ELIGIBLE?

CRITERIA:

**NATIONAL REGISTER**

WITHIN NR DISTRICT?

NR DISTRICT CONTRIB/NON-CONTRIB?

NR LANDMARK?  YEAR

NR ELIGIBLE?  CRITERIA

PHOTO ID

ALTERNATE ADDRESS?

**GENERAL INFORMATION**

CATEGORY  CURRENT USE

CONDITION  HISTORIC USE

INTEGRITY  SECONDARY STRUCTURE

NRSECOND

**ARCHITECTURAL DESCRIPTION**

|                              |   |                      |   |
|------------------------------|---|----------------------|---|
| ARCHITECTURAL CLASSIFICATION | <input type="text" value="Stick Style (altered)"/>          | ROOF TYPE            | <input type="text" value="Multi-gable"/>                |
| DETAILS                      | <input type="text"/>  | ROOF MATERIAL        | <input type="text" value="Asphalt - shingle"/>          |
| CONSTRUCTION YEAR            | <input type="text" value="1884 (circa)"/>                   | FOUNDATION           | <input type="text" value="Stone"/>                      |
| OTHER YEAR                   | <input type="text" value="1907/1946"/>                      | PORCH                | <input type="text" value="Front entry"/>                |
| DATESOURCE                   | <input type="text" value="Tract book; alteration permits"/> | WINDOW MATERIAL      | <input type="text" value="Wood; glass block"/>          |
| WALL MATERIAL (current)      | <input type="text" value="Stucco"/>                         | WINDOW MATERIAL 2    | <input type="text" value="Aluminum/vinyl"/>             |
| WALL MATERIAL 2 (current)    | <input type="text"/>  | WINDOW TYPE          | <input type="text" value="Double hung; fixed"/>         |
| PLAN                         | <input type="text" value="Irregular"/>                      | WINDOW CONFIGURATION | <input type="text" value="6/6; 1/1; 9/9; multi-light"/> |
| NO OF STORIES                | <input type="text" value="2.5"/>                            |                      |   |

SIGNIFICANCE

HISTORIC FEATURES

**ADDRESS**

1314 JUDSON AVENUE

**ALTERATIONS**

See HISTORIC FEATURES for historic alterations to house--fixed shutters on façade; 1-story SE corner addition; some 1/1 windows on side elevations appear to be non-historic replacements--SEE CONTINUATION SHEET

**HISTORIC INFORMATION**

**OLD ADDRESS (city dir.year)**

214n Judson Ave (Mershon), Village of Evanston. In 1893 the City of Evanston renumbered the once-separate villages of Evanston (n) & South Evanston (s).

**ORIGINAL OWNER**

Mershon, Stephen L.(?)

**ORIGINAL ARCHITECT**

**ARCHITECT SOURCE**

**BUILDER**

**BUILDING MOVED?** No

**MOVED FROM**

**ADDITIONAL PHOTOGRAPHS**



PHOTO ID2 \Images\11-18-419-015-0000-2.jpg



PHOTO ID3 \Images\11-18-419-015-0000-3.jpg

**OTHER PINS**

**SURVEYOR**

Lara Ramsey

**SURVEYOR ORGANIZATION**

GRANACKI HISTORIC CONSULTANTS

**SURVEY DATE**

2/28/2012

**Historic Info Compiler**

aoe

**SURVEYAREA**

EVANSTON LAKESHORE PHASE II

**PERMIT/HISTORIC INFORMATION**

**CURRENT ADDRESS**

1314 JUDSON AVENUE

**OLD ADDRESS (city dir.year)**

214n Judson Ave (Mershon), Village of Evanston. In 1893 the City of Evanston renumbered the once-separate villages of Evanston (n) & South Evanston (s).

**DATE OF CONSTRUCTION** 1884 (circa)

**MOVING INFORMATION**

**BUILDING MOVED?** No

**MOVING PERMIT #** **DATE**

**MOVED FROM**

**ORIGINAL PERMIT INFORMATION**

**BLDG PERMIT #** Tract Book **DATE** 1884?

**BUILDING PERMIT DESCRIPTION** [2½-story dwelling on 1899 Sanborn map]

**COST**

**ORIGINAL OWNER** Mershon, Stephen L.(?)

**ORIGINAL OWNER OCCUPIED?** yes if Mershon (1884EvD)

**ORIGINAL ARCHITECT**

**ARCHITECT SOURC**

**BUILDER**

**EXTERIOR ALTERATION PERMITS**

BP3080, 1907.09.05, alter & add 38x56x36, 9 rooms (incl bathrm) \$5000, owner Scudder, archt WM Walter, carp WM Carter. BP24792, 1946.03.20, WRECK front porch; new front entry, enlarge & enclose side porch \$500, owner Ralph Lane.

**OTHER PERMIT INFO**

BP12572, 1924.06.25, WRECK frame garage 25x20x25, owner WT Scudder. BP12614, 1924.07.08, 2-story stucco garage 33x20x20'h \$1500, owner/carp WT Scudder, archt JH Bristle. BP25073, 1946.09.26, improve & add dormer to 2d floor garage apt, owner RH Lane.

**COA INFO**

2011 - Strip asphalt shingled roof to wood. Apply new asphalt shingled roof. Replace existing stockade wood fence in kind (6' H x 93' L), located along the north side property line.

**HISTORIC INFO**

Stephen L. Mershon bought Lot 6 Block 37 in 1884 (Tract Book).

**OTHER SOURCES**

ELHD n/a. PHOTO at EHC: Sadler & Hultman 1954; George J. Cyrus & Co 1971.

**HISTORIC INFO COMPILER** ace

**City of EVANSTON**  
LAKESHORE HISTORIC DISTRICT RE-SURVEY  
CONTINUATION SHEET

STREET # 1314

STREET JUDSON AVENUE

---

**ADDITIONAL PHOTOS OR INFORMATION**

*Historic Features*

Front gable bay intersected on north and south sides by 2.5-story side gable bays; south bay features 2<sup>nd</sup> story overhang, 1<sup>st</sup> and 2<sup>nd</sup>-story multi-light windows, 1<sup>st</sup> story cutaway corners; 1-story south side window bay (2<sup>nd</sup> story added later); north side gable features delicate corner brackets and verge board.

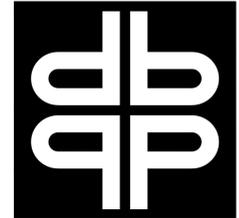
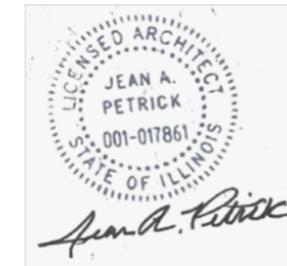
Historic alterations dating from 1907 (see building permit and 1920 Sanborn map) include stucco cladding; 2<sup>nd</sup> story addition to south side 1-story window bay toward rear; likely that oversized brackets, exposed rafter tails, and two-part window were added to front gable during this period.

Historic alterations dating from 1946 include removal of wraparound front porch; entry porch on north side of front gable bay, with wrought iron supports; 6/6 wood windows and multi-light picture window on façade probably also added at this time.

*Alterations*

See HISTORIC FEATURES for historic alterations to house--fixed shutters on façade; 1-story southeast corner screened porch addition (post-1950); some 1/1 windows on side elevation appear to be non-historic replacements; glass block window on 2nd story of north elevation replacement front steps/terrace.

**R E C E I V E D**  
 9/16/2024  
 CITY OF EVANSTON  
 BUILDING DIVISION  
 APP.# 24ADDR-0055



PETRICK ARCHITECTURE

ARCHITECTURE + INTERIORS  
 1326 ASBURY AVENUE EVANSTON, IL  
 PH 847.721.5975  
 JP@PETRICKARCHITECTURE.COM

COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

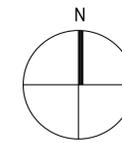
FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

**GRANCHELAK  
 RESIDENCE**  
 1314 JUDSON AVENUE

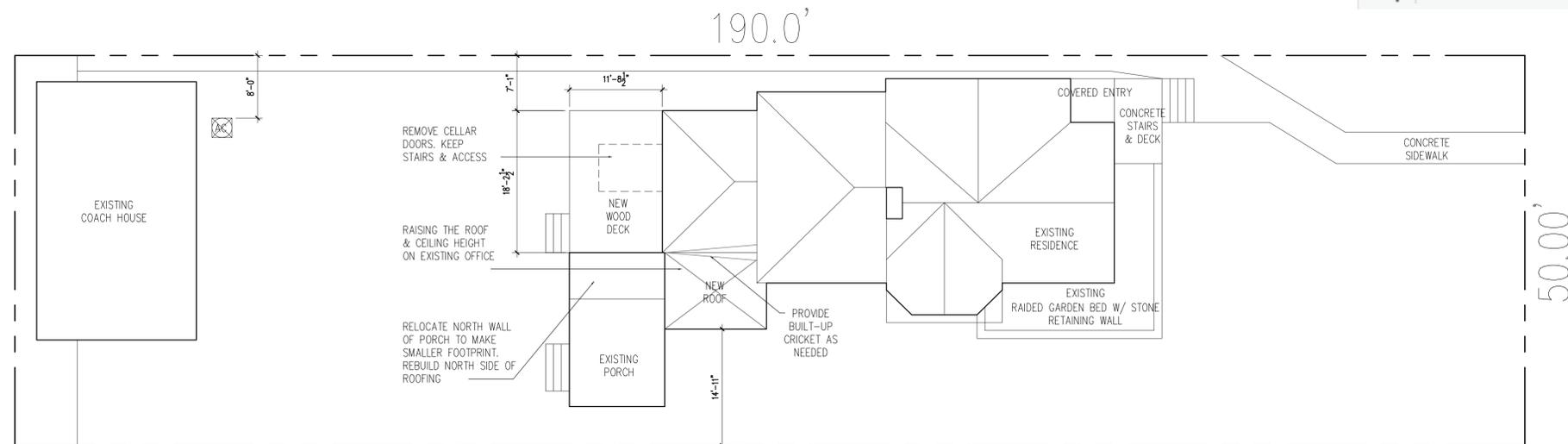
|             |             |              |             |
|-------------|-------------|--------------|-------------|
| 28 OCT 2023 | 27 DEC 2023 | 15 SEPT 2024 | 01 OCT 2024 |
|-------------|-------------|--------------|-------------|

|   |   |   |  |                          |                          |                          |
|---|---|---|--|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> SCHEMATIC DESIGN | <input type="checkbox"/> DESIGN DEVELOPMENT | <input type="checkbox"/> ISSUE FOR PERMIT | <input checked="" type="checkbox"/> PERMIT REVISION NO.1 | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|---|---|--|--------------------------|--------------------------|--------------------------|

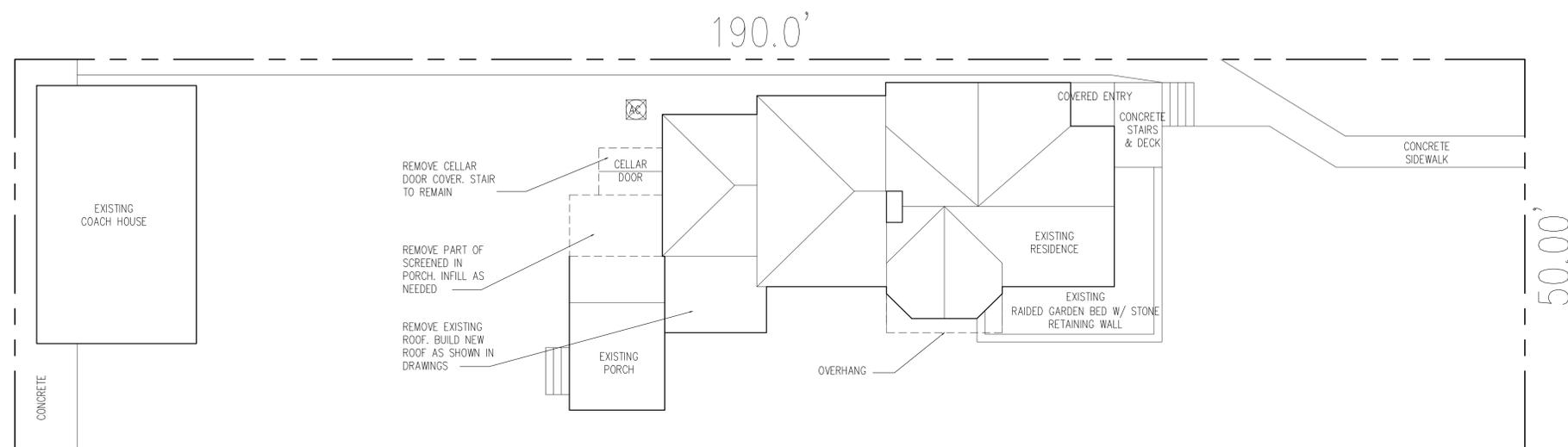


SCALE:  
 AS NOTED  
 DATE:  
 01 OCTOBER 2024

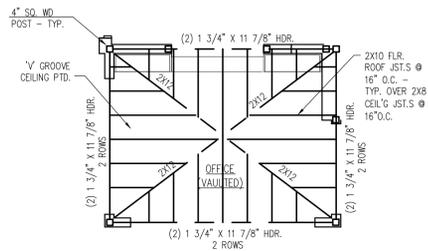
**A0**



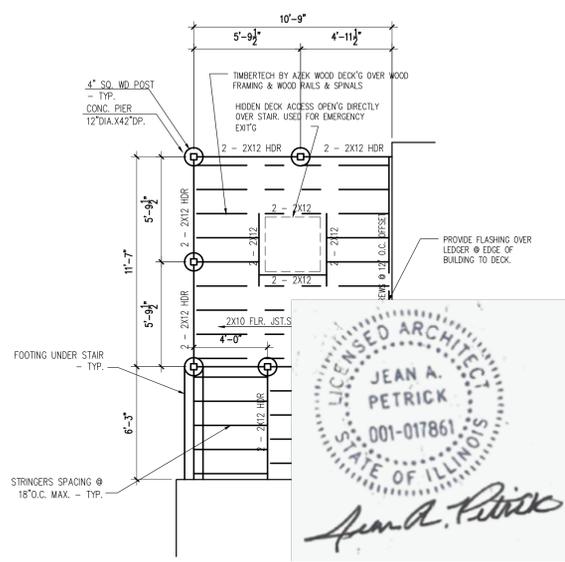
**2 PROPOSED SITE PLAN / ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



