



LAND USE COMMISSION

Wednesday, March 26, 2025 | 7:00 P.M.
James C. Lytle City Council Chamber, Second Floor
Lorraine H. Morton Civic Center, 2100 Ridge Avenue

AGENDA

Those wishing to make public comments at the Land Use Commission meeting may submit written comments in advance or sign up to provide public comment in-person during the meeting by calling/texting 847-448-4311 or completing the Land Use Commission meeting online comment form available by clicking [here](#), or visiting the Land Use Commission webpage, <https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission>, clicking on How You Can Participate, then clicking on Public Comment Form. Community members may watch the Land Use Commission meeting online at www.cityofevanston.org/channel16 or on Cable Channel 16.

- I. **CALL TO ORDER/DECLARATION OF A QUORUM**
- II. **APPROVAL OF MEETING MINUTES: November 20, 2024**
- III. **NEW BUSINESS**

A. Public Hearing | Special Use | 1905-1909 Howard St. | 25ZMJV-0006

Joy Powell, applicant, submits a Special Use application requesting to amend the existing Special Use approval granted by Ordinance 120-O-14 to expand a Daycare Center—Child, A Step By Step Learning Academy, in the C1 Commercial District (Section 6-10-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 10-25-113-045-0000.

B. Public Hearing | Major Variations | 2206 Maple Avenue, 2215-2219 Maple Avenue & 916 ½ Noyes Street | 25ZMJV-0003

Paul Harb, applicant, of 2206 Map LLC, requests Major Variations to allow construction of a 5-story multi-family residential building with 30 dwelling units (including 6 bonus dwelling units per IHO), and 29 parking spaces (18 within the building and 11 on the exterior of the site) in the R5 General Residential District. The applicant requests the

Order & Agenda Items are subject to change. Information about the Land Use Commission is available at: <https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission>. Questions can be directed to Meagan Jones, Neighborhood and Land Use Planner, at mmjones@cityofevanston.org or 847-448-4311. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact 847-866-2919 (Voice) or 847-866-5095 (TTY). Requests for access assistance must be made 48 hours (two working days) in advance. Requests received with less than 48 hours (two working days) advance notice will be attempted using best efforts, but cannot be guaranteed.

La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847/866-2916 (voz) o 847/448-8052 (TDD).

following Major Variations for the property at 2206 Maple Avenue: 1) Section 6-8-7-4, to allow 24 dwelling units (including 6 on-site inclusionary units) + 6 market rate bonus units for 30 total dwelling units where a maximum of 19 dwelling units is allowed; 2) Section 6-16-3-5, Table 16-B, to allow 20 off-street parking spaces (18 onsite and 2 offsite) where code requires a minimum of 27 off-street parking spaces; 3) Section 6-16-4-4, to allow a 9.5' x 25' short loading berth where code requires a 10' x 35' short loading berth, and; 4) Section 6-4-6-3(A)1, to allow 72% rear yard coverage with parking and loading uses, where code restricts maximum rear yard coverage to 40% for these uses in a residential district. Javier Viera, co-applicant, of the Garrett Evangelical Theological Seminary, requests the following Major Variation for the property at 2215-2219 Maple Avenue and 916 ½ Noyes Street: Section 6-16-3-5, Table 16-B, to allow 16 off-street parking spaces (with 11 of those 16 spaces provided on the 2206 Maple Avenue property) where code requires a minimum of 28 off-street parking spaces. The applicant and co-applicant may seek and the Land Use Commission may consider additional variations as may be necessary or desirable for the proposed development. The Land Use Commission makes a recommendation to the City Council, the determining body for this case. PINs: 11-07-119-019-0000, 11-07-120-049-8001.

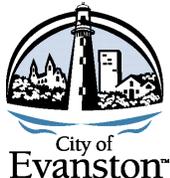
IV. COMMUNICATIONS

V. PUBLIC COMMENT

VI. ADJOURNMENT

The next Evanston Land Use Commission meeting is scheduled to be held **on Wednesday, April 9, 2025, at 7:00 pm**, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center at 909 Davis Street.

Draft Meeting Minutes



MEETING MINUTES

LAND USE COMMISSION

Wednesday, November 20th, 2024

7:00 PM

Lorraine H. Morton Civic Center, 2100 Ridge Avenue, James C. Lytle City Council Chambers

Members Present: George Halik,, Kiril Mirintchev, Chair Matt Rodgers, Myrna Arevalo, Jeanne Lindwall, Brian Johnson, Max Puchtel

Members Absent: Jameika Mangum, Darush Mabadi

Staff Present: Neighborhood Land Use Planner Meagan Jones, Zoning Administrator Melissa Klotz, Senior Planner Sam Hubbard, Planning Manager Elizabeth Williams, Community Development Director Sarah Flax

Presiding Member: Matt Rodgers

I. CALL TO ORDER/DECLARATION OF A QUORUM

II. NEW BUSINESS

A. Public Hearing | Comprehensive Plan - Envision Evanston 2045

The City of Evanston is proposing a new Comprehensive General Plan to guide development for the next 20 years. The draft plan includes a vision statement, goals, policies and actions related to the environment; land use; transportation; housing; economic development; placemaking, arts and culture; parks and open space; and preservation.

Chair Rodgers introduced Mayor Daniel Biss who thanked the Land Use Commission for their dedication, acknowledging the challenging complexity and importance of their work. He highlighted the transformational potential of the commission's decisions, emphasizing how they align with community priorities. The mayor recognized this process as an extraordinary opportunity to guide the city's long-term trajectory and expressed hope that the commission takes pride in their role in shaping a meaningful future for Evanston.

Planning Manager Elizabeth Williams presented a presentation in regards to Envision Evanston 2025 that discussed the planning process, emphasizing the importance of community engagement in shaping the comprehensive plan. It also outlined the phases of the plan's development, from gathering public input to refining policies in collaboration with city departments as well as key goals. The process remains open to feedback, and

various engagement opportunities are available to gather more input before the plan moves forward.

Policy and Intergovernmental Affairs Manager Alison Leipsiger and Neighborhood and Land Use Planner Meagan Jones continued with the presentation, providing additional information on community engagement, outlining the chapters and mentioning next steps in the process including gathering additional community input through town halls and zoning meetings, with a final draft planned for review in early 2025.

Deputy City Manager Steve Ruger thanked the attendees for their participation and emphasized the importance of aligning the community's goals with the draft plan. He highlighted the comprehensive, 20-year scope of the plan, noting that the city is working on a long-term vision, unlike cities with shorter planning cycles. He then praised the staff for their dedication, mentioned the transparency efforts with the updated land use code, and encouraged public feedback to ensure the plan reflects the community's needs. He expressed excitement for continued collaboration moving forward.

Commissioner Comments

Commissioner Lindwall asked for confirmation that the draft was a draft and that there will be an approval draft that would be put together before it went to city council. Elizabeth Williams confirmed.

Commissioner Halik expressed concern that the community outreach, while impressive, still only represents a small percentage of Evanston's population. He suggested the need for more ways to engage a broader audience, beyond just relying on the website and individuals volunteering their opinions. Halik compared this to voter turnout, noting that even though not everyone votes, there should be more effort to involve more residents in the planning process.

Elizabeth Williams acknowledged the concern about community participation and encouraged suggestions for improving engagement. She highlighted that the city's efforts have already surpassed the national average for public participation in comprehensive planning, which typically ranges from 1-2%. In Evanston's case, participation has exceeded expectations, reflecting the community's engagement with local planning efforts.

Commissioner Johnson inquired about the decision to conduct the comprehensive plan and zoning process concurrently. Elizabeth Williams explained that the decision to conduct the comprehensive plan and zoning process concurrently was outlined from the start in the request for proposals (RFP). Both documents are closely intertwined and were last evaluated decades ago. This approach ensures that the plan reflects current trends and community values, while also addressing the importance of aligning planning with regulations. When planning and regulations are done separately, it can result in the plan's lack of practical implementation, which is why this integrated approach was chosen.

Commissioner Halik mentioned the importance of taxes and fiscal responsibility and how that fits in with the plan. Fiscal responsibility is something that needs to be considered, one of the themes relates to the cost of housing and taxes are inherently part of that cost and is something that community members did bring up during community engagement. One of the ways to address this is expanding the tax base, finding ways to enable more businesses to locate in Evanston. This could also apply to housing choice in Evanston.

Chair Rodgers explained that there are no set standards of approval for Comprehensive Plans and provided the definition of Comprehensive General Plan in section 2.7.3 - Definitions of the City Code for reference.

Public Testimony

Chair Rodgers opened public comment.

Christine Lofquist, a Sixth Ward resident for 22 years, expressed support for the proposed zoning code changes and the comprehensive plan. She shared her experience as a single mother who could not afford a townhome in the Sixth Ward, emphasizing the need for more diverse housing options such as duplexes, triplexes, and fourplexes to provide opportunities for others like her. Christine advocated for inclusivity and adaptability in Evanston's planning, highlighting the importance of accommodating different family structures and demographics in the community.

Sergio De los Reyes, a resident of Evanston since 1980, Sergio expressed support for the goals of the comprehensive plan, emphasizing increased density, more housing choices, and a transparent zoning process.

Peter Kelly, representing a three-generation Evanston family, encouraged the commission to focus on expanding housing options for various life stages, from starter homes for young families to downsizing needs of empty nesters. He suggested gathering insights from realtors and organizations like Connections for the Homeless to understand housing demand better. He also emphasized that downtown Evanston should be recognized as a distinct neighborhood in the plan.

David Graver expressed strong support for the upzoning process and the comprehensive plan. He shared a personal story about his family's multi-generational ties to Evanston, highlighting the challenges of affording housing for younger generations. He emphasized the importance of considering the needs of busy, younger residents with families, who often cannot participate in public meetings but are directly impacted by housing policies.

David Cherry critiqued the idea of reducing or eliminating minimum parking requirements in Evanston's comprehensive plan, citing data on transit ridership. He highlighted that the construction of multi-unit buildings like Amlie and The Main had no significant positive impact on CTA Main Street station ridership. He expressed skepticism about projections of population growth and increased transit use, suggesting potential risks of overbuilding housing with inadequate parking. He also noted a historical decline in CTA ridership, reflecting broader trends in transit use.