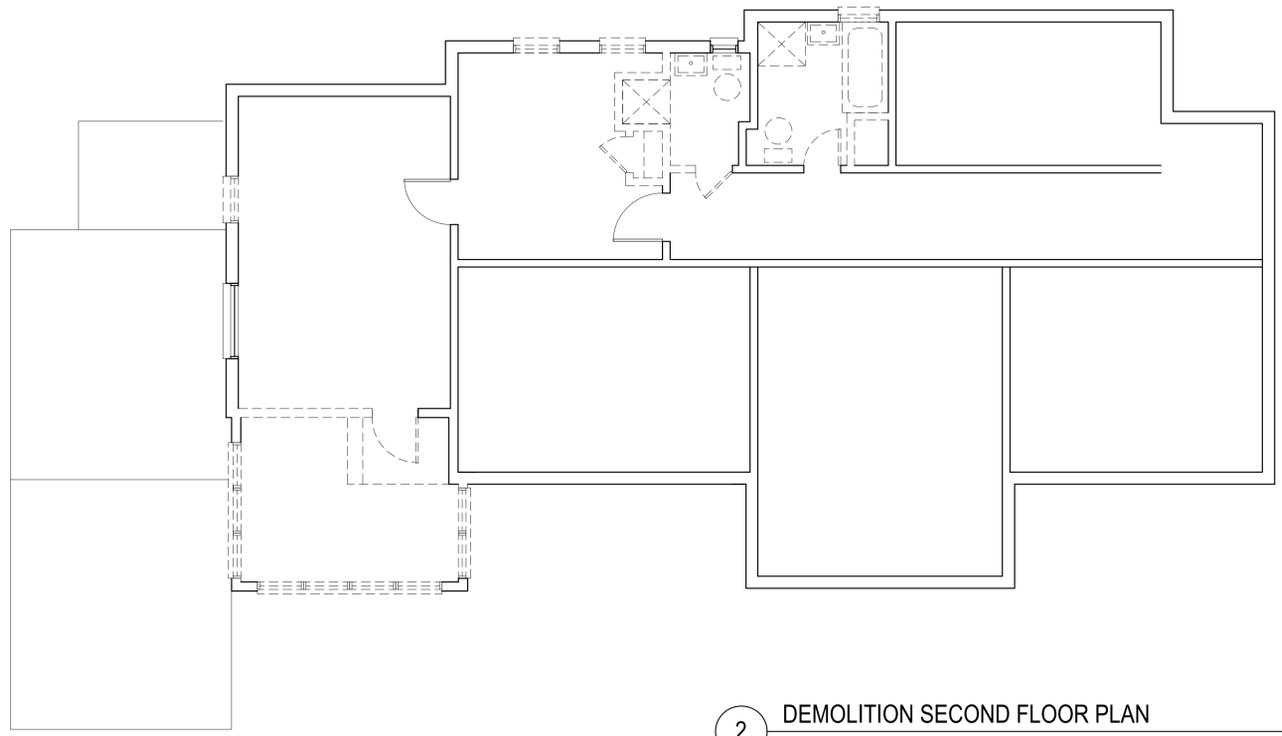
**1 EXISTING SITE PLAN / ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



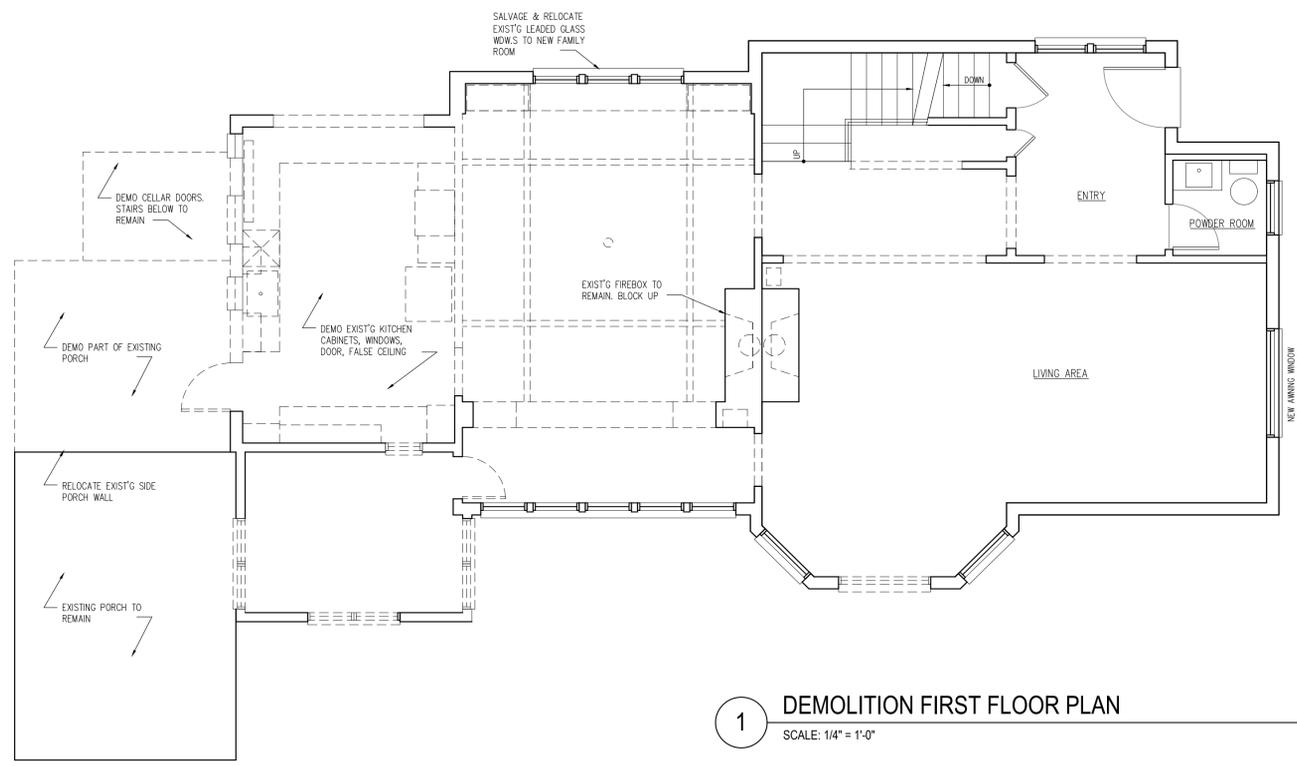
**4 OFFICE ROOF FRAMING**  
SCALE: 1/4" = 1'-0"



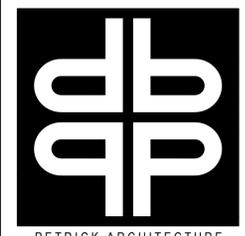
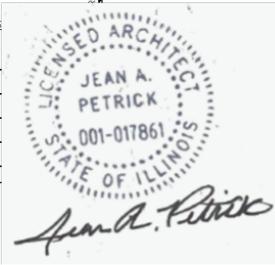
**3 WOOD DECK FRAMING**  
SCALE: 1/4" = 1'-0"



**2 DEMOLITION SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1 DEMOLITION FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



PETRICK ARCHITECTURE  
ARCHITECTURE + INTERIORS  
1326 ASBURY AVENUE EVANSTON, IL  
PH 847.721.5975  
JP@PETRICKARCHITECTURE.COM

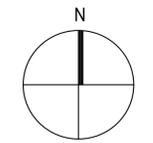
COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED. COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

**GRANCHELAK RESIDENCE**  
1314 JUDSON AVENUE

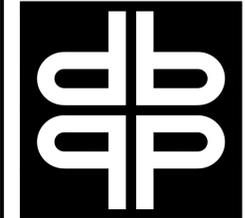
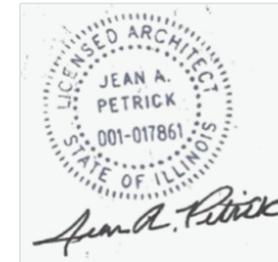
|   |   |   |  |
|---|---|---|--|
| 28 OCT 2023                               | 27 DEC 2023                                 | 15 SEPT 2024                              | 01 OCT 2024  |
| <input type="checkbox"/> SCHEMATIC DESIGN | <input type="checkbox"/> DESIGN DEVELOPMENT | <input type="checkbox"/> ISSUE FOR PERMIT | <input checked="" type="checkbox"/> PERMIT REVISION NO.1 |



SCALE:  
AS NOTED  
DATE:  
01 OCTOBER 2024

**D1**





PETRICK ARCHITECTURE

ARCHITECTURE + INTERIORS  
1326 ASBURY AVENUE EVANSTON, IL  
PH 847.721.5975  
JP@PETRICKARCHITECTURE.COM

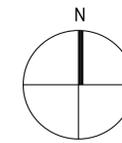
COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

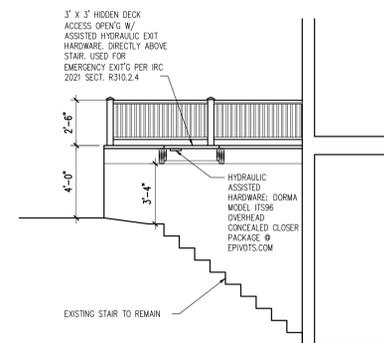
**GRANCHELAK RESIDENCE**  
1314 JUDSON AVENUE

|   |   |  |   |   |                          |                          |
|---|---|--|---|---|--------------------------|--------------------------|
| 28 OCT 2023                               | 27 DEC 2023                                 | 11 APRIL 2023                          | 15 SEPT 2024                              | 01 OCT 2024   |                          |                          |
| <input type="checkbox"/> SCHEMATIC DESIGN | <input type="checkbox"/> DESIGN DEVELOPMENT | <input type="checkbox"/> CLIENT REVIEW | <input type="checkbox"/> ISSUE FOR PERMIT | <input checked="" type="checkbox"/> PERMIT REVISION NO. 1 | <input type="checkbox"/> | <input type="checkbox"/> |



SCALE:  
AS NOTED  
DATE:  
01 OCTOBER 2024

**A2**



**3 BLDG. SECT. THRU DECK & CELLAR STAIR**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



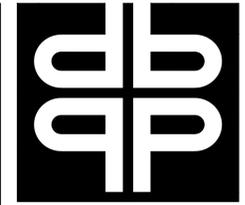
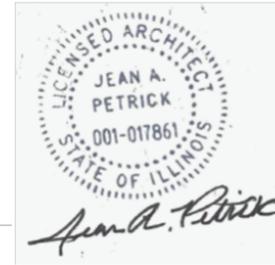
**1 EXISTING WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



PETRICK ARCHITECTURE  
ARCHITECTURE + INTERIORS  
1326 ASBURY AVENUE EVANSTON, IL  
PH 847.721.5975  
JP@PETRICKARCHITECTURE.COM

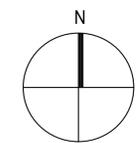
COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS. INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED. COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

**GRANCHELAK  
RESIDENCE**  
1314 JUDSON AVENUE

|   |   |  |   |  |
|---|---|--|---|--|
| 28 OCT 2023                               | 27 DEC 2023                                 | 11 APRIL 2023                          | 15 SEPT 2024                              | 01 OCT 2024  |
| <input type="checkbox"/> SCHEMATIC DESIGN | <input type="checkbox"/> DESIGN DEVELOPMENT | <input type="checkbox"/> CLIENT REVIEW | <input type="checkbox"/> ISSUE FOR PERMIT | <input checked="" type="checkbox"/> PERMIT REVISION NO.1 |



SCALE:  
AS NOTED

DATE:  
01 OCTOBER 2024

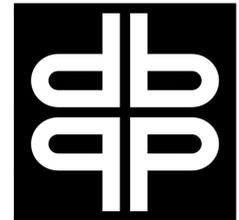
**A3**



2 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



PETRICK ARCHITECTURE

ARCHITECTURE + INTERIORS  
1326 ASBURY AVENUE EVANSTON, IL  
PH 847.721.5975  
JP@PETRICKARCHITECTURE.COM

COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED. COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

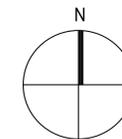
FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

GRANCHELAK  
RESIDENCE  
1314 JUDSON AVENUE

05 DEC 2023

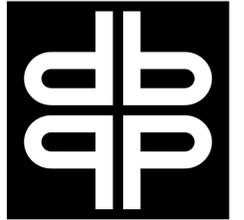
■ PRESENTATION  
□ PRESENTATION  
□ PRESENTATION  
□ PRESENTATION  
□ PRESENTATION  
□ PRESENTATION



SCALE:  
AS NOTED

DATE:  
05 DECEMBER 2024

A4



PETRICK ARCHITECTURE

ARCHITECTURE + INTERIORS  
1326 ASBURY AVENUE EVANSTON, IL  
PH 847.721.5975  
JP@PETRICKARCHITECTURE.COM

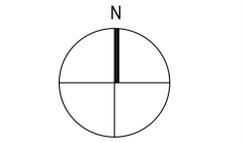
COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED COPYRIGHT 2023, PETRICK ARCHITECTURE 2023.

FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

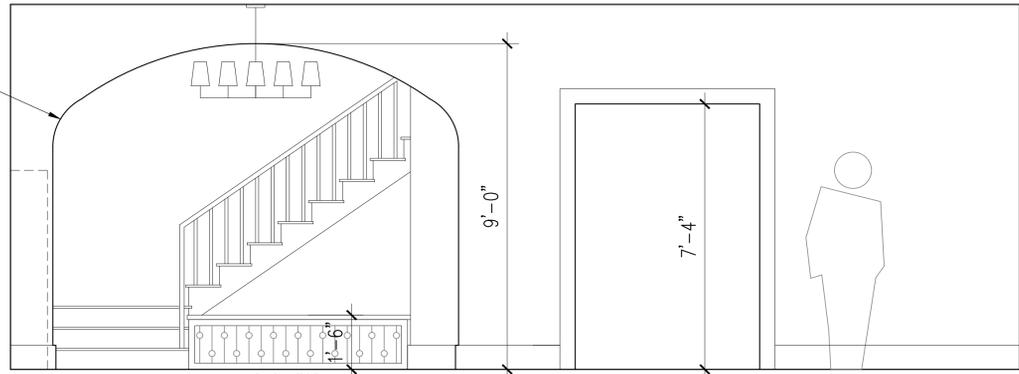
**GRANCHELAK  
RESIDENCE**  
1314 JUDSON AVENUE

|   |   |   |  |                          |                          |
|---|---|---|--|--------------------------|--------------------------|
| 28 OCT 2023                               | 27 DEC 2023                                 | 15 SEPT 2024                              | 01 OCT 2024  |                          |                          |
| <input type="checkbox"/> SCHEMATIC DESIGN | <input type="checkbox"/> DESIGN DEVELOPMENT | <input type="checkbox"/> ISSUE FOR PERMIT | <input checked="" type="checkbox"/> PERMIT REVISION NO.1 | <input type="checkbox"/> | <input type="checkbox"/> |

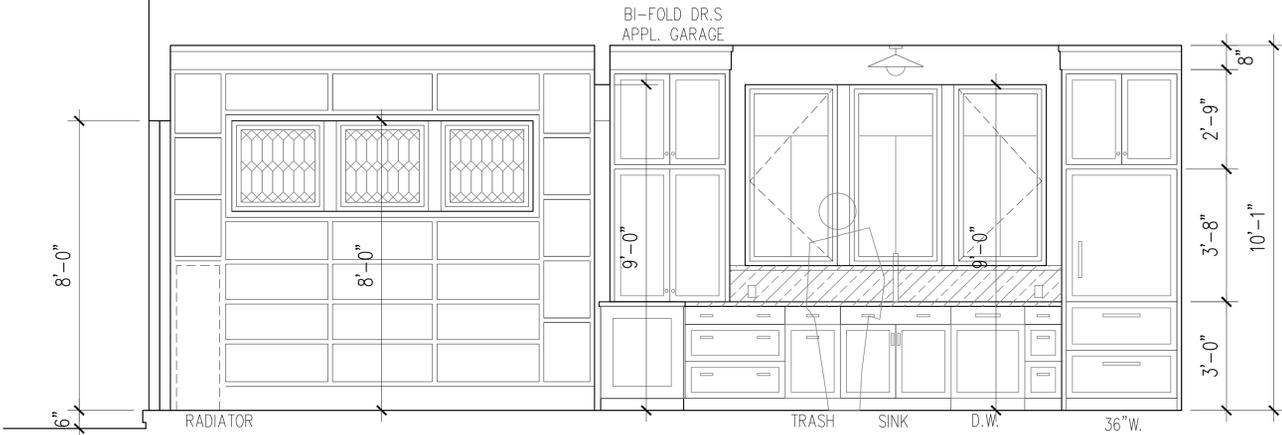


SCALE:  
AS NOTED  
DATE:  
01 OCT 2024

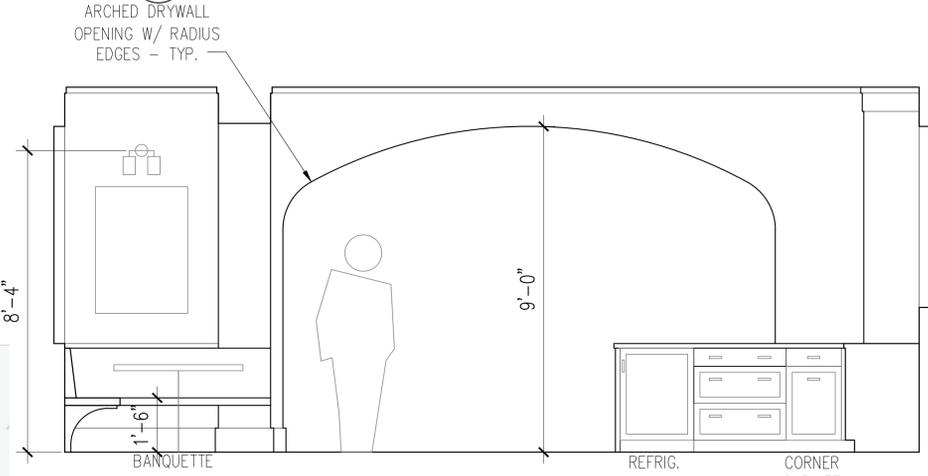
**A4**



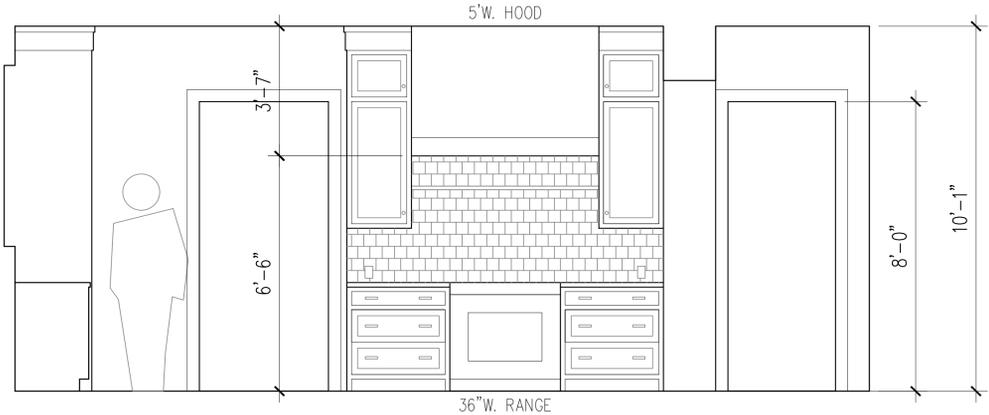
**6 LIVING ROOM ELEVATION - NORTH WALL**  
SCALE: 1/2" = 1'-0"



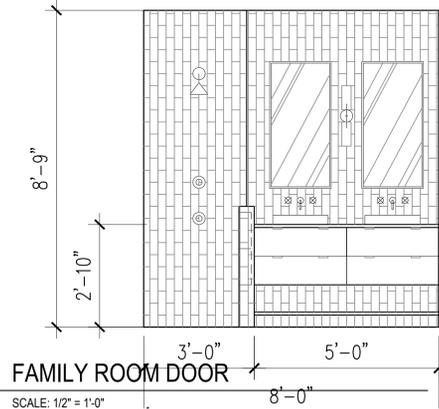
**5 KITCHEN ELEVATION - NORTH WALL**  
SCALE: 1/2" = 1'-0"



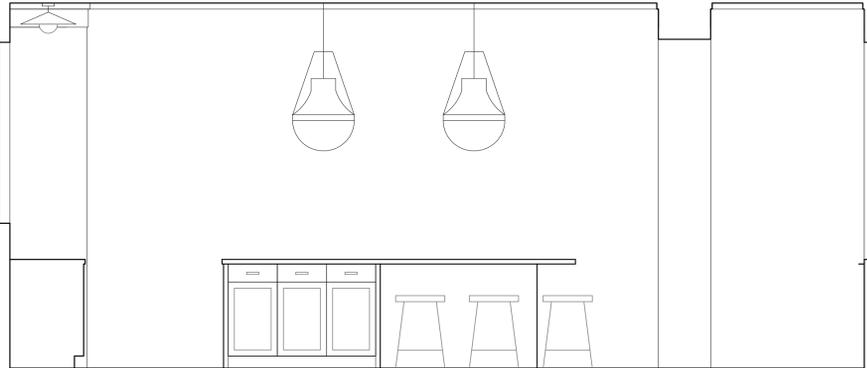
**4 KITCHEN ELEVATION - WEST WALL**  
SCALE: 1/2" = 1'-0"



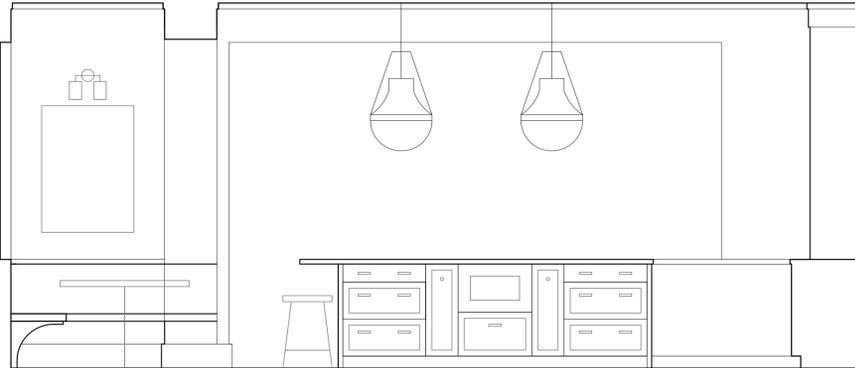
**3 KITCHEN ELEVATION - EAST WALL**  
SCALE: 1/2" = 1'-0"



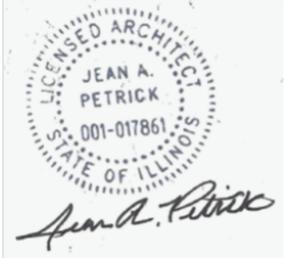
**FAMILY ROOM DOOR**  
SCALE: 1/2" = 1'-0"



**2 KITCHEN ELEVATION - ISLAND LOOKING EAST**  
SCALE: 1/2" = 1'-0"



**1 KITCHEN ELEVATION - ISLAND LOOKING WEST**  
SCALE: 1/2" = 1'-0"















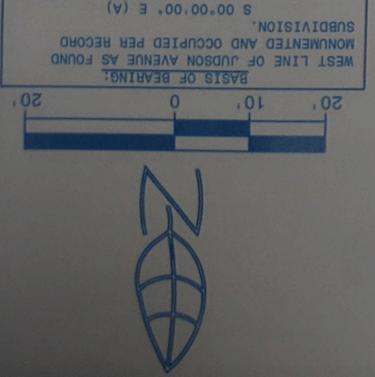
Morris Engineering, Inc.  
 515 Warrenville Road, Lisle, IL 60532  
 Phone: (630) 271-0770  
 FAX: (630) 271-0774  
 WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS  
 COUNTY OF DUPAGE  
 I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.  
 DATED, THIS 20TH DAY OF APRIL, A.D., 2018.  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 036-3253  
 ILLINOIS BUSINESS REGISTRATION NO. 184-001245



NOTE:  
 1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.  
 2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.  
 3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.  
 4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

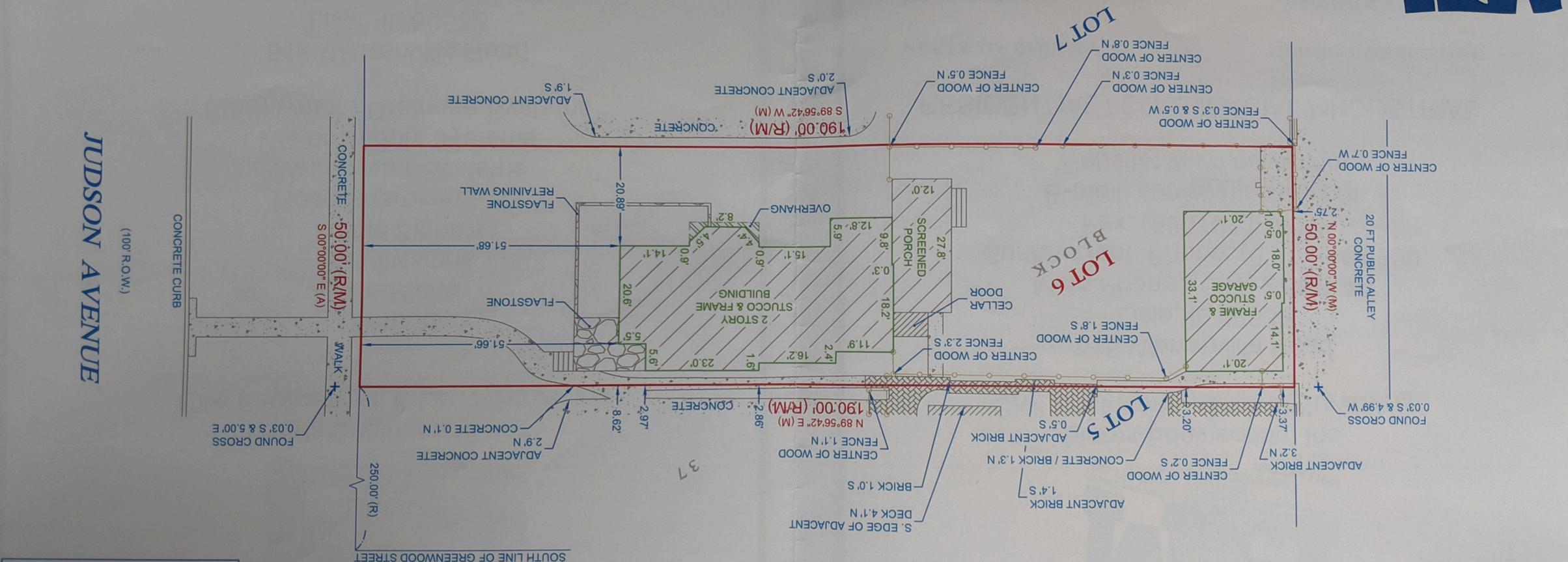
ADDRESS COMMONLY KNOWN AS  
 1314 JUDSON AVENUE  
 EVANSTON, ILLINOIS  
 CLIENT  
 LINCOLN STREET LAW, P.C.  
 FIELDWORK DATE (CREW)  
 04/19/2018 (DS/SB)  
 DRAWN BY: NG REVISSED:  
 JOB NO. 18-04-0164



AREA OF SURVEY:  
 9,500 SQ. FT. OR 0.22 ACRES MORE OR LESS  
 CONTAINING

LOT 6 IN BLOCK 37 IN THE NORTHWESTERN UNIVERSITY SUBDIVISION OF BLOCK 37 IN THE CITY OF EVANSTON OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

# PLAT OF SURVEY



LEGEND  
 A = ASSUMED  
 C = CALCULATED  
 CH = CHORD  
 P.O.B. = POINT OF BEGINNING  
 P.O.C. = POINT OF COMMENCEMENT  
 R = RECORD  
 RAD = RADIIUS  
 CL = CENTERLINE  
 D = DEED  
 E = EAST  
 F.I.P. = FOUND IRON PIPE  
 S = SOUTH  
 S.1.P. = SET IRON PIPE  
 F.I.R. = FOUND IRON ROD  
 S.1.R. = SET IRON ROD  
 FT. = FEET/FOOT  
 SE = SOUTHEAST  
 SW = SOUTHWEST  
 N = NORTH  
 W = WEST  
 CHAIN LINK FENCE  
 WOOD FENCE  
 METAL FENCE  
 VINYL FENCE  
 EASEMENT LINE  
 SETBACK LINE  
 INTERIOR LOT LINE

WEST LINE OF JUDSON AVENUE AS FOUND MONUMENTED AND OCCUPIED PER RECORD  
 BASIS OF BEARING:  
 S 00°00'00" E (A)  
 SUBDIVISION

JUDSON AVENUE  
 (100' R.O.W.)  
 CONCRETE CURB

CONCRETE  
 50.00' (R/M)  
 S 00°00'00" E (A)

WALK  
 51.66'

FOUND CROSS  
 0.03 S & 5.00 E

250.00' (R)  
 SOUTH LINE OF GREENWOOD STREET

ADJACENT CONCRETE  
 2.9' N

ADJACENT CONCRETE  
 0.1' N

FOUND CROSS  
 0.03 S & 5.00 E

WALK  
 51.66'

CONCRETE  
 50.00' (R/M)  
 S 00°00'00" E (A)

CONCRETE CURB

JUDSON AVENUE  
 (100' R.O.W.)