Matt Cotter, a resident of Evanston's Second Ward and co-chair of the Evanston Environment Board, expressed support for the comprehensive plan's strong focus on environmental sustainability and resilience. He highlighted the Board's memo with specific recommendations, including enhancing language on natural resource growth, providing historical context on environmental injustices, and promoting a circular economy. Speaking personally, he likened the plan to planting seeds, emphasizing gradual progress toward a more sustainable, inclusive, and vibrant future for Evanston. He encouraged bold action to bring this vision to life.

Owen Wilson Thomas critiqued the comprehensive plan's representation of bike infrastructure, emphasizing that painted bike lanes should not be categorized as protected lanes and pointing out misleading labeling on the map. He supported increasing housing supply and appreciated the plan's prioritization of housing availability over property values and its focus on eliminating parking minimums. He also praised the transportation section for its acknowledgment of the negative impacts of car infrastructure. Thomas urged the city to implement the document's recommendations, emphasizing the need to "walk the talk."

Naqiy McMullen, a resident of Evanston's Eighth Ward, broadly supported the goals of the Envision 2045 plan, emphasizing its focus on addressing climate change and housing affordability. She critiqued the limited application of mixed-use zoning and advocated for expanding neighborhood-scale retail to encourage walking and reduce car dependency. McMullen also highlighted the need for better transit options, like extended bus service on Ridge Avenue and a new Yellow Line infill station in South Evanston, to enhance transportation accessibility and support diverse, low-income populations. She encouraged moving the plan forward.

Eric Paset, a Fourth Ward resident and property manager, expressed concerns about Evanston's property taxes, particularly their high burden on apartment buildings compared to single-family homes. He supports development but emphasized the importance of providing adequate parking, especially in areas like downtown and Main Street. He noted that while parking demand varies by location, a lack of sufficient parking for new developments could strain existing resources and deter visitors due to high parking costs. He urged thoughtful integration of parking into future development plans.

Jonathan Seldin, a resident of the Third Ward, expressed strong support for the Envision 2045 plan, particularly the removal of parking minimums, stating that if parking is not provided, people will not bring cars. He emphasized the need for diverse housing options, critiquing the preservation of large mansions in favor of townhomes and multifamily units. He also advocated for improved transit, including east-west bus routes and protected bike lanes. Additionally, Mr. Seldin suggested expanding affordable housing through vouchers rather than inclusionary housing ordinances and endorsed policies that focus on reducing rents in older housing stock.

Jeff Smith expressed concerns about the draft comprehensive plan, particularly regarding the emphasis on density, growth, and the removal of parking requirements. He questioned the assumption that growth is inevitable and argued that Evanston is already a densely populated and diverse community. Mr. Smith also criticized the lack of focus on housing for seniors and fixed-income residents, suggesting the plan favors new development at the expense of long-term residents. He advocated for more community-driven planning and a better understanding of the potential impact on affordability and sustainability.

Sue Loellbach, with Connections for the Homeless, expressed support for the zoning changes, which she believes will create more housing options and affordability in Evanston. She

acknowledged that the new zoning code offers greater flexibility while maintaining a cohesive community appearance. She emphasized that the zoning changes will not immediately create affordable housing but will provide opportunities for it. Ms. Loellbach also highlighted the importance of housing as a foundational element for equity, noting that the high cost of housing exacerbates poverty and other social issues. She urged the commission to prioritize the well-being of residents across all income levels.

Ann Trumpeter, a resident of Evanston for over 20 years, expressed strong opposition to eliminating the R1 zoning district. She values the beauty, safety, and sense of community that the current neighborhoods provide. Ms. Trumpeter argued that eliminating R1 would encourage large-scale developments that could harm the character and property values of the area. She believes that this change would negatively impact the quality of life in Evanston and does not address housing inequity effectively. She urged the commission not to pursue this aspect of the comprehensive plan.

Paul Janicki, an architect in Evanston, voiced concern over the elimination of the R1 zoning district. He warned that it could lead to the demolition of historic homes and significant loss of mature trees and open space. Mr. Janicki emphasized the importance of preserving the architectural beauty and character of the city, arguing that the pace of these changes is too fast. While he supports density in housing, he believes the removal of R1 zoning is misguided and could negatively impact the city's environment and heritage.

Nicole Haidu, a real estate professional, expressed support for the proposed zoning plan. She believes the changes will be beneficial for those in her industry by helping them understand new zoning rules and enabling them to communicate more effectively with clients. She emphasized that these adjustments would help expedite the process.

Drina Nikola, a resident of Evanston and a member of the Age Friendly Evanston Task Force, expressed concerns about the senior population in the city. She highlighted a significant decrease in the percentage of seniors from 18.3% to 15.6% between 2018 and 2023. Ms. Nikola emphasized the need for senior housing and pointed out that many seniors moving into the city are from outside Evanston. She also advocated for supportive housing and clustered housing options for seniors, particularly in walkable neighborhoods near the Levy Center and James Park.

Paul Lehner, a resident of downtown Evanston, expressed concerns about the plan's suggestion to allow many tall buildings in the area. He urged the commission to carefully consider whether a downtown dominated by high-rise buildings aligns with what residents want or what would be accessible and welcoming. He indicated that he would share more specific comments at a later meeting or in writing.

Carl Bova, a long-time resident of Evanston, voiced concerns about the R1 zoning issue, agreeing with earlier comments that preserving current structures is important rather than allowing dense developments. He also mentioned the significant increase in his property taxes, from \$11,200 to nearly \$20,000 annually. Carl criticized the city's proposed spending on various projects, such as enhancing the Foster School, and raised concerns about increasing density in narrow streets, which could affect parking and quality of life. He plans to review the comprehensive plan further before making additional comments.

John Foley briefly discussed concerns about high property taxes in Evanston, which he believes are a major factor driving out the middle class and contributing to affordability issues. He agreed

with Jeff Smith's comments about avoiding high-density development like Chicago's, which he feels would exacerbate traffic congestion and reduce quality of life. John expressed skepticism about whether such changes would benefit Evanston residents.

Mary Rosinski expressed concerns about the rushed nature of the comprehensive plan process, suggesting more time for public engagement and reflection. She emphasized the importance of balancing vision and functionality in urban planning, with a need for gradual increases in density rather than drastic changes. Rosinski called for clarity on zoning changes, particularly the impact of potential high-density buildings near smaller homes. She stressed the importance of a long-term commitment to affordable housing, warning that zoning changes alone would not address affordability without solid planning.

John Metzger expressed concerns about increasing density in his neighborhood, particularly with the potential opening up of R1 zoning to multifamily housing. He highlighted the challenges of small lots with limited parking, which already cause congestion when there are gatherings. Meter also noted the problematic intersection near his block, where a proposed development, such as converting Unity Church into multifamily housing, could worsen traffic and safety issues. He strongly believes that increasing density in this area would be a mistake.

Chris Oakley, a resident of Sixth Ward, commented that he did not see the elimination of R1 zoning in the proposed changes, but only a subtle increase in building lot coverage. He also emphasized the importance of involving other large taxing bodies, such as Districts 65 and 202, as well as institutions like Northwestern University and local hospitals, in the comprehensive planning process, since they play a significant role in the city's property tax structure.

Cecile McHugh expressed concern about allowing increased density by right, fearing it might lead to buildings being demolished solely for profit, which could harm the aesthetic and character of Evanston. He appreciated the city's historic and attractive architecture, stating that while increased density might be appropriate in certain areas needing improvement, it should not come at the cost of destroying well-preserved neighborhoods.

Commissioner Comments

Chair Rodgers emphasized the broad vision and policy focus of the Comprehensive General Plan, clarifying that it is a guiding document addressing objectives and policies rather than specific site plans or individual property details. They referred to Evanston's city code to define the purpose of the plan, highlighting its role in outlining community goals for land use, transportation, and public facilities. Chair Rodgers also noted that detailed land-use specifics will be addressed later during the zoning ordinance phase.

Commissioner Lindwall provided extensive feedback, and emphasized creating a well-rounded, comprehensive plan that respects Evanston's history while addressing modern needs. She also noted the following key points:

- **Missing Components:** She noted the absence of sections on local institutions, public buildings, and schools in the comprehensive plan, suggesting their inclusion. These were addressed in previous plans (1974, 1986, 2000) and remain relevant today.
- **Community Facilities:** She recommended creating a dedicated chapter on public infrastructure, institutions, and schools to address operational needs and align

with community goals.

- Community Wellness: She proposed a chapter focusing on environmental justice, brownfields, and sustainability issues, incorporating elements like tree canopies and life expectancy concerns.
- Preserving Built Environment: Lindwall highlighted Evanston's commitment to preserving its architectural heritage and sustainability, stressing the importance of valuing and reusing existing structures.

Commissioner Halik expressed concern about the tight schedule for finalizing the comprehensive plan, emphasizing the need to incorporate critical feedback from discussions, such as points raised by Commissioner Lindwall. He criticized the idea of rushing to finalize the plan and making adjustments later, arguing that such an approach is not logical or practical. Halik stressed the importance of addressing essential issues upfront to ensure a thorough and complete plan.

Commissioner Puchtel made three main comments:

- He questioned the need to address broadband access goals in the plan, noting that 95.2% of families reportedly have broadband access. He suggested confirming whether access is a real issue before including it.
- General concern about the proposed zoning map, questioning the distinction between low-impact residential and moderate-sized residential areas, and why specific areas are classified as such.
- He asked about the process for drafting and evaluating amendments to the plan, expressing interest in understanding how community or Commissioner proposals would be formally incorporated.

Elizabeth Williams explained that staff is preparing a summary matrix of all comments made by Commissioners during deliberations. This matrix will help Commissioners review feedback, propose amendments, and make motions or recommendations as part of the package sent to the City Council. This process aims to provide clarity and structure for evaluating and finalizing changes to the comprehensive plan.

Elizabeth Williams addressed a follow-up question about edits to the comprehensive plan, outlining three main categories: typographical corrections, clarifications on statements, workforce demographics and school enrollment trends, and policy changes requiring votes. She emphasized staff's commitment to integrating feedback from Commissioners and community members. Staff welcomes input via emails or comments and has enlisted volunteers to assist with refinements. Additionally, the suggestion for more comparative visuals and explanations of changes to zoning and policies is being considered to improve clarity and accessibility of the plan.

Chair Rodgers emphasized the need for coordination with external entities like the RTA, CTA, Metra, schools, and park districts to align Evanston's 20-year plan with their long-term goals and resources.

Elizabeth Williams explained that staff has ongoing discussions with various community partners impacting the built environment and noted that consultants had conducted one-on-one conversations with organizations. Additionally, she expressed openness to continuing these discussions, especially in light of Commissioner Lindwall's suggestion to add a chapter addressing community facilities and institutions.

Chair Rodgers suggested that for clarity, the document should include sources for overarching statements. He proposed that staff indicate whether the data comes from community input, CMAP, HUD statistics, or other sources, making it clearer where the information is derived from.

Commissioner Halik raised concerns about the carbon-neutral development goals, particularly the potential impact on housing affordability. He suggested that while sustainability is important, requiring such measures could make housing more expensive and may drive developers away. He recommended promoting these goals without making them mandatory. Elizabeth Williams asked if he had a suggested alternative, noting that these goals were part of the city's climate action plan.

Commissioner Lindwall proposed moving the future land use map to the land use chapter for clarity and raised a question about the mixed-use category regarding past industrial uses not being relevant. Elizabeth Williams explained that the city is updating its industrial land base, acknowledging that many areas designated as industrial no longer serve traditional industrial purposes.

Commissioner Lindwall suggested including other local park districts like Lighthouse and Ridgeville, along with Canal Shores, in the open space section.

Commissioner Puchtel asked for clarification on the definitions of "low impact residential" and "moderate size residential," and Chair Rodgers expressed concerns about specific density goals in the comprehensive plan and wanted clearer distinctions between the residential categories.

Elizabeth Williams clarified that residential categories are divided into low impact residential (R1/R2), moderate-sized residential (R3), and urban living (R4), with varying development potential. She also discussed the mixed-use categories, such as neighborhood pocket (M1), business districts (M2), and urban mixed use (M3).

Commissioner Mirintchev suggested including specific density data and parameters in the comprehensive plan for better tracking and comparison with other cities, which could help evaluate density and zoning effectiveness over time.

Chair Rodgers raised concerns about displacement during redevelopment, particularly in a built environment, and the challenges of innovating in underused industrial spaces. Elizabeth Williams explained that innovation zones were born from community visioning sessions, focusing on sustainability and local economic resilience. She also mentioned the potential for reusing obsolete industrial buildings for purposes like housing or commercial spaces.

Commissioner Lindwall and Chair Rodgers suggested broadening these innovation zones to incorporate mixed-use developments, especially if housing is included, addressing contaminated land concerns for potential redevelopment areas like near Target.

Chair Rodgers raised concerns about displacement and the limited availability of land for new development. Questioned the placement of Innovation and Creation Zones and their connectivity to other areas. Suggested revising the category to include mixed-use areas with housing.

Elizabeth Williams provided clarification on residential zoning categories and how they reflect varying development potentials. She then discussed the vision behind the Innovation and Creation Zones, including sustainability and local resource production.

Commissioner Lindwall emphasized the need for clearer categories in transportation, especially regarding limited transit hours. Suggested revising truck routes and including active transportation modes, like e-scooters, in planning documents.

Commissioner Halik expressed concerns about eliminating parking requirements, questioned the inclusion of self-driving cars, and disagreed with a one-sided view on parking fees. He also raised concerns about parking and delivery zones.

Commissioner Rodgers discussed flexible parking spaces and questioned the exclusion of Howard and Main Streets from infrastructure planning. Suggested more focus on truck routes and improving alley loading zones. Raised the need for ADA-compliant, walkable sidewalks in business areas.

Commissioner Halik suggested that park density should be analyzed by specific areas within Evanston rather than considering the city as a whole. He emphasized that some areas are well-served by parks, while others are lacking, and these disparities need to be addressed separately for accurate planning.

Commissioner Lindwall requested clarification regarding the land served by the Skokie Park District, as mentioned in the existing conditions section of the document. She referred to a paragraph that discusses three independent park districts (Ridgeville, Lighthouse, and Skokie) managing parkland in Evanston and expressed confusion about what she was missing, indicating she had not previously heard about this.

Assistant Director of Parks and Recreation Michael Callahan explained that Pooch Park, located on the west side of Evanston off Main Street, is owned by the Skokie Park District. Evanston has a reciprocal agreement with Skokie, where Evanston funds some improvements at the park, and Evanston residents can use the park at a specific rate.

Commissioner Lindwall raised concerns about preserving habitats for native flora and fauna, particularly regarding the use of herbicides and pesticides in parks. He expressed concern over their potential impact on pollinators and predators, like owls, hawks, and foxes, which could be affected by poison used for pest control, such as anticoagulants. Lindwall suggested that a policy might be necessary to ensure that

these ecological risks are considered in park management.

Michael Callahan explained that the city has a resolution limiting pesticide use on public property, including herbicides, though rodenticides are exempted due to public health concerns. He emphasized that very few pesticides are used on public property, but acknowledged the importance of managing ecological risks associated with pest control.

Chair Rodgers praised the section, noting its helpful content. He suggested adding a paragraph about the city's commitment to protecting threatened species, such as through the Mayor's Monarch Pledge, and caring for resources like Elm trees, the lakefront, and beaches. Emphasized the ongoing work of replacing beach sand and the importance of making environmental care part of city policy. Also mentioned having additional observations but was unsure if they were in the correct section.

Chair Rodgers raised a point about underutilized parks, particularly tot lots, and suggested repurposing them to contribute to economic development. Recommended using these spaces for events like music performances, food truck festivals, or other activities that would draw people and encourage spending in nearby business districts. Highlighted James Park as an example of a large space with sections that are not being fully utilized. Suggested integrating underused parks into the overall economic development strategy.

Commissioner Lindwall emphasized the need to address displacement in the plan, especially in lower-value neighborhoods, and suggested consulting with Councilmember Burns' informal working group on the topic. Discussed the potential for repurposing obsolete commercial properties for housing, including townhouses and infill housing. Highlighted the flexibility of current zoning, such as ADUs (Accessory Dwelling Units), and suggested considering the full range of housing types in Evanston, including multifamily, co-ops, and senior housing. Raised the question of what types of housing might be missing or needed in the city.

Commissioner Halik noted that a significant portion of Evanston's housing (68%) is already multifamily. Expressed concern that opening up R1 zoning citywide might alter Evanston's identity as the "City of Homes." Emphasized support for denser housing only in appropriate areas, like arterial streets (e.g., Emerson). He raised questions about the impact of zoning changes on historic districts, particularly regarding the construction of multifamily units near single-family homes, which could affect the character of areas like Ridge Historic District.

Elizabeth Williams clarified that under the current code, two-unit developments are the only ones allowed in historic districts. She confirmed that no changes to the preservation ordinance are being proposed. Historic district properties would still need to go through the Preservation Commission process if they wish to demolish a property or make significant changes.

Commissioner Lindwall noted that in historic districts like the Lakeshore and Northeast Evanston, there are several older two-flats, double houses, and small apartment

buildings. These structures mostly predate the 1921 zoning ordinance. She expressed that while these buildings are legacy structures, they may not necessarily align with current zoning requirements, and further clarification is needed on how zoning applies to these areas.

Commissioner Lindwall emphasized the importance of maintaining Evanston's housing stock to ensure it is free from environmental hazards such as lead paint and asbestos. She also raised concerns about protecting vulnerable households from displacement, especially in areas like West Evanston where developers may target properties first. Additionally, she noted the need for consistency in housing data, specifically distinguishing between single-family detached and attached homes, and pointed out that opportunities to build new single-family homes in the city are limited.

Commissioner Johnson expressed opposition to the proposal of eliminating R1 zoning or allowing more than two units in R1 areas. He believes this could incentivize the demolition of lower-cost single-family homes, which would conflict with sustainability goals, as the most sustainable housing is existing housing. He also highlighted that Evanston already has a diverse range of housing types, and expanding density in single-family areas could undermine the historic "City of Homes" character, particularly in recognized historic districts. He suggested creating a category to preserve single-family housing in certain areas.

Commissioner Lindwall suggested comparing Evanston's housing cost burden to neighboring communities like Skokie, Chicago, and Cook County. He raised concerns about the statement in the plan claiming that "compact well-connected neighborhoods tend to be less affordable," questioning whether it's true and whether it should be included. He also pointed out issues with a map on page 87 showing high cost burden in a quadrant, suggesting it may need to be revised, particularly around the area near Presbyterian Home.

Chair Rodgers brought up "beating a dead horse" and expressed concerns about balancing affordability with sustainability goals and the impact on homeowners, particularly "mom and pop" landlords. He emphasized the need for collaboration and partnerships to reduce burdens on these groups. He also requested more detailed data on housing insecurity, particularly in Evanston, including the impact of zoning changes on displacement. He asked for comparisons of supply and demand with neighboring municipalities and suggested further data on how proposed changes might affect housing and affordability in Evanston. Additionally, he stressed the importance of collaborating with neighboring communities.

Commissioner Halik shared insights from experience in Chicago's Fourth Ward, where low-rise mixed-income housing was prioritized. He noted that building two- and three-unit buildings, such as two-flats, is often economically unfeasible due to high construction costs. Based on his experience and research, he argued that such buildings are unlikely to be affordable, and that larger buildings like six-unit structures are more viable financially. He expressed concern that the push for smaller units may not be the right direction for affordable housing.

Commissioner Lindwall pointed out a correction needed concerning the first preservation ordinance which was adopted in 1975.