ADJACENT CONCRETE  
 1.9' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJACENT CONCRETE  
 S 89°56'42" W (M)

CONCRETE  
 190.00' (R/M)

ADJACENT CONCRETE  
 2.0' S

ADJAC



# STAFF REPORT

To: Members of the Preservation Commission  
From: Cade W. Sterling, Planner  
Subject: 1423 Elmwood Avenue - Landmark - 24PRES-0171  
Date: December 3, 2024

Public Notice

Jeanie Petrick, architect and applicant on behalf of the property owner, submit for a Certificate of Appropriateness to construct a second-story hipped roof addition to an existing single-story gable addition at the homes rear volume, and alter the current homes pattern of fenestration with new windows in new openings, and replacement windows in existing openings.

**Applicable Standards:** Alteration [1-10]; and Construction [1-8; 10-13; and 15].

Construction Period:

Circa 1881

Style:

Italianate

Architect of Record:

James H. Kenney, (builder)

Condition:

Good

Integrity:

Good (minor alterations, notably its cladding).

Status:

Landmark designated (1984) under criteria A7 (exemplification of a style once common) and A9 (inclusion in the 1972 Illinois Historic Structures Survey).

Setting:

1423 Elmwood Avenue is an individual landmark located outside of a historic district. The home is located on the east side of Elmwood Avenue midblock between Lake Street to the north and Greenwood Street to the south. Despite being historically zoned for higher density, decreasing development restrictions and increasing redevelopment potential, the 1300 and 1400 blocks of Elmwood retain good integrity of setting with an eclectic mix of building types, uses, and residential densities not dissimilar to land use patterns found throughout the City's historic districts. These blocks contain several individual landmarks, all registered as examples of common, every day or vernacular housing types once common in Evanston -- a contrast to the high-style resources in the Lakeshore Historic District two blocks east and the Ridge Historic District one block west and a testament to the working class nature of these neighborhoods being located in proximity to the Davis Street, Dempster Street, and downtown business districts.

Significance:

This frame, clapboard covered two-story structure is a classic example of a typical late, hipped-roofed Italianate cottage. Towards the middle of the south façade projects a full-height polygonal bay. The cornice has small dentils above the panels between the simple brackets. The three second-story windows in the front and those elsewhere have corbelled lintels above their pilaster-flanked segmental-arch window hoods. The ground floor, however, has a broad transomed window with a segmental-arched, transomed, broad entrance. The porch crossing the entire front and the south side to the bay has chamfered posts with knee brackets and tightly packed square balusters. The building has good integrity and is listed in the State Survey.

Italianate Style:

Alexander Jackson Downing's pattern books popularized the Italianate style, which was loosely modeled after the grand villas of northern Italy. Italianate homes first began to appear in most eastern and Midwestern states in the 1840s but declined in popularity after the financial panic of 1873 and the subsequent depression when home building slowed. Italianate homes in Evanston, including 1322 Lake, are typically constructed in wood clapboard or masonry, two to three stories in height, and L-shaped, asymmetrical or gable-fronted in form. It's most recognizable features include an elaborate roof-line cornice with decorative brackets and tall, narrow double hung windows that are often arched at the top and crowned with a hood mold made of brick or stone.

Public Comment

None.

Applicable Standards

Staff recommends the following standards be applied. Additional standards may be applied at the Commission's discretion. Determination of whether the standards have been met is exclusively afforded to members of the Commission.

Staff may provide a professional opinion on the proposal at the Commission's request.

**Alteration**

1. Every reasonable effort shall be made to adapt the property, structure, site, or object in a manner that requires minimal alteration of the property, structure, site, or object and its environment.
2. The distinguishing original qualities or character of a property, structure, site, or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible except when retention represents a hazardous or dangerous condition.
3. All properties, structures, sites, and objects shall be recognized as products of their own time. Alterations to sites, buildings, structures, or objects that have no historic basis shall be discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a property, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features, materials, finishes, examples of skilled craftsmanship, or examples of distinctive construction techniques that characterize a property, structure, site or object shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.
7. The surface cleaning of buildings, structures or objects shall be undertaken with the gentlest means possible. Treatment methods that will cause damage to the historic materials of the structure, site, or object must not be used.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Innovative design for alterations to existing properties shall not be discouraged when such alterations do not destroy significant historic, cultural, architectural or archaeological material, and such design is compatible with the features, size, scale, proportion, massing, color, material and character of the property, neighborhood and environment.
10. Wherever possible, alterations to structures and objects shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## **Construction**

1. *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
2. *Proportion of facades.* The relationship of the width to the height of facades shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.
3. *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.
4. *Rhythm of solids to voids in facades.* The relationship of solids to voids in the facades of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.
5. *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects and the setback from the public ways shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
6. *Rhythm of entrance porches, storefront recesses and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.
7. *Relationship of materials and texture.* The relationship of the materials and texture of the facades shall be visually compatible with the predominant materials used in the existing structures to which it is visually related.
8. *Roof shapes and roof mounted equipment.* The roof shape of a structure including any roof mounted equipment shall be visually compatible with the structures to which it is visually related.
10. *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.
11. *Directional expression of facades.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or non-directional character.
12. *Original qualities.* For additions to existing structures, the distinguishing original qualities or character of a property, structure, site or object and its environment should be preserved. The alteration of any historic material or distinctive architectural features should be avoided when possible.
13. *Archaeological resources.* Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.

15. *New additions.* Wherever possible, new additions to structures or objects shall be done in such a manner that if such additions were to be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



# Application for Certificate of Appropriateness (COA)

**NOTICE:** This form is not a permit application.

**Application Required:** This application is required for all scopes of exterior work, including minor, major, and window/door replacement projects affecting Evanston landmarks and properties within local Evanston historic districts when a permit is required and when work is visible from the public way (street, alley, sidewalk, or other parcel of land appropriated to the public for public use).

**Submission Deadline:** To ensure timely processing of your application, submit this application no less than **15 business days** before the second Tuesday of each month. **Incomplete applications will not be accepted. Refer to the Submittal Requirements, pages within this application to ensure completeness.** Upon receipt of your application, staff will determine whether the proposal can be reviewed administratively, or whether it will be referred to the Preservation Commission for review and action. Completed applications referred to the Commission will be scheduled for review at the next available meeting as long as all required information is provided by the deadline and the number of items on the agenda allows.

**For more information:** It is encouraged, but not required, to meet with staff to review submittal requirements prior to submitting. To set up a meeting or to answer any questions as to which requirements apply to your project, please contact Cade W. Sterling at (847) 448-8231 or email: csterling@cityofevanston.org

### Section A. Required Information (Print Clearly)

|   |        |   |  |
|---|--------|---|--|
| <b>1) Property Address:</b><br>1324 Elmwood Avenue  |        | <b>FOR STAFF USE ONLY</b><br><b>Application Number:</b> |  |
| <b>2) Applicant's Name:</b><br>Jeanie Petrick   |        | Address:<br>1326 Asbury Avenue                          |  |
| City: Evanston, IL 60201  | State: | Zip:  | Phone: 8477215975<br>Email: petrickj@yahoo.com |
| <b>3) Owner's Name:</b><br>Raquel & Kevin Murphy  |        | Address:<br>1324 Elmwood Avenue                         |  |
| City: Evanston  | State: | Zip:  | Phone:<br>Email: 3129610984                    |
| <b>4) Applicant's Relationship to the Owner:</b> <input type="checkbox"/> Same <input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Other:  |        |   |  |
| <b>5) Landmark:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   |        |   |  |
| <b>6) Within Local Historic District:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No;<br>If yes, <input type="checkbox"/> Lakeshore <input type="checkbox"/> Ridge <input type="checkbox"/> Northeast Evanston <input type="checkbox"/> Woman's Christian Temperance Union   |        |   |  |
| <b>7) Refer to the completed Zoning Analysis and check as applicable if your project requires:</b><br><input type="checkbox"/> Major Zoning Variance; <input type="checkbox"/> Special Use; <input type="checkbox"/> Planned Development → <b>If any are checked, additional submission requirements may apply. A member of the Planning &amp; Zoning Division will contact you.</b>                                    |        |   |  |
| <b>8) Acknowledgement of Potential Archaeological Resources:</b> <input checked="" type="checkbox"/> I acknowledge that if any archaeological materials are encountered during construction, I will stop work and notify the Planning & Zoning Division immediately. An approved Certificate of Appropriateness is not a clearance for purposes of the Illinois Human Remains Protection Act as amended. (20 ILCS 3440) |        |   |  |
| <b>9) Applicants Signature:</b> I acknowledge that I understand the requirements for what constitutes a complete application and affirm that the requirements for a complete application have been met.<br><br><i>Jeanie Petrick</i> _____ Date: _____  |        |   |  |

20 se

**Section B: Application for Certificate of Appropriateness**

1) Describe, in detail, the proposed activity and reason for requesting a Certificate of Appropriateness.

Attach a separate sheet or sheets if necessary.

We are proposing to add a second floor addition to the existing one story space in rear to add a master suite that will include a main bath and walk in closet. The first floor kitchen will be remodeled too.

2) Select the three standards from the [Binding Review Standards](#) that you believe are most relevant to your proposal. Then describe, in detail, how your proposal meets the standards you have selected.

Attach a separate sheet or sheets if necessary.

(For assistance selecting relevant standards contact Cade W. Sterling, City of Evanston Preservation Planner: [casterling@cityofevanston.org](mailto:casterling@cityofevanston.org) or 847-448-8231.)

1. We have chosen to add on top of existing footprint in minimize the changes to the existing structure instead of demolishing and rebuilding
2. We are going to salvage all ornate exterior wood details and reuse as much as possible
5. We are proposing an addition with same materials, proportions, roof line, window proportions, eave details

## **CERTIFICATE OF APPROPRIATENESS SUBMITTAL REQUIREMENTS**

### **☐ REPAIR, REPLACEMENT, RE-POINTING, SOLAR INSTALLATION, AND SITEWORK INCLUDING NEW PATIOS, TERRACES, OR WALKWAYS**

- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Plat of survey that accurately represents current conditions of the property.
- As applicable, provide a to-scale existing and proposed site plan (roof plan for solar installation) clearly showing the proposed change(s) with dimensions of proposed features, setbacks from proximate lot lines, and material annotations. An aerial image or birds eye photo with areas of work identified will be sufficient for proposed roof replacement and re-pointing.
- Labeled, color photographs showing all exterior views of the building, structure, and/or site including all areas of proposed work and any areas of deterioration. Google street view or other non-current photos will not be accepted.
- If materials are being proposed for repair or replacement that are other than an exact match to original, physical or visual samples or manufacturer brochures must be submitted.
- Any additional information that is requested after your initial consultation with staff or as requested by the Commission's Pre-Application Review Subcommittee.

**☐ FENCES** – Provide a plat of survey with the existing and proposed fence and gate location(s) clearly identified. Include photos of the existing fence and any gates, and an illustration or sample photo of the proposed fence and gate style(s).

### **☐ REPLACEMENT OF WINDOWS, DOORS, and SKYLIGHTS**

Due to the sensitivity required for window and door replacement, the Commission has created additional resources for applicants (available following the links below or accessing the Preservation Commissions webpage) including separate design guidelines, a sample best practice submission, and sample drawings for wood and steel windows.

- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Context photos of all impacted elevations with the location of new or altered windows/doors labeled by number and by type. If there are typical windows (more than one of the same size material, and operating style), label each window type A,B,C etc. If there are multiple windows for a single type, those would be labeled as, 1A, 2A, 3A etc. Google street view or other non-current photos will not be accepted.
- Condition photos, interior and exterior, of all windows and doors scheduled for replacement. Labels on condition photos should match those on the context photos above.
- If replacing original or historic wood windows, provide information on the viability of restoration/repair. This must come from a licensed general contractor, architect, or restoration specialist on the provider's letterhead, not from the window supplier/contractor.
- To-scale and labeled floor plans (recommended if new window openings are proposed).
- To-scale, existing and proposed elevation and section drawings for each window type presented side-by-side on the same sheet. Drawings must include annotations and dimensions including the overall window opening, stile, top and bottom rail, meeting rail, muntin, sill, and exterior trim or moulding profiles. Drawings of existing windows must be based on field measurements. For all drawings, the window's relationship to the existing wall plane must also be provided.

**Important Notice:** Manufacturers' standard cut sheets are not an acceptable substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project.

**☐ MAJOR ALTERATIONS, ADDITIONS, NEW CONSTRUCTION, RELOCATION, AND DEMOLITION**

If a major alteration, construction or relocation, or demolition is planned, City staff will notify neighbors within 250 feet of the subject property at least five (5) business days prior to the Preservation Commission hearing. The applicant is responsible for paying the mailing fee.