Chair Rodgers expressed support for adaptive reuse of buildings, noting its environmental benefits by avoiding demolition and hazardous materials. Also raised a question about the "Suburban Apartment Buildings" category on page 110 of the plan, which mentions 48 buildings from 1890 to the 1920s that exemplify a particular style of suburban apartments in Evanston. He asked for further clarification about this category and its significance to the city's historical housing development.

Commissioner Lindwall explained that the "Suburban Apartment Buildings" referenced are primarily courtyard buildings, with some dating back to the 1920s. About 40 years ago, a city manager supported the development of such a district to make them eligible for federal tax credits for rehabilitation. She also suggested that the locations of these buildings might benefit from being marked with "dots" on maps.

Commissioners then made additional comments about the photographs and maps used in the Envision Evanston plans.

Commissioner Lindwall made a motion to continue the public hearing on the Comprehensive Plan to the January 8, 2025 meeting. Seconded by Commissioner Puchtel. Motion passed 7-0.

Ayes: Halik, Mirintchev, Puchtel, Rodgers, Arevalo, Lindwall, Johnson

Nays:

Abstain:

III. PUBLIC COMMENT

None.

IV. COMMUNICATIONS

Elizabeth Williams announced that the current Zoning Administrator, Melissa Klotz, had submitted her resignation effective December 3rd. This would be her last meeting with the City of Evanston. She took the opportunity to express gratitude for Melissa's many years of service and her significant contributions to Evanston. She also highlighted Melissa's impressive ability to recall the existing zoning code and acknowledged her expertise, which would be greatly missed. Commissioners were invited to express their thanks and appreciation for Melissa's work.

V. ADJOURNMENT

Commissioner Lindwall made the motion to adjourn. Commissioner Johnson Seconded.

Adjourned at 10:06 PM

The next Evanston Land Use Commission meeting will be held **on Wednesday, December 4, 2024, at 6:00 pm**, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.

Respectfully submitted,
Justin Bock, Administrative lead

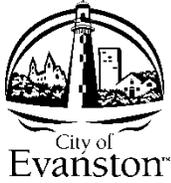
Reviewed by
Meagan Jones, Neighborhood and Land Use Planner

1905-1909 Howard Street

Special Use

25ZMJV-0006

LUC Recommending Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Michael Griffith, Planner

CC: Sarah Flax, Director of Community Development
Elizabeth Williams, Planning Manager

Subject: Amend existing Special Use approval for a Daycare Center - Child
1905-1909 Howard Street, Case #25ZMJV-0006

Date: March 20, 2025

Request

Joy Powell, applicant, submits a Special Use application requesting to amend the existing Special Use approval granted by Ordinance 120-O-14 to expand a Daycare Center - Child, A Step By Step Learning Academy, in the C1 Commercial District (Section 6-10-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code

Notice

The Application has been filed in conformance with applicable procedural and public notice requirements including publication in the Chicago Sun-Times on March 11, 2025.

General Information

Applicant: Joy Powell
A Step By Step Learning Academy
1909 Howard Street
Evanston, IL 60202

Owner(s): Joy Powell
1909 Howard Street
Evanston, IL 60202

PINs: 10-25-113-045-0000

Analysis

The subject property is located at the northwest corner of Howard Street and Dodge Avenue/California Avenue (City of Chicago) in the C1 Commercial District. The property contains a 1-story commercial building, 1901-1909 Howard Street, with storefronts along Howard Street and parking on the north side of the building. On-site parking is currently accessible from Dodge Avenue on the east side and an alley on the west side of the property. A Step By Step Learning Academy (applicant) and The Vet Center are the current building occupants.

A Step By Step Learning Academy is a daycare center serving children between the ages of 6 weeks - 6 years with a focus on early childhood learning and development.

The table below indicates the zoning district and land use of properties adjacent to or across the street from the subject property:

Surrounding Zoning and Land Uses	Zoning	Land Use
North	R4 General Residential	Skilled nursing facility - Dobson Plaza Rehabilitation and Healthcare
South	RT-4 Residential Two-Flat, Townhouse and Multi-Unit Districts (City of Chicago) B3-2 Community Shopping District (City of Chicago)	Ground floor commercial and multi-family residential (City of Chicago)
East	C1 Commercial District	Auto repair - Howard & California Auto Repair
West	R5 General Residential District	Multi-family residential

In 2014, the City Council approved Ordinance 120-O-14 granting a Special Use for a daycare center at 1909 Howard Street, A Step By Step Learning Academy. The approval was based on:

- 28 children cared for,
- 6 total employees,
- 8-10 on-site parking spaces for drop-offs and pick-ups,
- Hours of operation between 6:00 am - 9:00 pm, and
- Employees are not to park on the street during hours of operation.

In 2020-2021 during the COVID-19 pandemic, the daycare center expanded east into the adjacent tenant space, 1907 Howard Street. The expansion added additional indoor play space. Staff determined the expansion was not increasing the capacity or intensity of the use, and therefore, a new special use approval was not required.

Currently, the daycare center operates at 1907-1909 Howard Street.

In 2024, a permit was issued to re-stripe the parking lot, provide one-way vehicular movement from east to west, and install gates at both the parking lot entrance and exit. Re-stripping the parking lot increased the number of parking spaces from 15 to 16, including 14 regular spaces and 2 accessible spaces.

The applicant is now requesting to expand into the adjacent tenant space at 1905 Howard Street to add additional indoor play space.

While the applicant indicates they do not plan to increase the number of children cared for, the expansion in 2020-2021 along with the currently proposed expansion provides the opportunity to increase the number of children served. Increasing the number of children served likely increases associated activities such as drop-offs and pick-ups intensifying the use. Given this, staff determined amending the existing special use is required to permit the expansion.

The following operations details have been provided by the applicant:

- Potential to increase the number of children served from 28 currently to 50-60, subject to to Illinois Department of Children & Family Services (DCFS) approval,
- Potential to increase the number of employees from 8 currently to 10,
- Employees generally use public transportation or live in the neighborhood and walk to the establishment, those that drive agree not to park on the street,
- Drop-offs/pick-ups occur in the parking lot on the north side of the building with many families living in the neighborhood walking to the establishment,
- Drop-offs generally occur between 6:30 am - 8:30 am, pick-ups generally occur between 4:30 pm - 6:30 pm,
 - The Vet Center, 1901-1903 Howard Street, has hours of operation between 8:00 am - 4:30 pm Monday through Friday, closed Saturdays and Sundays.
- 16 on-site parking spaces provided, including 14 regular and 2 accessible spaces

In the application materials submitted, the applicant provided a worst-case parking scenario.

Special Use Analysis

The applicant currently operates a Daycare Center - Child on the subject property in the C1 Commercial District with Special Use approval. A Daycare Center - Child is a listed Special Use in the C1 Commercial District, Section 6-10-2-3.

The Zoning Code defines a Daycare Center - Child as follows, Section 6-18-3:

Any place other than a family home in which children nine (9) years of age and under receive child daycare services during any part of a day not exceeding twelve (12) hours in a twenty-four (24) hour period licensed pursuant to this Code.

The applicant proposes to expand operations into an adjacent tenant space which has the potential to intensify the use, therefore, amending the existing Special Use is required to permit the expansion.

The applicant has provided details showing the Daycare Center - Child with the proposed expansion will continue to operate as it has since the original approval in 2014. There have not been any zoning complaints concerning the Daycare Center - Child operations since it opened.

Staff Review

Application materials were routed to staff for comment. The following comments were provided:

- Concerning water service, City records indicate water service is a 1-inch lead pipe on the private side and 1-inch copper pipe on the City's side. Recommend replacing the lead pipe portion.

Department Recommendation

The Community Development Department finds the Standards for Approval (Section 6-3-5-10) are met and recommends approval of the request to amend the existing Special Use approval to permit the expansion of the Daycare Center - Child and consideration of the following:

1. Up to 60 children may be served by the Daycare Center - Child subject to Illinois Department of Children & Family Services (DCFS) approval,
2. Daycare Center - Child operated between the hours of 6:00 am - 9:00 pm only,
3. Employees are not to park on the street during hours of operation, and
4. Applicant to record Ordinance amending the existing Special Use with the Cook County Recorder of Deeds.

Standards for Approval

The proposed Special Use must follow the Standards for a Special Use (Section 6-3-5-10). For the Land Use Commission to recommend that the City Council grant a special use, the LUC must find that the proposed special use:

1. It is one of the special uses specifically listed in the zoning ordinance;
2. It is in keeping with purposes and policies of the adopted comprehensive general plan and the zoning ordinance as amended from time to time;
3. It will not cause a negative cumulative effect, when its effect is considered in conjunction with the cumulative effect of various special uses of all types on the immediate neighborhood and the effect of the proposed type of special use upon the City as a whole;
4. It does not interfere with or diminish the value of property in the neighborhood;
5. It can be adequately served by public facilities and services;
6. It does not cause undue traffic congestion;

7. It preserves significant historical and architectural resources;
8. It preserves significant natural and environmental features; and
9. It complies with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation.

Action by the Commission

After making findings of fact as to whether or not the requested amendment to the existing Special Use meets or does not meet the aforementioned Standards for Special Use, the Land Use Commission may make a recommendation to the Planning & Development Committee of the City Council to recommend approval, denial, or no recommendation (in the case of a tie) for the Special Use requested. The Commission may choose to include recommended conditions that the City Council may then consider when making the final determination. The Land Use Commission is the recommending body and the City Council is the determining body (Zoning Code Section 6-3-5).

Attachments

Aerial View of Property
Zoning Map of Property
Street View of Property
Plat of Survey
Plan, including site plan and floor plan
Ordinance 120-O-14
Special Use Application - submitted February 17, 2025
Public Notice

1901-1909 Howard Street



3/21/2025, 2:01:42 PM

Local Historic Districts

 Northeast

 Woman's Christian Temperance Union

 Ridge

 Lakeshore

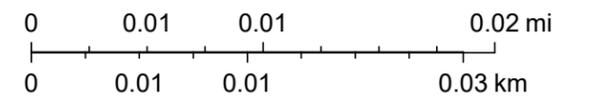
 TOD Area Parcels

 Planned Developments

 City Boundary

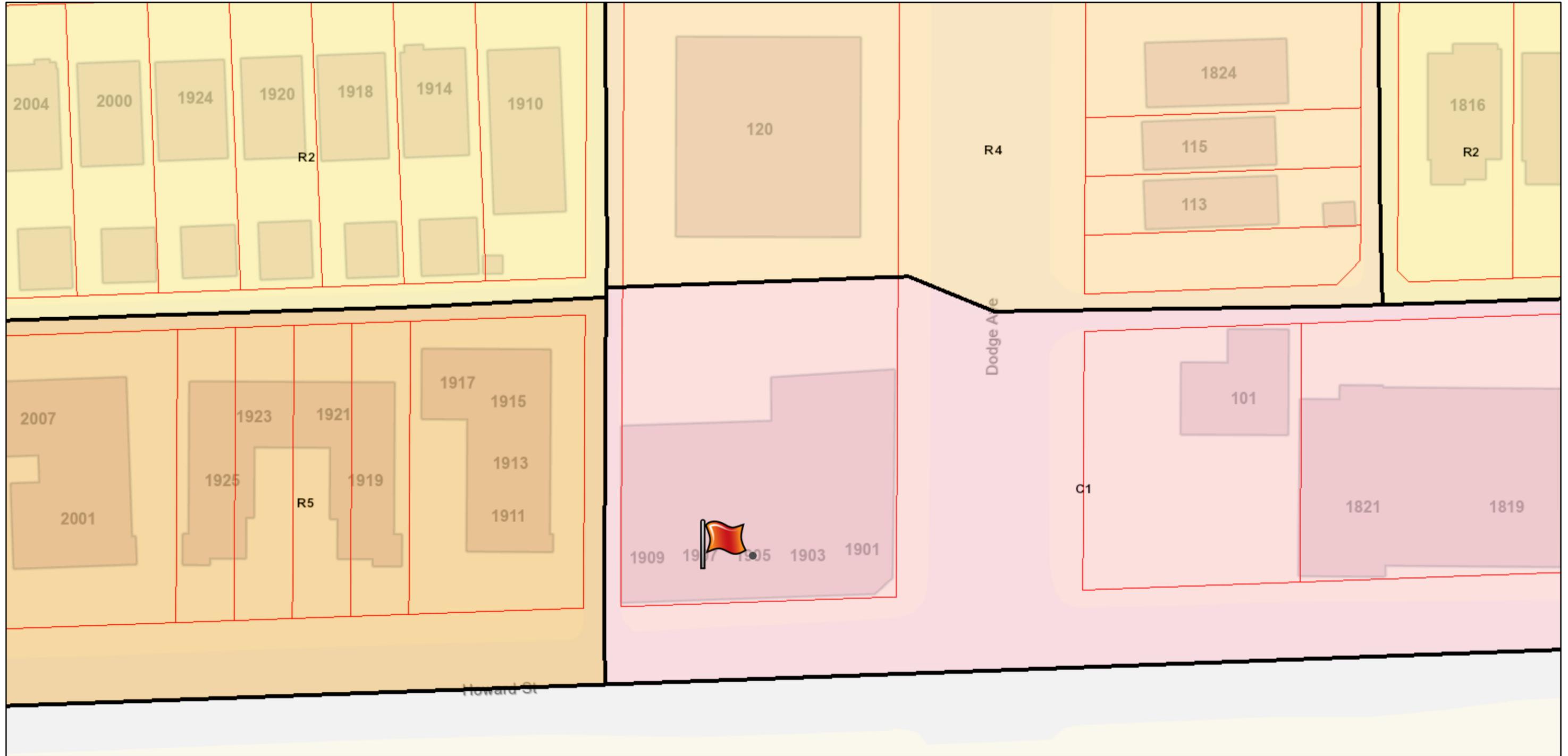
 Tax Parcels

1:500



City of Evanston IL, Imagery courtesy Cook County GIS

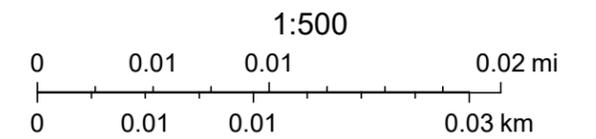
Zoning Map: 1901-1909 Howard Street



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Zoning Districts

B1 - Business	D1 - Downtown Fringe	MUE - Transitional Manufacturing-Employment	R4 - General Residential	U1 - University Housing
B1a - Business	D2 - Downtown Retail Core	MXE - Mixed Use Employment	R4a - General Residential	U1a - University Housing and Parking
B2 - Business	D3 - Downtown Core Development	O1 - Office	R5 - General Residential	U2 - University Athletic Facilities
B3 - Business	D4 - Downtown Transition	OS - Open Space	R6 - General Residential	U3 - University Lakefront Campus
C1 - Commercial	I1 - Industrial / Office	R1 - Single-Family Residential	RP - Research Park	WE1 - West Evanston Transitional
C1a - Commercial Mixed-Use	I2 - General Industrial	R2 - Single-Family Residential	T1 - Transitional Campus	Zoning Boundaries & Labels
C2 - Commercial	I3 - General Industrial	R3 - Two-Family Residential	T2 - Transitional Campus	Local Historic Districts
				Northeast

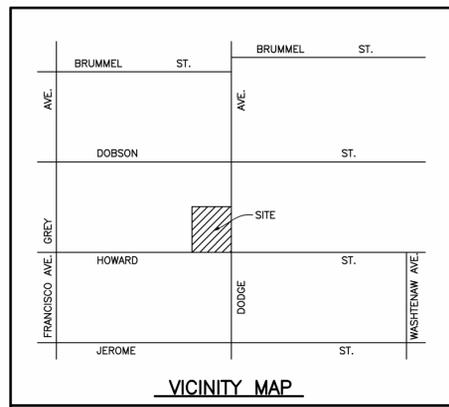




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EDWARD J. MOLLOY & ASSOCIATES, LTD.
 LAND & CONSTRUCTION SURVEYORS
 1236 MARK STREET, BENESVILLE, ILLINOIS 60106 (630) 595-2600 Fax:(630) 595-4700
 e-mail: tmolloy@ejmolloy.com

ALTA/ACSM LAND TITLE SURVEY

LOT 1 IN 1901 HOWARD STREET CONSOLIDATION BEING A SUBDIVISION OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED MAY 19, 2004 AS DOCUMENT NUMBER 0414031041.

COMMONLY KNOWN AS: 1901-1909 W. HOWARD STREET, EVANSTON, ILLINOIS

SURVEYOR'S NOTES

TITLE COMMITMENT: THIS SURVEY REFLECTS CERTAIN MATTERS OF TITLE, AS REFERENCED IN SCHEDULE B OF FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NUMBER NCS-709719-CHI2 WITH AN EFFECTIVE DATE OF DECEMBER 30, 2014:

- GRANT RECORDED SEPTEMBER 5, 1962 AS DOCUMENT 18581958 MADE BY AND BETWEEN HOWARD DODGE BUILDING CORPORATION AND THE COMMONWEALTH EDISON COMPANY AND ITS SUCCESSORS AND ASSIGNS FOR THE RIGHT, PERMISSION AND AUTHORITY TO OVERHANG AERIAL WIRES OR CABLES AND TO OTHER NECESSARY ELECTRICAL FACILITIES AND TO TRANSMIT AND DISTRIBUTE BY MEANS OF SAID EQUIPMENT ELECTRICITY TO BE USED FOR HEAT, LIGHT, ETC. WITH THE RIGHT OF ACCESS TO SAME FOR MAINTENANCE AND TO TRIM BUSHES, TREES, ETC. AS MAY BE REASONABLY REQUIRED TO INSTALL AND MAINTAIN SUCH FACILITIES, UPON, OVER AND ALONG THE NORTH 8 FEET OF THE LAND. [PLOTTED ON THE DRAWING]
- GRANT RECORDED SEPTEMBER 18, 1959 AS DOCUMENT 17662014 MADE BY AND BETWEEN HOWARD DODGE BUILDING CORPORATION AND THE COMMONWEALTH EDISON COMPANY AND ITS SUCCESSORS AND ASSIGNS FOR THE RIGHT, PERMISSION AND AUTHORITY TO OVERHANG AERIAL WIRES OR CABLES AND TO OTHER NECESSARY ELECTRICAL FACILITIES AND TO TRANSMIT AND DISTRIBUTE BY MEANS OF SAID EQUIPMENT ELECTRICITY TO BE USED FOR HEAT, LIGHT, ETC. ALONG THE AREA SHOWN BY BROKEN LINES AND MARKED EASEMENT ON PLAT ATTACHED TO SAID GRANT. [EASEMENT AREA PLOTTED ON THE DRAWING]

TAX PARCEL PERMANENT INDEX NUMBER: 10-25-113-045-0000

ACCESS STATEMENT: THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO AND FROM DODGE AVENUE AND ACCESS BY WAY OF THE PUBLIC ALLEY TO AND FROM HOWARD AVENUE, BOTH LEGALLY OPENED AND PUBLICLY DEDICATED, USED AND MAINTAINED STREETS OR HIGHWAYS.

TABLE A - ITEM 1 STATEMENT AS TO MONUMENTS PLACED: SEE DRAWING FOR ALL MONUMENTS PLACED OR FOUND WHILE COMPLETING THE FIELD SURVEY.

TABLE A - ITEM 2 STATEMENT AS TO ADDRESS: THE OBSERVED ADDRESS OF THE PROPERTY IS 1901-1909 HOWARD STREET, EVANSTON, ILLINOIS.

TABLE A - ITEM 3 STATEMENT AS TO FLOOD ZONE CLASSIFICATION: OUR EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 17031C0265J WITH A MAP REVISED DATE OF AUGUST 19, 2008, SHOWS THAT NO PART OF THE PROPERTY FALLS WITHIN A SPECIAL FLOOD HAZARD AREA AND THAT SAID PROPERTY DOES FALL WITHIN ZONE "X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

TABLE A - ITEM 4 STATEMENT AS TO GROSS LAND AREA: THE PROPERTY CONTAINS 16,128 SQUARE FEET OR 0.3702 ACRES.