- **Zoning Analysis Required:** A completed Zoning Analysis must be submitted with the COA application. Zoning staff requires at least 10 business days to complete a zoning analysis. During the height of construction season, zoning analysis reviews may take longer. Applicants must give themselves enough time to request a zoning analysis in order to meet the COA deadline below.
- 1 copy of a completed COA Application Form and all supporting written information including a detailed project narrative (Section B) that includes how the proposal meets the [Binding Review Standards](#).
- Plat of survey that accurately represents the current conditions of the property including the location of existing trees with their size and species identified.
- Drawings that accurately indicate existing conditions and all proposed changes and areas of new work
  - To-scale existing and proposed site plan clearly showing the proposed change(s) with dimensions of proposed features, setbacks from proximate lot lines, material annotations, and approximate location of major structures on adjacent lots.
  - Labeled, color photographs showing all exterior views of the building, structure, and/or site including all areas of proposed work and any areas of deterioration which demonstrate why repair is not possible. If a change in height, scale, or massing is proposed, provide photos of the existing structure in context with the immediate structures on the block to which it is visually related. Google street view or other non-current photos will not be accepted.
  - To-scale, annotated, and dimensioned existing and proposed exterior elevations side-by-side on the same sheet (as possible). Elevations must clearly annotate all building materials, window types, trim types and sizes, etc.
  - If the proposal includes changes or additions to the original roof, include to-scale and annotated existing and proposed roof plans including details such as configuration, slope, overhang dimensions, and the new roof transitions into existing.
  - For new additions and new free-standing construction, 3D drawings, models, or axonometric drawings in context with the primary structure and its immediate surroundings are required. Context includes adjoining structures on adjoining lots. **This requirement may be waived for new garages and smaller accessory structures.**
  - For proposed free-standing construction including ADU's, Coach Houses, and new Principle Structures along streets, block studies showing the visual, massing, and other proportional relationships of the proposed structure to the structures it is visually related to shall be provided.
  - Details or sections if required to explain areas of complexity.
- For proposed demolition, include photos and narratives demonstrating the current conditions that necessitate demolition and why repair or rehabilitation are not possible or being pursued. Depending on the proposal, staff may require a statement from a structural engineer.

☐ **FEE** – Proposals which are referred to the Preservation Commission for review are subject to a preservation fee per Code Section 2-8-16. An invoice will be sent to the applicant following receipt of a complete application. **The invoice must be paid prior to a case being scheduled for review.**

**Links to Additional Information:**

1. [Evanston Preservation Commission Including List of Meeting Dates](#)
2. [Frequently Asked Questions](#)
3. [Procedural Guidelines](#)
4. [Evanston Preservation Program Including Resources for Applicants](#)
5. [Preservation Commission Window Replacement Guidelines](#)
6. [Sample Best Practice Window Replacement Submission](#)
7. [Sample Supplemental Window Drawings](#)
8. [Solar Panel Installation Guidelines](#)



**Zoning Analysis  
Summary**

Review Date: 10.9.24  
By: Cade W. Sterling

**Case Number:**

24ZONA-0124

**Case Status/Determination:**

**Non-Compliant**

**Applicant:** Jeanie Petrick

**Plans prepared by:** Jeanie Petrick

**Plans dated:** 10.2.24 (Revised)

**Survey dated:** 8.26.20

**District:** R5

**Proposal:**

New second-story addition atop an existing ground floor footprint in a legally non-conforming position on the lot being 1.65' from the north interior side-yard where 3' is the minimum required.

**Non-compliant:**

| Code Section                        | Proposed and Required                                | Recommendation             |
|-------------------------------------|--|----------------------------|
| 6-8-7-7 – Minimum side-yard setback | 1.65' where 3' is required. Atop existing footprint. | Submit for minor variation |

**Additional Comments:**

| <b>Principal Use and Structure:</b> |  |
|-------------------------------------|--|
| Cite Code Section                   |  |
| 6-8-7-4                             | Lot size: No Change. 5,800 where 5,000 is the minimum required   |
| 6-8-7-5                             | Lot width: No Change. 50' where 35' is the minimum required  |
| 6-8-7-6                             | Building Lot Coverage: Compliant. 34.5% where 45% is the maximum permitted   |
| 6-8-7-9                             | Impervious Surface Coverage: Compliant. 45% where 60% is the maximum permitted   |
| 6-8-7-8                             | Building Height: No Change. Lesser than 50' and 5 stories.   |
| 6-8-7-7                             | Yards (Setbacks):<br>Front: No Change<br>Street Side: N/A<br><b>N Interior Side: Non-Compliant 1.65' where 3' is required. Addition atop existing ground floor footprint which is legally non-conforming.</b><br>S Interior Side: No Change<br>Rear: No Change |

City of Evanston



### STATEMENT OF SIGNIFICANCE

Your house has been designated an Evanston Landmark because it was identified as architecturally significant in the 1972 Illinois Historic Structures Survey. The Evanston Preservation Commission began its own intensive survey in 1976. Because a thorough and accurate evaluation is a lengthy process, the Commission has completed study in six of ten designated areas.

Your house is located in one of the four unsurveyed Intensive Study Areas. When the Commission completes its evaluation of these areas, additional information on your house will be sent to you.

### EVANSTON LANDMARK

ADDRESS: 1423 Elmwood Street  
 COMMON NAME: Same  
 REAL ESTATE INDEX NUMBER:  
 DATE OF CONSTRUCTION: 1881  
 ARCHITECT OR BUILDER: Unknown  
 ORIGINAL SITE  MOVED

SIGNIFICANCE:  
 HISTORICAL       H1       H2       H3  
 ARCHITECTURAL  A4       A5       A6  
                           A7       A8       A9

OTHER COMMENTS:

*Rm 4 Sydney Crawford*

1423 Elmwood

James H. Kenney, builder

1881

A7 A9

This frame, clapboard covered two story structure is a classic example of a typical, late, hipped-roofed Italianate structure. Towards the middle of the south facade projects a full-height polygonal bay. The cornice has small modillions above the panels between the simple brackets. The three second-story windows in the front and those elsewhere have corbelled lintels above their pilaster-flanked segmental-arch headed windows. The ground floor, however, has a broad transomed window with a segmental-arched, transomed, broad entrance. The porch crossing the entire front and the south side to the bay has chamfered posts with knee brackets and tightly packed square balusters. The building has very good integrity. It is listed in the State Survey.

**REVISED**  
 10/2/2024  
 CITY OF EVANSTON  
 BUILDING DIVISION  
 APP.# 24ADDR-0056

DATE: 10/21/2024  
 PLAN REVIEWER: BRIAN JUNG

REVIEWED FOR CODE COMPLIANCE: **APPROVED**

APPROVED PERMIT DOCUMENTS SHALL REMAIN ON THE JOB SITE DURING CONSTRUCTION

THE ISSUANCE OF THIS PERMIT SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE CODES AND ORDINANCES ADOPTED BY THE CITY

CONSTRUCTION SUBJECT TO INSPECTIONS TO VERIFY BUILDING CODE COMPLIANCE

- GENERAL NOTES
- MECHANICAL TO BE SUPPLIED BY EXISTING HVAC. MECH. CONTRACTOR TO VERIFY LOADS REQUIRED.
  - PROVIDE ELECTRICAL OUTLETS PER N.E.C. ARTICLE 210-52 REQUIREMENTS, I.E. SIZE, LOCATION, ETC.
  - ALL STRUCTURAL HEADERS OVER OPENINGS LESS THAN 5'-0" WIDE ARE TO BE 2" x 24" UNLESS OTHERWISE NOTED.
  - ALL ELEC. FIXTURES TO BE CENTERED IN ROOM UNLESS OTHERWISE NOTED.
  - ALL NEW STRUCT. BEAMS TO BE ALIGNED WITH EXISTING FLOOR JOISTS.
  - WINDOW SILLS AT MINIMUM 2'-0" AFF. HEAD HEIGHTS TO MATCH EXISTING.
  - ALL RECTANGLE OUTLET SPACING IN ALL OF KITCHEN TO COMPLY WITH 2020 NEC ARTICLE 210.8(A), GFCI PROTECTION.
  - ALL CIRCUITS SUPPLYING RECEPTACLES, LIGHTING & SMOKE DETECTOR/FARBAN WINDOW DETECTORS REQUIRE AFCI PROTECTION.
  - ALL RECEPTACLES TO BE TAMPER RESISTANT TYPE WITH EXCEPTION OF RECEPTACLES SUPPLYING APPLIANCES NOT EASILY MOVED.
  - REPLACE ALL EXPOSED LEAD PLUMBING PIPES WITH PVC PIPES.
  - VERIFY DECORATIVE LIGHTING LOCATION WITH ARCHITECT BEFORE INSTALLATION.
  - ALL NEW INTERIOR DOORS TO MATCH EXISTING IN STYLE AND HEIGHT, MATERIAL.
  - ALL LIGHT FIXTURES INSTALLED WITHIN TUB AND SHOWER COMPARTMENTS SHALL BE MARKED SATURABLE FOR DAMP/NET LOCATIONS PER 2020 NEC, ARTICLE 410.10(D)
  - ALL EXHAUST FANS MUST VENT DIRECTLY TO EXTERIOR.

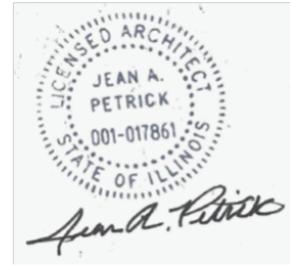
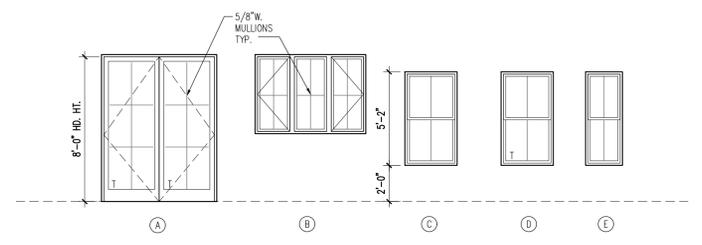
- SCOPE OF WORK:
- DEMOLISH EXISTING KITCHEN CABINERY, APPLIANCES AND SINK AND FALSE CEILING
  - OPEN UP WALL BETWEEN KITCHEN AND DINING ROOM
  - PROVIDE NEW KITCHEN CABINERY, APPLIANCES AND PLUMBING FIXTURES
  - REMODEL EXISTING FIRST & SECOND FLOOR AS SHOWN ON PLANS
  - INSTALL NEW WOOD DECK, STAIRS & RAILS
  - ADD NEW SECOND FLOOR ADDITION
  - ADD NEW MAIN BATH IN EXISTING BEDROOM
- SPECIFICATIONS:
- INTERIOR DOORS - WOOD PRIMED DOORS TO MATCH EXISTING STYLE BY TRUSTLE. RELOCATE & REPURPOSE EXISTING DOORS AS MUCH AS POSSIBLE
- EXTERIOR WINDOWS & DOOR - ALUM-CLAD PELLA RESERVE SERIES
- INTERIOR TRIM - PTD. WOOD TO MATCH EXISTING IN SIZE AND PROFILE
- EXTERIOR SIDING & TRIM - TO MATCH EXISTING. SALVAGE AND REUSE EXISTING TRIM & SIDING AS MUCH AS POSSIBLE
- CEILING - TIMBERTECH IN BROWNSTONE
- DECK RAILINGS & FRAMING - ALL WOOD PTD. WHITE TO MATCH HOUSE TRIM

- LEGEND:
- SMOKE DETECTOR
  - 4" DIA. RECESSED LED 2700K LIGHT FIXTURE
  - RECESSED HALOGEN LIGHT FIXTURE
  - PENDANT EXTERIOR INCANDESCENT LIGHT FIXTURE
  - PENDANT HALOGEN LIGHT FIXTURE
  - SINGLE OUTLET
  - DUPLEX OUTLET
  - CABLE
  - TELEPHONE
  - HVAC SUPPLY
  - HVAC RETURN
  - CEILING MOUNTED EXHAUST FAN / LIGHT
  - CEILING FAN / LIGHT
  - 4" RECESSED DIRECTIONAL INCANDESCENT LT. FIXTURE

DOOR & WINDOW SCHEDULE

| TYPE | UNIT SIZE             | REMARKS  |
|------|-----------------------|----------|
| A    | 6'-0"W. X 8'-0"H.     |          |
| B    | 4'-5 1/2"W. X 6'-0"H. |          |
| C    | 5'-0"W. X 5'-2"H.     | EGRESS   |
| D    | 2'-10"W. X 5'-2"H.    | TEMPERED |
| E    | 2'-1"W. X 5'-2"H.     |          |

NOTE: WINDOW & DOOR GLAZING U-VALUES NOT TO EXCEED 0.30  
 DOOR / WINDOW ORDER TO BE REVIEWED WITH ARCHITECT & OWNER BEFORE PURCHASE!!!! VERIFY ALL DIMENSIONS IN FIELD  
 T = TEMPERED GLAZING @ HAZARDOUS LOCATIONS PER IRC SECTION 308



ZONING ANALYSIS:

ZONING: R5 - RESIDENTIAL

SITE: 5,800 SF

MAX. LOT COVERAGE (45%): 2,610 SF  
 PROPOSED LOT COVERAGE (34.5%): 2,002 SF

MAX. IMPERVIOUS AREA (60%): 3,480 SF  
 PROPOSED IMPERVIOUS AREA (XXX): X,XXX SF

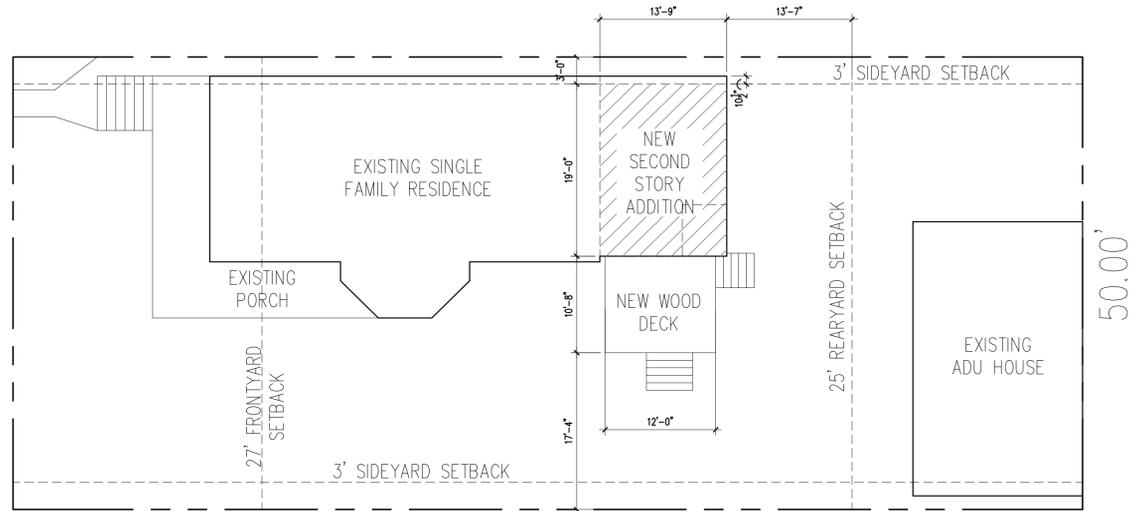
EXISTING RESIDENCE TO REMAIN - 1,184 SF  
 EXISTING GARAGE TO REMAIN - 558 SF  
 EXISTING FRONT PORCH TO REMAIN - 260 SF