TABLE A - ITEM 6(B) STATEMENT REGARDING ZONING CLASSIFICATION AND RESTRICTIONS: SURVEYOR HAS NOT BEEN PROVIDED WITH ZONING CLASSIFICATION OR RESTRICTIONS BY THE INSURER. OUR EXAMINATION OF THE OFFICIAL CITY OF EVANSTON WEBSITE FINDS THE PROPERTY TO BE IN ZONE "C-1" COMMERCIAL DISTRICT.

TABLE A - ITEM 7(a) STATEMENT AS TO EXTERIOR DIMENSIONS OF BUILDINGS AT GROUND LEVEL: SEE DRAWING FOR EXTERIOR DIMENSIONS OF BUILDINGS AT GROUND LEVEL.

TABLE A - ITEM 8 STATEMENT AS TO SUBSTANTIAL FEATURES OBSERVED: SURVEYOR HAS SHOWN LOCATION OF FEATURES EXISTING ON THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE.

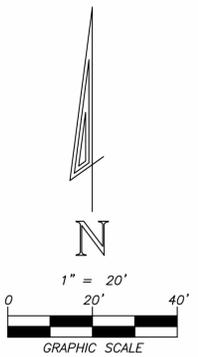
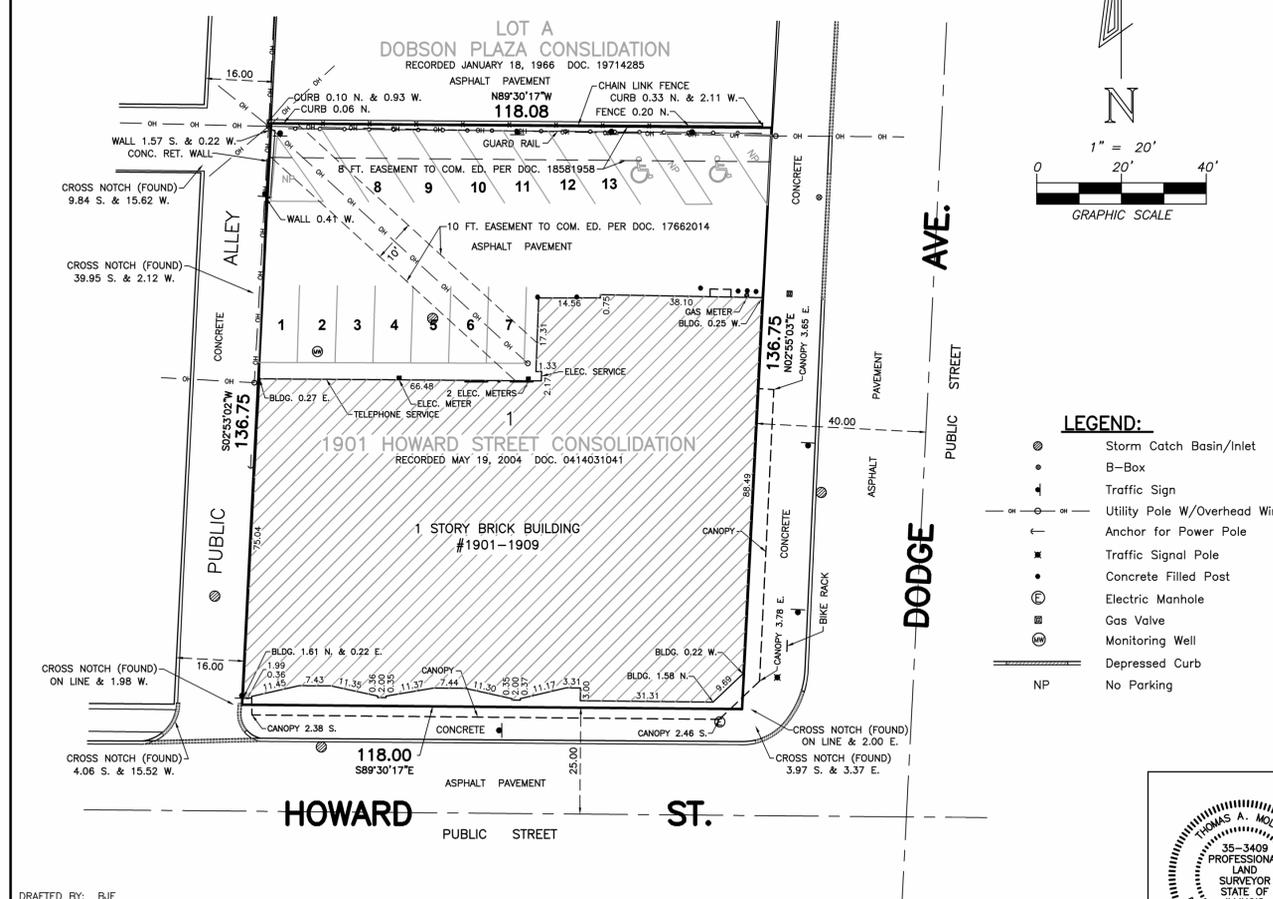
TABLE A - ITEM 9 STATEMENT AS TO PAINT STRIPED PARKING SPACES: THE LAND SURVEYED HEREON CONTAINS A TOTAL OF 16 EXISTING PARKING SPACES INCLUDING 2 DESIGNATED HANDICAP PARKING SPACES.

TABLE A - ITEM 11(A) STATEMENT REGARDING EXISTING UTILITIES: SURVEYOR HAS SHOWN LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE.

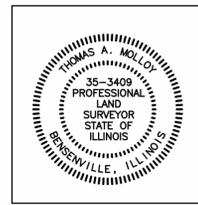
TABLE A - ITEM 14 STATEMENT REGARDING DISTANCE TO NEAREST INTERSECTING STREET: SEE DRAWING FOR THE DISTANCE TO THE NEAREST INTERSECTING STREET.

TABLE A - ITEM 16 STATEMENT REGARDING EARTH MOVING AND BUILDING CONSTRUCTION: SURVEYOR FINDS NO OBSERVABLE EVIDENCE OF EARTH MOVING OR BUILDING CONSTRUCTION.

TABLE A - ITEM 21 STATEMENT REGARDING PROFESSIONAL LIABILITY INSURANCE: PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.



- LEGEND:**
- Storm Catch Basin/Inlet
 - B-Box
 - Traffic Sign
 - Utility Pole W/Overhead Wire
 - ⊥ Anchor for Power Pole
 - ⊥ Traffic Signal Pole
 - Concrete Filled Post
 - ⊕ Electric Manhole
 - ⊕ Gas Valve
 - ⊕ Monitoring Well
 - Depressed Curb
 - NP No Parking



AUGUST 14, 2015: NAMES ADDED TO CERTIFICATION.

STATE OF ILLINOIS)
) SS
 COUNTY OF DUPAGE)

I, THOMAS A. MOLLOY, AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND MANAGING AGENT OF EDWARD J. MOLLOY AND ASSOCIATES, LTD., AN ILLINOIS PROFESSIONAL DESIGN FIRM, HEREBY CERTIFY TO:
 1901 HOWARD LLC, AN ILLINOIS LIMITED LIABILITY COMPANY;
 BANK OF AMERICA, NATIONAL ASSOCIATION, ITS SUCCESSORS AND/OR ASSIGNS;
 FIRST AMERICAN TITLE INSURANCE COMPANY;

THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION (ALTA) AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(a), 8, 9, 11(a), 14, 16 AND 21 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 16, 2015. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

SIGNED AT BENESVILLE, ILLINOIS THIS 22ND DAY OF JANUARY, A.D. 2015

EDWARD J. MOLLOY AND ASSOCIATES, LTD.
 AN ILLINOIS PROFESSIONAL DESIGN FIRM - LICENSE NO. 184-002910

Thomas A. Molloy
 THOMAS A. MOLLOY
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3409
 (EXPIRES NOVEMBER 30, 2016 AND IS RENEWABLE)
 MANAGING AGENT, ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002910
 (EXPIRES APRIL 30, 2017 AND IS RENEWABLE)

DRAFTED BY: BJE
 PAGE: 1 OF 1
 ORDER NO.: 150008
 FILE: 25-41-13
 PROJECT NO.: 2259

1 SURVEY
 N.T.S.

JM
 JAQ Corp int,
 P.C.
 27 N. WACKER
 DR.
 SUITE 430
 CHICAGO, IL
 60606
 312.795.1911

REGIONAL MANAGER: **SM**
 JOB CAPTAIN: **SM**
 DRAWN BY: **SM**
 CHECKED BY: **JG**

OWNER

**STEP BY STEP
 LEARNING
 ACADEMY**

1909-1911 HOWARD ST.
 EVANSTON, IL 60202
 (847)733-7837

NO.	DATE	ITEM
10		
9		
8		
7		
6	10/03/2024	A2.3 - Detail 5
5	10/02/2024	Updated Wall TYP.
4	08/15/2024	Permit Issue
3	07/26/2024	Pricing Issue
2	00/00/0000	Scope Issue
1	00/00/0000	SD Issue

CONTRACTOR TO VERIFY ALL DIMENSIONS ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