NEW WOOD DECK - 164 SF

SIDEYARD SETBACK - 3 FT.  
 REAR YARD SETBACK - 25 FT.  
 MAXIMUM HEIGHT - 50 FT.  
 ON SITE PARKING REQUIREMENTS - 0 CARS

SCOPE OF WORK:

SECOND STORY ADDITION & FIRST FLOOR REMODEL OF PRIMARILY THE KITCHEN AND ADDING A MAIN EN SUITE ON SECOND FLOOR



1 EXISTING SITE PLAN  
 SCALE: 1" = 10'-0"



ARCHITECTURE + INTERIORS  
 1326 ASBURY AVENUE EVANSTON, IL  
 PH 847.721.5975  
 JP@PETRICKARCHITECTURE.COM

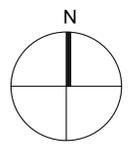
COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED. COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

**MURPHY COACH HOUSE**  
 1423 ELMWOOD AVE, EVANSTON

| ISSUE FOR PERMIT      | 20 SEPT 2024                        | 02 OCT 2024              |                          |                          |                          |                          |
|-----------------------|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| PERMIT REVISION NO. 1 | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

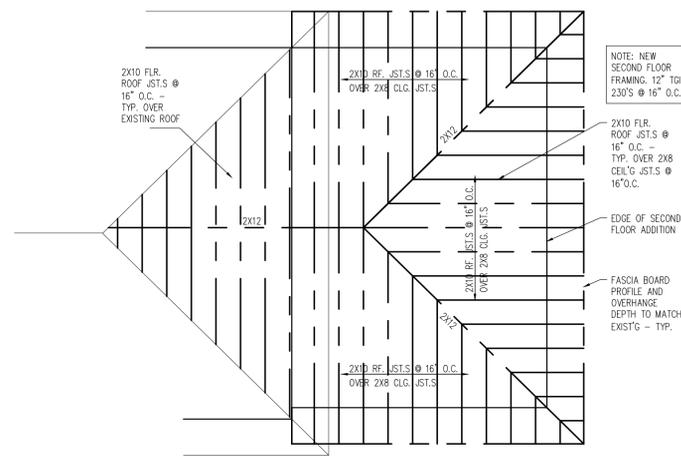
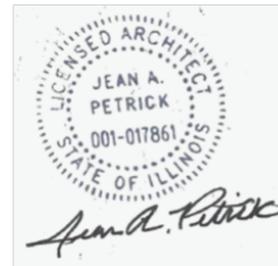


SCALE: AS NOTED

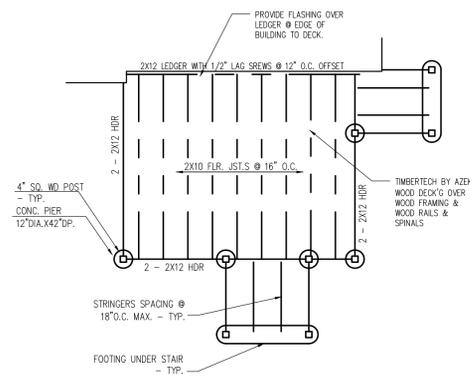
DATE: 02 OCTOBER 2024

**A0**

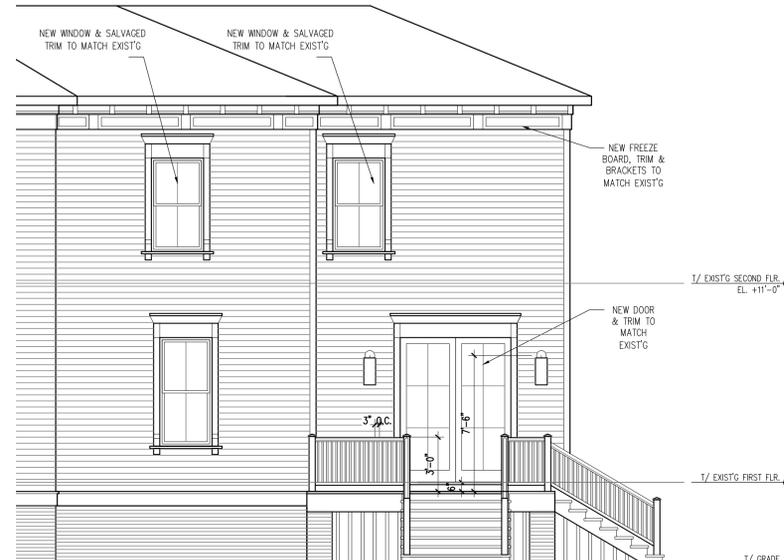




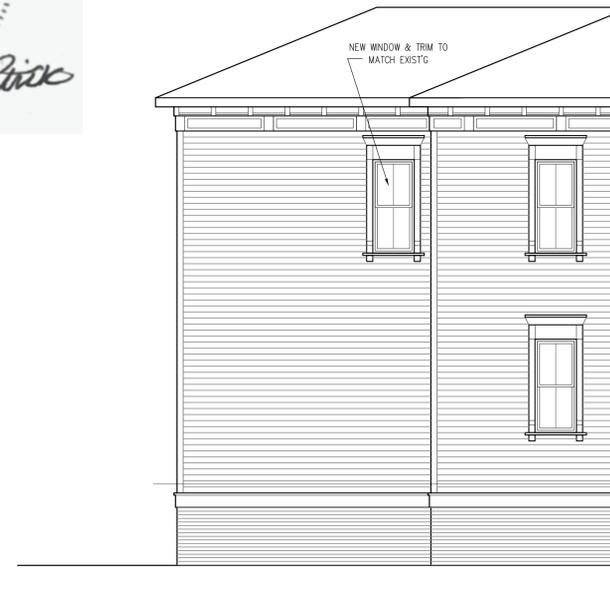
**5 ROOF FRAMING**  
SCALE: 1/4" = 1'-0"



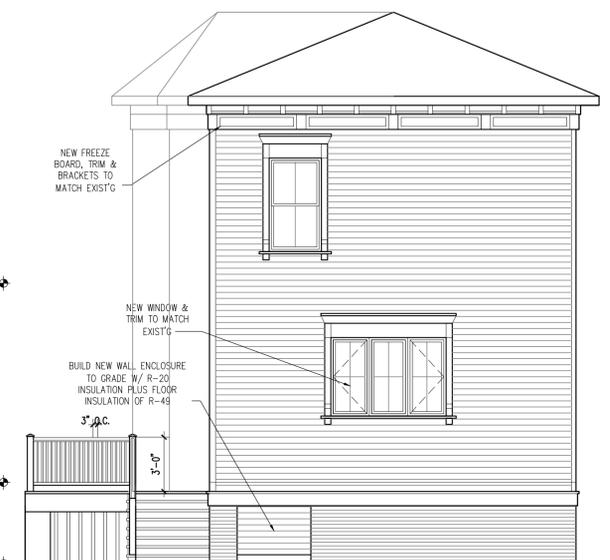
**4 DECK FRAMING**  
SCALE: 1/4" = 1'-0"



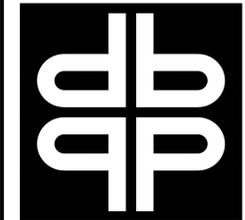
**2 SIDE / SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 SIDE / NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 REAR / EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



PETRICK ARCHITECTURE

ARCHITECTURE + INTERIORS  
1326 ASBURY AVENUE EVANSTON, IL  
PH 847.721.5975  
JP@PETRICKARCHITECTURE.COM

COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED. COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

**MURPHY  
COACH HOUSE**  
1423 ELMWOOD AVE, EVANSTON

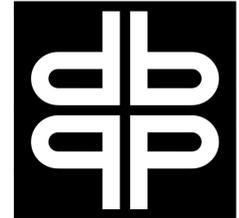
|                  |                          |                          |                          |                          |                          |                          |                          |                          |                          |
|------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| 20 SEPT 2024     |                          |                          |                          |                          |                          |                          |                          |                          |                          |
| ISSUE FOR PERMIT | <input type="checkbox"/> |



SCALE:  
AS NOTED

DATE:  
20 SEPT 2024

**A2**



PETRICK ARCHITECTURE

ARCHITECTURE + INTERIORS  
1326 ASBURY AVENUE EVANSTON, IL  
PH 847.721.5975  
JP@PETRICKARCHITECTURE.COM

COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED. COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

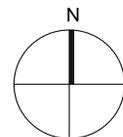
FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:

**MURPHY  
COACH HOUSE**

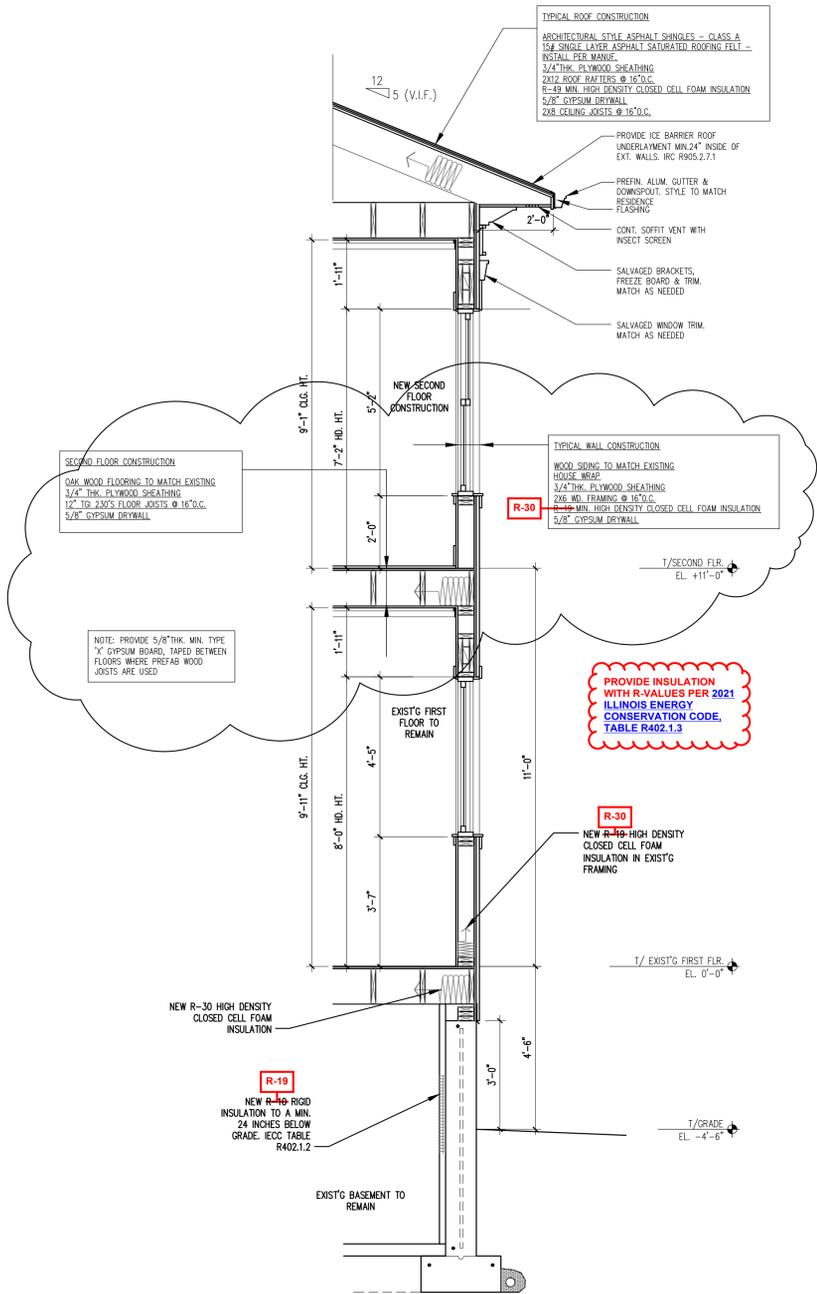
1423 ELMWOOD AVE, EVANSTON

|                      |              |  |  |  |  |  |  |
|----------------------|--------------|--|--|--|--|--|--|
| ISSUE FOR PERMIT     | 20 SEPT 2024 |  |  |  |  |  |  |
| PERMIT REVISION NO.1 | 02 OCT 2024  |  |  |  |  |  |  |



SCALE:  
AS NOTED  
DATE:  
02 OCTOBER 2024

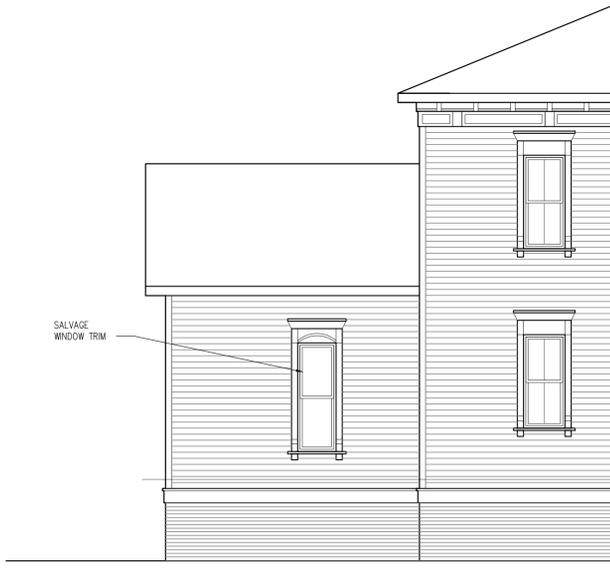
**A3**



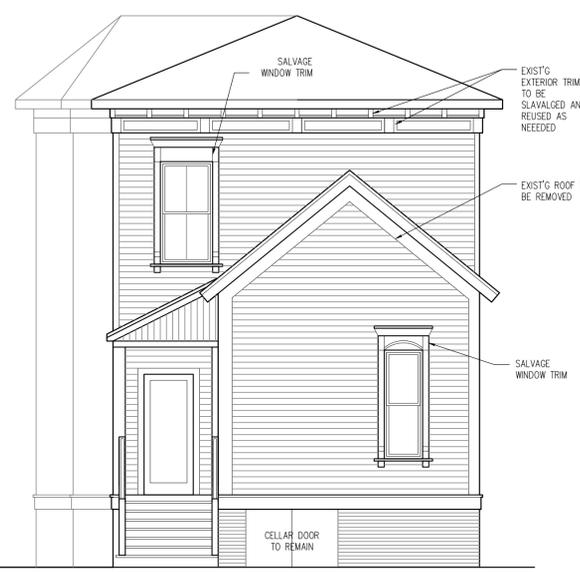
**4 WALL SECTION**  
SCALE: 1/2" = 1'-0"



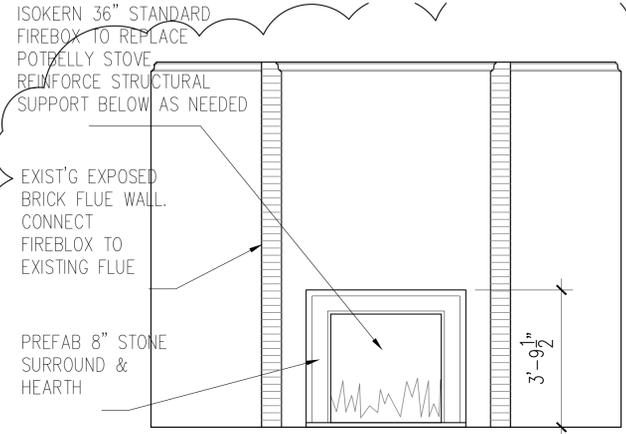
**2 EXISTING SIDE / SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



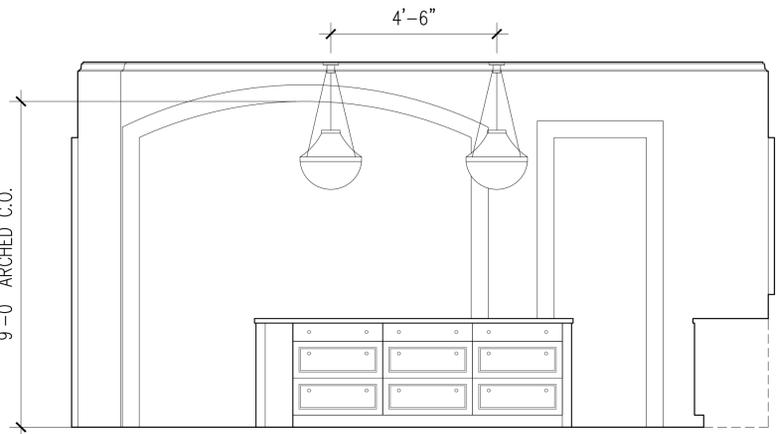
**3 EXISTING SIDE / NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



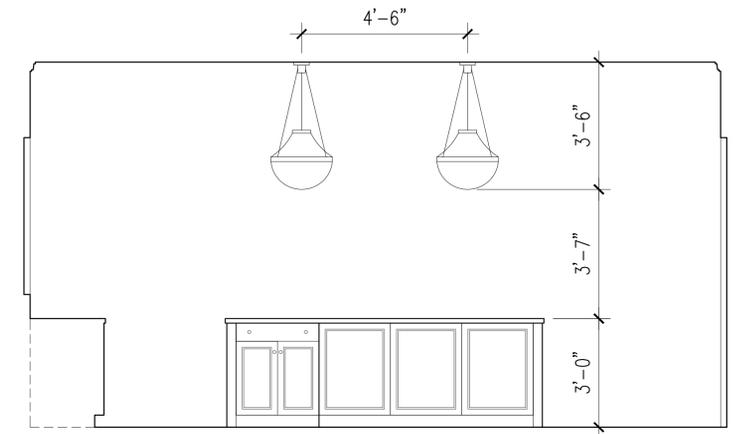
**1 EXISTING REAR / EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



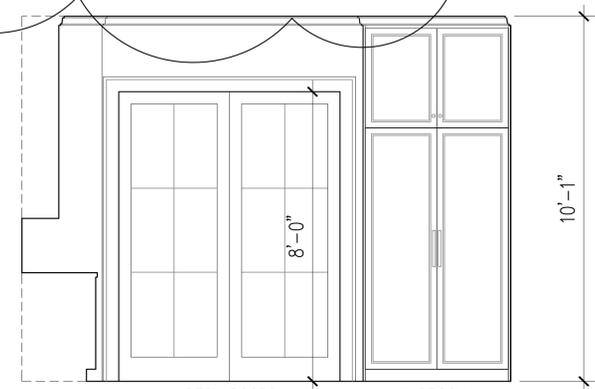
**7 FIREPLACE ELEVATION**  
SCALE: 1/2" = 1'-0"



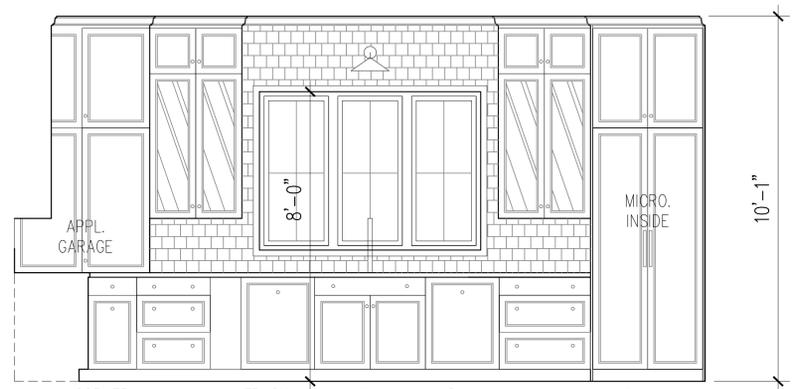
**6 KITCHEN ELEVATION - ISLAND**  
SCALE: 1/2" = 1'-0"



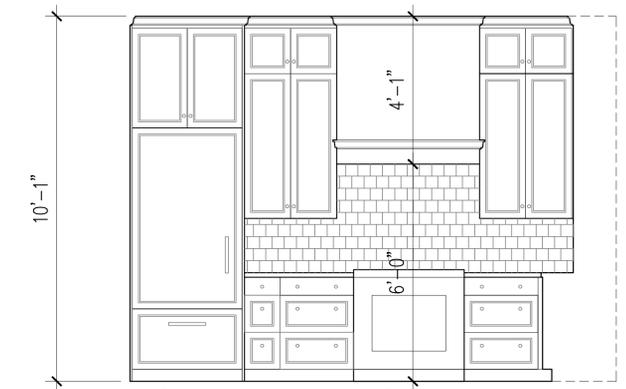
**5 KITCHEN ELEVATION - ISLAND**  
SCALE: 1/2" = 1'-0"



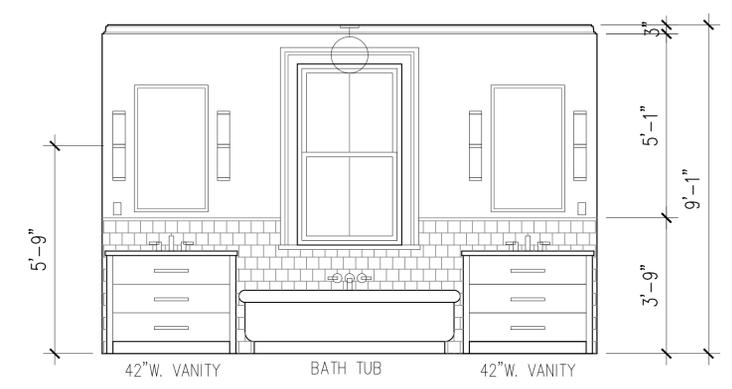
**4 KITCHEN ELEVATION - SOUTH WALL**  
SCALE: 1/2" = 1'-0"



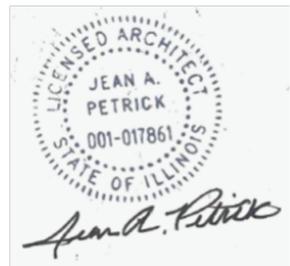
**3 KITCHEN ELEVATION - EAST WALL**  
SCALE: 1/2" = 1'-0"



**2 KITCHEN ELEVATION - NORTH WALL**  
SCALE: 1/2" = 1'-0"



**1 BATHROOM ELEVATION- SOUTH WALL**  
SCALE: 1/4" = 1'-0"



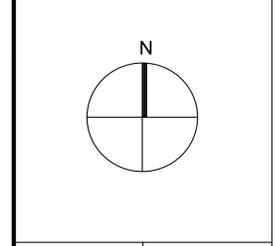
ARCHITECTURE + INTERIORS  
1326 ASBURY AVENUE EVANSTON, IL  
PH 847.721.5975  
JP@PETRICKARCHITECTURE.COM

COPYRIGHT: THE DRAWING, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. REPRODUCTION IS PROHIBITED. COPYRIGHT 2024, PETRICK ARCHITECTURE 2024.

FIELD VERIFICATION: CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

RESIDENTIAL REMODEL FOR:  
**MURPHY COACH HOUSE**  
1423 ELMWOOD AVE, EVANSTON

|                          |                                     |                          |                          |                          |                          |                          |
|--------------------------|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| 20 SEPT 2024             | 02 OCT 2024                         |                          |                          |                          |                          |                          |
| ISSUE FOR PERMIT         | PERMIT REVISION NO. 1               |                          |                          |                          |                          |                          |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |



SCALE:  
AS NOTED

DATE:  
02 OCTOBER 2024

**A4**



11614 ALGONQUIN RD.  
HUNTLEY, IL. 60142

TOPOGRAPHICAL-ALTA/ACSM-BOUNDARY-SUBDIVISIONS-MORTGAGE-CONDOMINIUM

PHONE: (847) 458-1710  
FAX: (847) 458-1713



Scale - 1 inch = 20 feet

# Jens K. Doe

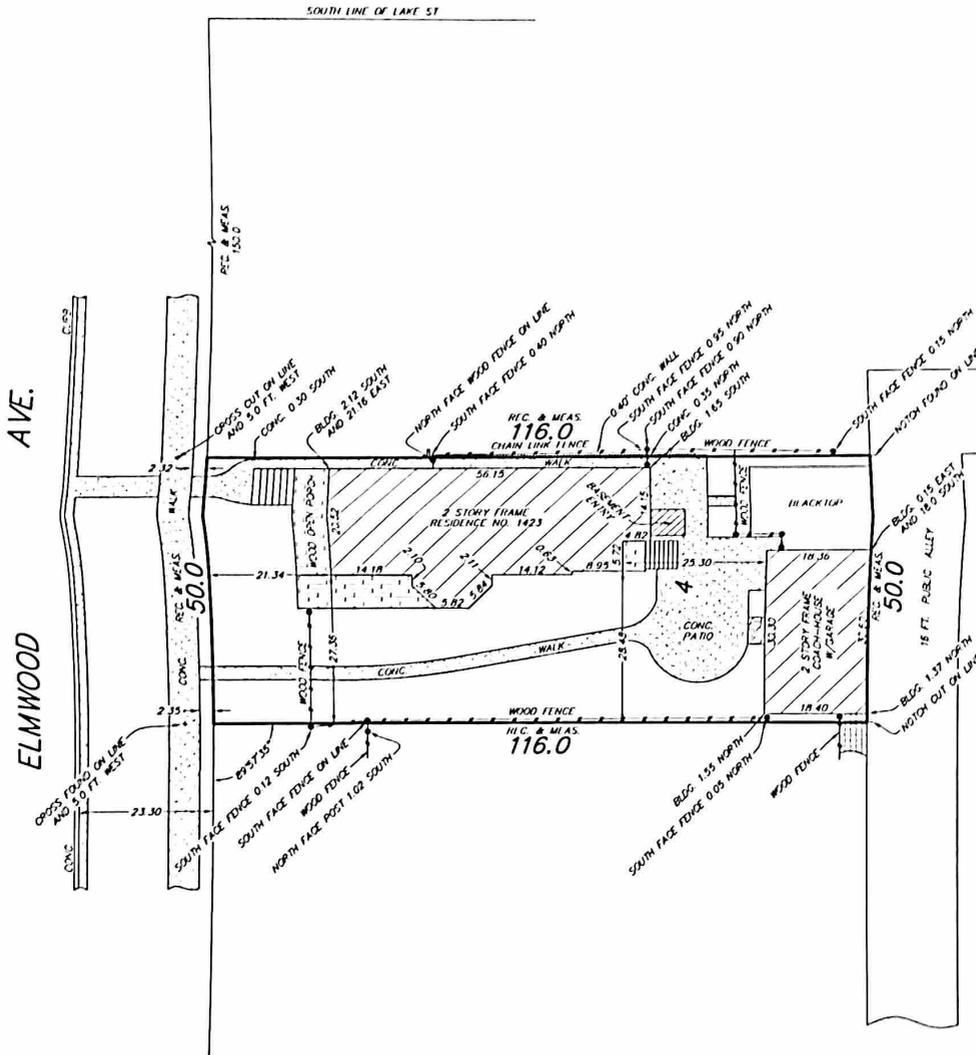
Professional Land Surveyors, P.C.

## PLAT OF SURVEY

ORDER NO.  
20-0495

LOT 4 IN OBADIAH HUSE'S SUBDIVISION OF BLOCK 51 IN VILLAGE OF EVANSTON IN THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1423 ELMWOOD AVE., EVANSTON, ILLINOIS.



**NOTE:**  
The legal description noted on this plat is a copy of the land survey order placed by the client and for no reason **MUST** be compared with the Deed or building restrictions refer to your Abstract, Deed or Contract.  
Compare dimensions between parties before building and report any discrepancy to this office immediately.  
Dimensions shown hereon are not to be assumed or scaled.  
Dimensions shown hereon are in feet and decimal parts thereof.

Field work completion date: August 25, 2020.  
ORDERED BY:  
WINAND & LOUDENSLAGER

State of Illinois )  
County of Cook )

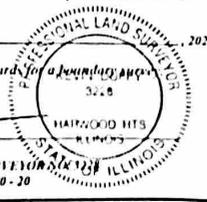
JENS K. DOE PROFESSIONAL LAND SURVEYORS, P.C., does hereby certify that a survey has been made under its direction, by an Illinois Professional Land Surveyor of the property described hereon and that the plat hereon shown is a correct representation of said survey.

Chicago, Illinois, Dated this 26th Day of August, 2020.

This professional service conforms to the current Illinois minimum standards for a boundary survey.

JENS K. DOE PROFESSIONAL LAND SURVEYORS, P.C.