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FOR BID AND FOR PERMIT ONLY

**TENANT
 IMPROVEMENT
 1905 HOWARD ST.
 EVANSTON, IL 60202**

SURVEY

WORKING DRAWINGS

SHEET NUMBER: **A0.1Y**
 DATE: **2023_14**

STEP BY STEP 1905 W. HOWARD STREET

GENERAL NOTES



1 SOUTH ELEVATION

A. GENERAL

- CONTRACTOR MUST VISIT AND INSPECT THE SITE IN ORDER TO ACQUAINT THEMSELVES WITH EXISTING CONDITIONS. CONSISTENT WITH THE GENERAL CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT AND PROGRAM MANAGER OF ANY INCONSISTENCIES BETWEEN THE EXISTING CONDITIONS AND PROJECT DOCUMENTS THAT IT KNOWS OR SHOULD HAVE REASONABLY KNOWN FOLLOWING THE SITE INSPECTION. CONTRACTOR MUST VERIFY ALL EXISTING SIZES, DIMENSIONS AND QUANTITIES BEFORE FABRICATING OR ALTERING ANY WORK.
- THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES WHICH MATERIALLY AFFECT THE WORK, BEFORE PROCEEDING.
- IN THE CASE OF DISCOVERING CONFLICTING REQUIREMENTS IN THE DRAWINGS OR BETWEEN DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT AND PROGRAM MANAGER FOR A DECISION ON DESIGN CLARIFICATION. THE ARCHITECT'S DECISION SHALL BE FINAL.
- ALL EXISTING CONDITIONS DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO ORIGINAL CONDITION WITHOUT UNREASONABLE DELAY OR ADDITIONAL CHARGE TO THE OWNER.
- IN THE EVENT OF UNCOVERING OF ANY SUSPICIOUS MATERIALS, SUCH AS ASBESTOS AND ANY OTHER MATERIALS CLASSIFIED AS HAZARDOUS, CONTRACTOR SHALL NOTIFY THE ARCHITECT AND PROGRAM MANAGER, IN WRITING, IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR METALS.
- THE CONTRACTOR SHALL SECURE, IN TIMELY FASHION AND WITHOUT UNDUE DELAY, ALL NECESSARY PERMITS, UTILITY FEE, HOOK-UPS AND CLOSINGS, AND CERTIFICATES OF INSPECTION FOR ALL EQUIPMENT AND WORK INCLUDED IN THE CONSTRUCTION DOCUMENTS REQUIRED BY THE STATE OF ILLINOIS AND LOCAL JURISDICTIONS.
- ALL REQUESTS FOR SUBSTITUTIONS SHALL BE PRESENTED TO THE PROGRAM MANAGER ARCHITECT IN WRITING, AND SHALL BE ACCOMPANIED BY ALL DATA REQUIRED TO RENDER A DECISION.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS INDICATED ON DRAWINGS. IF DIMENSIONS CANNOT BE LOCATED ON DRAWINGS, VERIFY WITH THE ARCHITECT.
- WHERE CONFLICTS EXIST WITHIN OR BETWEEN PARTS OF THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND APPLICABLE STANDARDS, CODES, AND ORDINANCES, THE MORE STRINGENT, OR HIGHER QUALITY REQUIREMENTS SHALL APPLY. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS, FIGURED DIMENSIONS, AND NOTED MATERIAL OVER GRAPHIC REPRESENTATIONS.

A. GENERAL CONT.

- THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, ELEMENTS, THE DIMENSIONS OF THE SPACES, AND THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL INTENT INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF THE ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THIS DOCUMENT SHALL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
- ALL EXTERIOR WALL OPENINGS, INCLUDING WINDOWS, FLASHINGS, EXPANSION JOINTS AND SEPARATION JOINTS, SHALL BE CONSTRUCTED AND INSTALLED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF AGAINST WIND-DRIVEN RAIN.
- THE ARCHITECT, NOR THE PROGRAM MANAGER SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR.
- REFER TO TECHNICAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE 2012, ILLINOIS ACCESSIBILITY CODE 1997, ADA ACCESSIBILITY GUIDELINES.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF THE CONDITIONS THEREON. REFER TO SPECIFICATION SECTION 01724 FIELD ENGINEERING FOR SPECIFIC REQUIREMENTS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
- CONTRACTOR TO COORDINATE ALL EQUIPMENT WITH MECH., ELEC., PLUMBING AND FIRE PROTECTION CONTRACTORS; REFER TO STRUCTURAL DRAWINGS FOR REINFORCING.
- CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FLOOR AND WALL SLEEVES.
- ANY DETAILS, SYSTEMS OR MATERIALS WHICH ARE PROPOSED TO BE CHANGED MUST FIRST BE REVIEWED BY THE OWNER, ARCHITECT AND GENERAL CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS.
- ALL EXTERIOR EXPOSED METAL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.

B. OCCUPANCY FIRE RATINGS

- WHERE TWO SPACES REQUIRING RATINGS ARE ADJACENT, THE HIGHER RATING SHALL GOVERN.
 - A FIRE RATING INDICATION FOR A WALL SHALL MEAN THE ENTIRE LENGTH AND HEIGHT OF WALL IS TO BE RATED AS INDICATED.
 - ALL OPENINGS IN THE FLOOR SLAB AND/OR RATED WALLS, INCLUDING SPACE BETWEEN SLAB EDGE AND WALLS, SPACES BETWEEN DUCTS, CONDUITS, PIPING, ETC., (EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RATED CONSTRUCTION) SHALL BE FIRE STOPPED (SEALED) WITH APPROVED FIRE STOP MATERIAL TO MAINTAIN FIRE RATING CONTINUITY OF THE FLOOR OR WALL CONSTRUCTION, AND SHALL BE TIGHT TO PREVENT THE PASSAGE OF SMOKE. THE AREAS FIRESTOPPED SHOULD COMPLY WITH IBC 703 PARK BUILDING CODE.
 - ALL FIRE RATINGS INDICATED ARE TO COMPLY WITH UNDERWRITERS LABORATORY TESTS AND/OR SHALL BE ACCEPTABLE TO THE CHICAGO BUILDING CODE.
- ### C. DIMENSIONING
- DIMENSIONS ARE TO FINISHED FACE OF PARTITION UNLESS NOTED OTHERWISE. WHERE PARTITIONS ARE LOCATED ON COLUMN CENTERLINE, ASSUME THAT THE PARTITION IS CENTERED ON COLUMN CENTERLINE UNLESS NOTED OTHERWISE. JAMBS ARE DIMENSIONED TO STRIKE OR HINGE FACE OF DOOR FRAMES.
 - DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
 - ALL DIMENSIONS SHALL BE VERIFIED IN FIELD BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY CORRECTION.
- ### D. PARTITION TYPES
- REFER TO SHEET A5.0 FOR PARTITION TYPES UNLESS NOTED OTHERWISE OF THE PARTITION TYPE DESIGNATION.
 - INTERIOR PARTITION WALLS SHALL RESIST INWARD AND OUTWARD LATERAL LOADS OF 5 PSF UNID.
 - ALL PARTITIONS SHALL EXTEND 6" ABOVE CEILING TILE UNLESS NOTED OTHERWISE.
 - THE FIRE RATING FOR THE SUBJECT WALL MUST BE MAINTAINED FOR ENTIRE HEIGHT; SEE THE "CA" DRAWINGS FOR THE FIRE RATING INFORMATION.
 - REFER TO SPECIFICATIONS SECTION 09250 - GYPSUM BOARD SYSTEMS FOR PARTITION DEFLECTION CRITERIA.
 - CONTRACTOR SHALL COORDINATE JOINT AND HEAD TERMINATION DETAILS WITH ACTUAL FIELD CONDITIONS.
 - PROVIDE CONTINUOUS SEALANT AT THE PERIMETERS OF ALL DUCT, PIPE AND CONDUIT PENETRATIONS THROUGH WALLS.
 - USE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS & JANITOR CLOSETS UNID.
 - TAPE, MUD & FINISH ALL CORNERS & JOINTS READY FOR FINISH.
 - ALL FIRE RESISTIVE PARTITIONS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ULL TESTING REQUIREMENTS & MANUFACTURERS RECOMMENDATIONS FOR CONDITIONS AS REQUIRED. CONSTRUCTION OF ALL SYSTEMS WILL EQUAL THAT OF TESTED ASSEMBLY & SHALL RECEIVE APPROVAL OF THE LOCAL BUILDING DEPARTMENT WHERE REQUIRED.

E. DEMOLITION NOTES

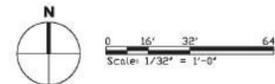
- SEE 1/A10
- CONFIRM ALL SYSTEMS TO BE RELOCATED WITH OWNER.
- PRIOR TO DISCONNECTION OF ANY SYSTEM OR DEVICE CONFIRM THAT ALL UTILITIES ARE SHUT OFF.
- REMOVE WALLS AS NOTED
- REMOVE DOORS AS NOTED

CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE DONE UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE PROVISIONS OF THE CITY OF EVANSTON

[Signature]
JOHN [Signature]
STATE OF ILLINOIS
LICENSED ARCHITECT
001023509

2 EXISTING SITE PLAN
SCALE: 1/32" = 1'-0"



E. DEMOLITION NOTES CONT.

- REMOVE ALL APPLIANCES AS NOTED.
- REMOVE ALL DIFFUSERS AS NOTED.
- REMOVE ALL ELECTRICAL SWITCHES & OUTLETS AS NOTED

F. WATERPROOFING, DAMP-PROOFING & THERMAL INSULATION

- SEE SPECIFICATIONS FOR SPECIFIC DETAIL REQUIREMENTS AND MATERIAL TYPES NOT INDICATED ON DRAWINGS.

G. MISCELLANEOUS NOTES

- REFER TO SERIES A5.0 DRAWINGS FOR ROOM FINISH SCHEDULE, WINDOW SCHEDULE AND DOOR SCHEDULE.
- ANY DETAILS, SYSTEMS, OR MATERIALS WHICH ARE PROPOSED TO BE CHANGED MUST COMPLY WITH THE GENERAL CONDITIONS OF THE SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECH., ELEC., PLUMB., FIRE ALARM, AND FIRE PROTECTION. WHERE CONFLICTS EXIST BETWEEN DRAWINGS AND PROPOSED INSTALLATION, CONSULT THE ARCHITECT PRIOR TO PROCEEDING.

- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT ELECTROLYTIC ACTION.
ALL PENETRATIONS THROUGH FLASHING SHALL BE FULLY SEALED.

H. COORDINATION BETWEEN TRADE CONTRACTORS

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WORK AND IS TO INFORM THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES.