*[Signature]*  
AUGUST 25, 2020  
ILLINOIS PROFESSIONAL LAND SURVEYORS  
LICENSE EXPIRATION: 11 - 30 - 20



















# MEMORANDUM

To: Members of the Preservation Commission

From: Cade W. Sterling, Planner

Subject: Proposed 2025 Meeting Schedule

Date: December 3, 2024

## Summary

Staff recommends adoption of the following schedule for the 2025 calendar year. Outside of the January and July meetings, all meeting dates fall on the second Tuesday of each month. As in past years, an August recess is planned due to historic low case load and difficulty meeting quorum.

| Month     | Date               | Notes   |
|-----------|--------------------|---|
| January   | 21 (Third Tuesday) | Third Tuesday due to the Holiday and associated deadline for application submissions if held on the second Tuesday. |
| February  | 11                 |   |
| March     | 11                 |   |
| April     | 8                  |   |
| May       | 13                 |   |
| June      | 10                 |   |
| July      | 15 (Third Tuesday) | Third Tuesday due to the Holiday and associated deadline for application submissions and Commissioner review        |
| August    | N/A                | Cancelled   |
| September | 9                  |   |
| October   | 14                 |   |
| November  | 11                 |   |
| December  | 9                  |   |



**MEETING MINUTES**

**PRESERVATION COMMISSION**

Tuesday, November 12, 2024

7:00 P.M. Council Chambers Room 2800

Members Present: Carl Klein, Thomas Ahleman, Amanda Ziehm, Matthew Johnson, Stuart Cohen, Lesa Rizzolo, Joshua Bowes-Carlson, John Jacobs

Members Absent: Beth Bodan, Sarah M. Dreller, Charles Smith

Staff Present: Cade W. Sterling

Presiding Member: Carl Klein, Secretary

Minutes Taken by: Cade W. Sterling

---

**CALL TO ORDER/DECLARATION OF A QUORUM**

**PUBLIC COMMENT**

Members of the public are afforded three minutes per person to provide testimony related to items listed under discussion, or to otherwise address the Commission generally. Members of the public wishing to provide testimony on new or unfinished business shall be given the opportunity to do so during those agenda items in a manner and under time limits determined by the Chair.

**REVIEW AND COMMENT**

**Church Street Bike and Pedestrian Improvements**

The Illinois Department of Transportation (IDOT) and the Federal Highway Administration (FHWA), in conjunction with the City of Evanston, propose a shared-use path construction project involving Church St., McDaniel St. and Dempster St. in Evanston. The project involves the construction of two-way bicycle lane with a barrier median and pedestrian bump-outs on Church St. between North Shore Channel and Dodge Ave. as well as a shared-use path along the east side of the North Shore Channel between Dempster St. and Church St. This project will fill a

gap in an existing bike trail network between Beck Park and Harbert Park in Evanston.

IDOT has identified two resources within the area of potential effect as being eligible for listing in the National Register of Historic Places including the landmark designated Evanston Township High School, and the North Shore Channel and its associated landscape. As a consulting party to the Section 106 process, the Preservation Commission shall review and provide comments to IDOT on potential adverse impacts, if any, to the identified resources eligible for listing in the National Register of Historic Places, as well as provide, as applicable, recommendations for their avoidance, minimization, or mitigation.

- The consultant and members of the City's Public Works Agency presented the scope of work and identified the two resources, Evanston Township High School and the North Shore Channel, as being potentially eligible for the National Register of Historic Places.
- Following questions and discussion, there was majority consensus amongst the members present that the proposal would not result in adverse impacts to these resources and their ability to communicate their past and historic significance effectively.
  - Commissioner Ziehm and Commissioner Klein expressed concern about the projects impact to the Channels associated landscape and mature trees.
  - Commissioner Ziehm, exploring the potential to avoid the adverse impacts to those resource, asked for further clarification on the need and supporting data related to the portion of bike infrastructure running through the park and under Dempster Street.
  - Public Works representatives and the consultant noted the use of a third party biking app which shows the area as a current gap in service. And noted use of on-street infrastructure on Dempster which could connect to the east side of the Channel was not possible due to high traffic volumes.
  - Commissioner Ziehm agreed the portion of infrastructure adjacent to Church Street was important, but felt the investment being made for the channel portion could be better suited elsewhere such as portions of Dodge Avenue which would allow avoidance of any potential adverse impacts to the significant landscape.
- Commissioners further agreed with IDOTs findings in regards to the significance and eligibility of the North Shore Channel, as well as the Evanston Township High School, an Evanston Landmark.
- In regards to the North Shore Channel, Commissioners felt the project as presented had minimal impact to integrity and positively increased potential to access and visualize the North Shore Channel.
- It was further noted that the project could be made better through interpretive signage or other installations that communicate the significance of the Channel to not only Evanston, but Chicago and the Chicago Region broadly.

- If adverse impacts are identified, the Commission recommends this as a form of potential value added mitigation.

## OLD BUSINESS

### **24PRES-0137 - 318 Greenleaf Street - Lakeshore Historic District**

John Gonzalez, architect and applicant on behalf of the property owner, submits for a Certificate of Appropriateness to alter the structures existing pattern of fenestration, construct an overhead entry portico at the homes street facing primary elevation and construct a gable dormer above the full second-story at the homes west volume. **Continued from October 8.**

**Applicable Standards:** Alteration [1-10]; and Construction [1-8 and 10-14].

- Mr. Gonzalez presented the revisions prepared following the October meeting including changes in the proportion and lite pattern of fenestration to be more uniform, removal of the majority of glass block, and better depictions of the proposed overhead and side entry doors.
- Commissioners agreed the changes to fenestration were more sympathetic and the revisions addressed those concerns.
- Commissioner Jacobs, not present at the October meeting, asked about stylistic influence for the proposed entry portico, noting that the change to center the entryway rather than leave it offset, as well as the use of classical columns to support it, were more in keeping with a colonial revival style rather than the spare Prairie style the structure currently represents.
- The applicant noted that there was not specific stylistic precedent. The entryway being centered was critical for efficiency in the interior program of the structure, and the idea behind the visual change was to help the structure evolve and stand apart as a home rather than a coach house.
- Commissioner Cohen asked if the concern was related to the portico in general, or just the vocabulary of the columns suggesting that simple brick piers may be more sympathetic while also allowing the interior function to improve.
- The applicant agreed this may be a better solution.
- Commissioner Jacobs agreed this would resolve his concern.
- A motion to approve with the condition that the applicant work with staff to proposed a more compatible column, such as a simple brick pier, was seconded and carried on a vote of 8-0.

## NEW BUSINESS

### **24PRES-0159 - 2945-2949 Central Street - Landmark**

Ken Hazlett, architect and applicant on behalf of the contract purchaser, submits for a Certificate of Appropriateness to construct a wood pergola/arbor and

outdoor seating area in the property's south and west yards. Additionally, the applicant requests a modification to a previously approved Certificate of Appropriateness 24PRES-0138 (approved on October 8), altering the pattern of fenestration at the structures east volume to include a window and two overhead doors in new openings.

**Applicable Standards:** Alteration [1-10]; and Construction [1, 3-8, 10, 12-14, and 16].

- Mr. Hazlett presented the proposal, including the revisions made since the previous October meeting. In addition to moving the pergolas structure further from the sidewalk, the fence was removed, planters included around the perimeter, and also moveable planters with trees incorporated into the main volume of the outdoor seating area.
- The opening for the pergola was centered on the structures primary gable, and widened to allow for more transparency into the space. The path leading to the entry was also straightened and widened.
- Additional changes were made to the east elevation including two new overhead doors matching the front overhead doors, and a new window flanking the side entry door. This was done to allow both additional light into the rear volume of the structure, but also add more permeability and access so patrons would not have to travel around the structure to get food or use the bathroom.
- Commissioners expressed appreciation for the changes and agreed they satisfied their concerns at the October 8 meeting. Especially the additional landscape elements, which the applicant did not have to propose, will help soften the transition between the street and the seating area and allow for more privacy and sense of enclosure in the fall and winter months.
- A motion to approve was seconded and carried on a vote of 7-0-1 with Commissioner Bowes-Carlson stepping down from the dais and recusing himself due to a conflict of interest with the applicant.

**24PRES-0158 - 614 Judson Avenue - Lakeshore Historic District**

Studio Talo Architects, applicant on behalf of the property owner, submits for a Certificate of Appropriateness to 1; alter the exterior of the homes south volume three season room for use as habitable space by replacing screen panels with sliding doors in existing openings, replacing a single skylight with two smaller skylights on either side of the additions ridge, and removing and infilling an existing south elevation window, 2; alter the pattern of fenestration and proportion of openings at the homes rear volume single-story addition by replacing existing windows, and 3; reconstructing the rear volume shed roof and new shed roof dormer above the full first story.

**Applicable Standards:** Alteration [1-10]; and Construction [1-4; and 7-15].

- Natalya Silyarska, presented the application identifying the bulk of the change being limited to the rear elevation, raising the roof of the existing

single-story addition to accommodate a new shed roof. Additional changes included replacing screen panels in the screen porch with sliding glass doors, and removing a single window opening at the structures side elevation as well as modest window replacement and sill height changes at the rear volume. The only change to the front elevation is an addition of a single skylight at the screen porch roof replacing an existing skylight at the roofs ridge.

- Commissioners asked for clarification on the existing openings in the screen porch, specifically if the side opening was a window or a screen.
- The applicant noted it was a screen.
- Commissioners agreed it would be a nice composition to retain that opening, but the reasoning for its removal was logical and it didn't result in a significant impact to the homes integrity being on an addition.
- Commissioners questioned the use of sliding glass doors for a home of this vintage, noting that a series of french doors may be more compatible. However, it was noted that the proposed screen panels and general pattern of openings were very similar to what was proposed. Commissioners noted this change was more impactful at the front elevation, but also noted that the addition was set back from the front façade and street significantly.
- Commissioners applauded the sensitive and skillful nature of the shed dormer addition to the rear elevation, and agreed the pattern of fenestration at the rear volume was compatible.
- Commissioners questioned the use of a skylight at the front roof plane of the addition noting its visibility from the street. Alteration #1 was referenced, noting there was not a good reason for the skylight and it constituted more than the minimal change necessary to accommodate the interior function of the space.
- A motion to approve with the condition that the applicant remove the front facing skylight, was seconded and carried on a vote of 7-0-1 with Commissioner Ahleman stepping down from the dais and recusing himself due to a conflict of interest.

## APPROVAL OF MEETING MINUTES

### Minutes of October 8, 2024

- The minutes were approved without amendment.

## DISCUSSION (NO VOTE WILL BE TAKEN)

### 1311 Judson Avenue - Request for Technical Assistance and Consultation

Todd Jennings, contract purchaser, requests consultation with the Commission regarding the current condition and potential demolition of a contributing resource within the Lakeshore Historic District, as well as technical assistance

related to a future proposal for new construction.

- Todd Jennings, presented his proposal for the property, as well as the current condition of the property and its associated structural concerns. Mr. Jennings asked for advice on next steps, including potential documentation needed so the Commission could make an informed decision on a request to demolish the structure, what the general feelings were related to the significance or lack of significance of the property, and advice for proposing a compatible new structure on the lot if demolition were approved.
- Mr. Jennings noted his plan was to shore the property so it did not fail, but that he would first construct a modest two-story Coach House and ADU to live in while additional capital was made available to eventually demolish the home and build new.
- Commissioners acknowledged some of the property's deficiencies, but noted that the documentation provided did not seem to indicate that the property could not be rehabilitated.
- Commissioners noted it was a difficult judgement in terms of the significance of the property. It is not architecturally significant, but as a remnant of a more working class history of the neighborhood, it is a significant typology of home that makes it very interesting and potentially historically and culturally important to retain.
- Commissioners suggested the difficulty for the property rested in the purchase price, cost of rehabilitation and improvement, and whether someone could recoup that investment without undue burden.
- Commissioners advised the applicant to obtain additional documentation by a structural engineer on the condition of the property and how it might be rehabilitated and at what expense as well as statements from realtors as to whether that cost could be recouped for such a modest home.
- Commissioners advised the applicant to hire a good architect to study surrounding context and design vocabularies and propose a compatible structure that might replace the one in question. The cost of these services is worth the expertise and quality one would gain, especially if a local architect were hired who specializes in these types of proposals and constructing more traditional and sympathetic housing types.

## REPORTS AND UPDATES

### Deconstruction (10 Minutes)

Commissioner Ahleman will provide the Commission with an update on progress related to a deconstruction ordinance (Initiative 3.6 in Preserve 2040).

- Commissioner Ahleman provided an overview of stakeholder meetings he attended related to deconstruction and an associated ordinance being considered. This is in the early stages and he felt it was an opportunity to discuss with the Commission.
- Commissioners discussed the feasibility of a deconstruction ordinance,

specifically how it relates to historic buildings with more valuable materials capable of being reused. Historic districts may be a logical place to start. However, it was noted that demolitions are extremely rare other than accessory structures.

- Commissioners wondered if deconstruction could apply to interior work not currently under the Commissions purview.
- The most valuable materials capable of reuse are an older structures framing and old growth lumber.
- Commissioners questioned if there was sufficient capacity in the region to undertake deconstruction if it were mandated and wondered if there were incentives that could offset the additional cost such as permit waivers.
- Although the cost is more than demolition it has significant benefits for both the environment as well as job creation. Materials as well as appliances and other features can be donated and used as a one time tax incentive that helps offset additional cost.
- Commissioners discussed other City's that have approved something similar including Portland, Boulder, and San Antonio noting that the San Antonio program is run through their historic preservation office. In all instances, the program started small and was ramped up. Typically there are date of construction minimums that frame which properties apply. For example, deconstruction could only apply to structures built before 1930.
- Commissioners ultimately agreed the exploration was valuable and that starting small and with historic structures was logical but there was additional work to be done to understand how the cost would be offset and through which department the Ordinance would be enforced. The City needs to start somewhere and allow the program to evolve and grow, overcoming misunderstandings or unintended consequences or complexities as they arise.

#### **Nomination procedures for 2025 Commission Officers (5 Minutes)**

Staff will provide an update on timing and procedures related to nomination and election of 2025 Officers.

- Mr. Sterling reminded the Commission to nominate Commissioners for the role of Chair, Vice-Chair, and Secretary, and that elections would be held in January.

#### **ADJOURNMENT**

The meeting adjourned at 9:30 pm