I. SEALANT

- ALL SEALANT JOINTS SHALL BE SIZED SUCH THAT THEY ARE WITHIN THE TOLERANCE SIZES AS RECOMMENDED BY THE MANUFACTURER.
- ALL SEALANTS SHALL BE TOoled AND INSTALLED WITH APPROPRIATE BACKER RODS AS RECOMMENDED BY MANUFACTURER.
- ALL SEALANTS ARE TO BE COMPATIBLE WITH ADJACENT WORK, INCLUDING MATERIALS AND OTHER CONTIGUOUS SEALANTS.
THE FOLLOWING SEALANTS ARE TO BE PROVIDED AT THE FOLLOWING SURFACES:
 - METAL TO METAL: TWO-PART POLYURETHANE MODIFIED SEALANT OR ONE PART SILICONE.
 - TWO-PART POLYURETHANE MODIFIED SEALANT

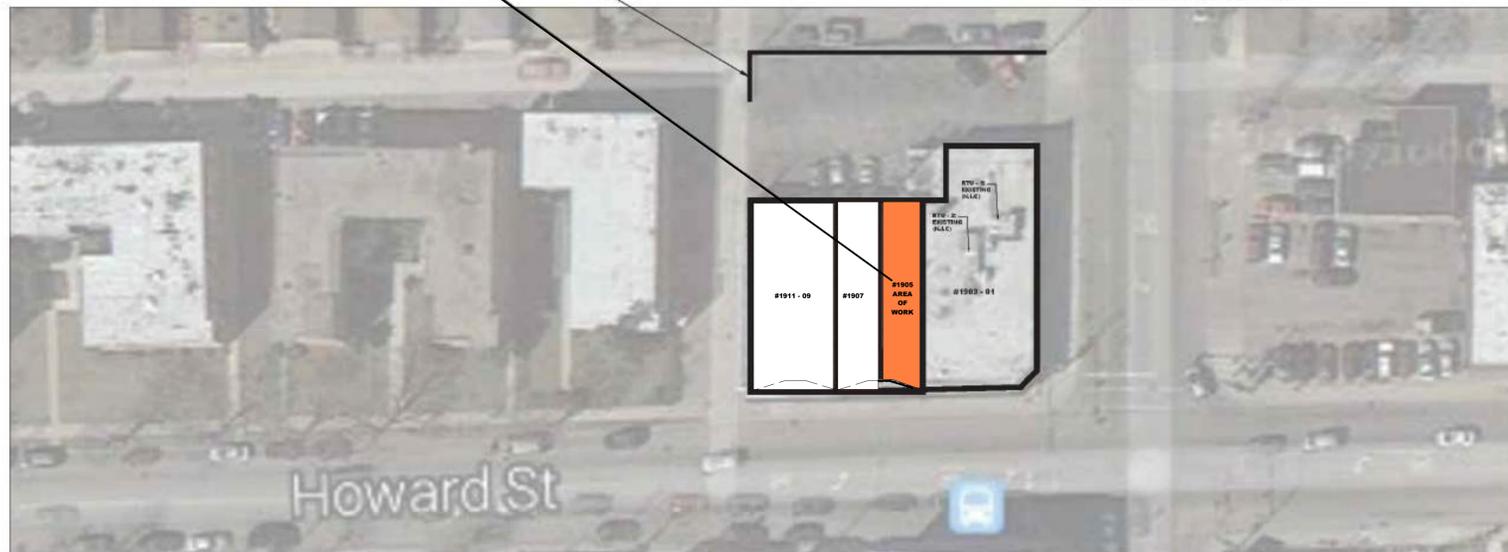
J. OCCUPANCY FIRE RATINGS

- WHERE TWO SPACES REQUIRING RATINGS ARE ADJACENT, THE HIGHER RATING SHALL GOVERN.
- A FIRE RATING INDICATION FOR A WALL SHALL MEAN THE ENTIRE LENGTH AND HEIGHT OF WALL IS TO BE RATED AS INDICATED.
- ALL OPENINGS IN THE FLOOR SLAB AND/OR RATED WALLS, INCLUDING SPACE BETWEEN SLAB EDGE AND WALLS, SPACES BETWEEN DUCTS, CONDUITS, PIPING, ETC., (EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RATED CONSTRUCTION) SHALL BE FIRE STOPPED (SEALED) WITH APPROVED FIRE STOP MATERIAL TO MAINTAIN FIRE RATING CONTINUITY OF THE FLOOR OR WALL CONSTRUCTION, AND SHALL BE TIGHT TO PREVENT THE PASSAGE OF SMOKE. THE AREAS FIRESTOPPED SHOULD COMPLY WITH SECTION 15-8-570.
- ALL FIRE RATINGS INDICATED ARE TO COMPLY WITH UNDERWRITERS LABORATORY TESTS AND/OR SHALL BE ACCEPTABLE TO THE EVANSTON BUILDING CODE.

K. FIRE ALARM

- CLASS I FIRE ALARM TO BE INSTALLED PER INTERNATIONAL FIRE CODE, NFPA, AND CITY OF EVANSTON ORDINANCE.

EXISTING RETAINING WALL
AREA OF CONTRACT WORK: #1905



**1000 SF TENANT IMPROVEMENT IN EXISTING TYPE III-B MIXED USE BUILDING
THIS SPACE WILL BE ADDED TO THE LEASE OF 1909-11 HOWARD; PERMITTED
08MAY2015; PERMIT # ORD 120-0-14; PERMITTED
06MARCH2020; PERMIT APP # 20INTC-0110**

**FOR BID AND
FOR PERMIT ONLY**

10		
9		
8		
7		
6		
5	11/27/2024	Permit Rev. 1
4	08/15/2024	Permit Issue
3	07/26/2024	Pricing Issue
2	00/00/0000	Scope Issue
1	00/00/0000	SD Issue
NO.	DATE	ITEM
CONTRACTOR TO VERIFY ALL DIMENSIONS ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK		
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**TENANT IMPROVEMENT
1905 HOWARD ST.
EVANSTON, IL 60202**

DRAWING STATUS	
EXISTING CONTEXT MAP & ELEVATION	WORKING DRAWINGS
DRAWING NUMBER	
2023_14	
DRAWING NUMBER	
A0.0	
DATE	
2023_14	
SHEETS	
1	

APPLICABLE BUILDING CODES:
International Building Code, 2012 edition (with amendments)
International Fire Code, 2012 edition
International Mechanical Code, 2012 edition
International Property Maintenance Code, 2006 edition
International Plumbing Code, 2012 edition
International Electrical Code, 2011 edition (with amendments)
Illinois Accessibility Code, latest edition
National Fire Protection Association, N.F.P.A. 101 Life Safety Code, 2006 edition
State of Illinois Energy Conservation Code, 2012 Edition
State of Illinois Energy Conservation Code
All City of Evanston codes (ordinance)
Referencing all N.F.P.A standards, current editions

DRAWING INDEX

Sheet Number	Sheet Name
1- GENERAL	
A0.0	EXISTING CONTEXT MAP & ELEVATION
A0.1	CODE MATRIX & SURVEY
A0.1X	GENERAL NOTES
A0.1Y	SURVEY
A0.2	ADA NOTES & DIAGRAMS
2- ARCHITECTURE	
A0.3	PROPOSED SITE PLAN
A1.0	EXIST. / DEMO PLAN
A1.1	PROPOSED PLAN
A1.2	ENLARGED PLAN
A1.3	FLOOR PLAN - FACADE
A1.4	FLOOR PLAN - LIFE SAFETY PLAN
A2.0	BUILDING ELEVATIONS
A2.1	INTERIOR ELEVATIONS
A2.2	INTERIOR ELEVATIONS
A2.3	EXTERNAL BUILDING ELEVATIONS
A4.0	REFLECTED CEILING PLAN
A4.1	ROOM FINISH
A4.2	EQUIPMENT PLAN
A5.0	SCHEDULES
3- STRUCTURAL	
AS1.0	STRUCTURAL PLAN
4- ELECTRICAL	
E1.0	Elec Notes and Schedules
E1.1	ELECTRICAL & POWER PLAN
ES1.0	CAMERA FLOOR PLAN & NOTES
5- MECHANICAL	
M1.0	Mech Notes and Schedules
M1.1	MECHANICAL PLAN
M1.2	MECHANICAL ROOF PLAN
6- PLUMBING	
P1.0	Plumb Notes and Schedules
P1.1	PLUMBING LAYOUT

JAO Corp int,
P.C.
27 N. WACKER
DR.
SUITE 430
CHICAGO, IL
60606
312.795.1911

OWNER
**STEP BY STEP
LEARNING
ACADEMY**
1909-1911 HOWARD ST.
EVANSTON, IL 60202
(847)733-7837

DESIGN MANAGER: SM
JOB CAPTAIN: SM
DRAWN BY: SM
CHECKED BY: JG



1 PROPOSED SITE PLAN
1" = 10'-0"

JAG
The Revolution of Building

JAG Corp int,
P.C.
27 N. WACKER
DR.
SUITE 430
CHICAGO, IL
60606
312.795.1911

SIGNATURE	
DESIGN MANAGER	SM
JOB CAPTAIN	SM
DRAWN BY	SM
CHECKED BY	JG

OWNER

**STEP BY STEP
LEARNING
ACADEMY**

1909-1911 HOWARD ST.
EVANSTON, IL 60202
(847)733-7837

**FOR BID AND
FOR PERMIT ONLY**

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4	08/15/2024	Permit Issue
3	07/26/2024	Pricing Issue
2	00/00/0000	Scope Issue
1	00/00/0000	SD Issue

NO. DATE ITEM

CONTRACTOR TO VERIFY ALL DIMENSIONS ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

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**TENANT
IMPROVEMENT
1905 HOWARD ST.
EVANSTON, IL 60202**

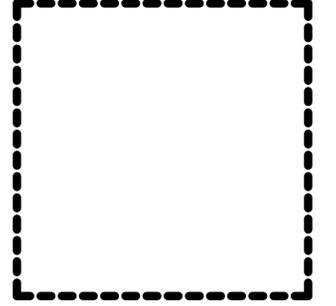
SHEET TITLE
**PROPOSED SITE
PLAN**

DRAWING STATUS
WORKING DRAWINGS

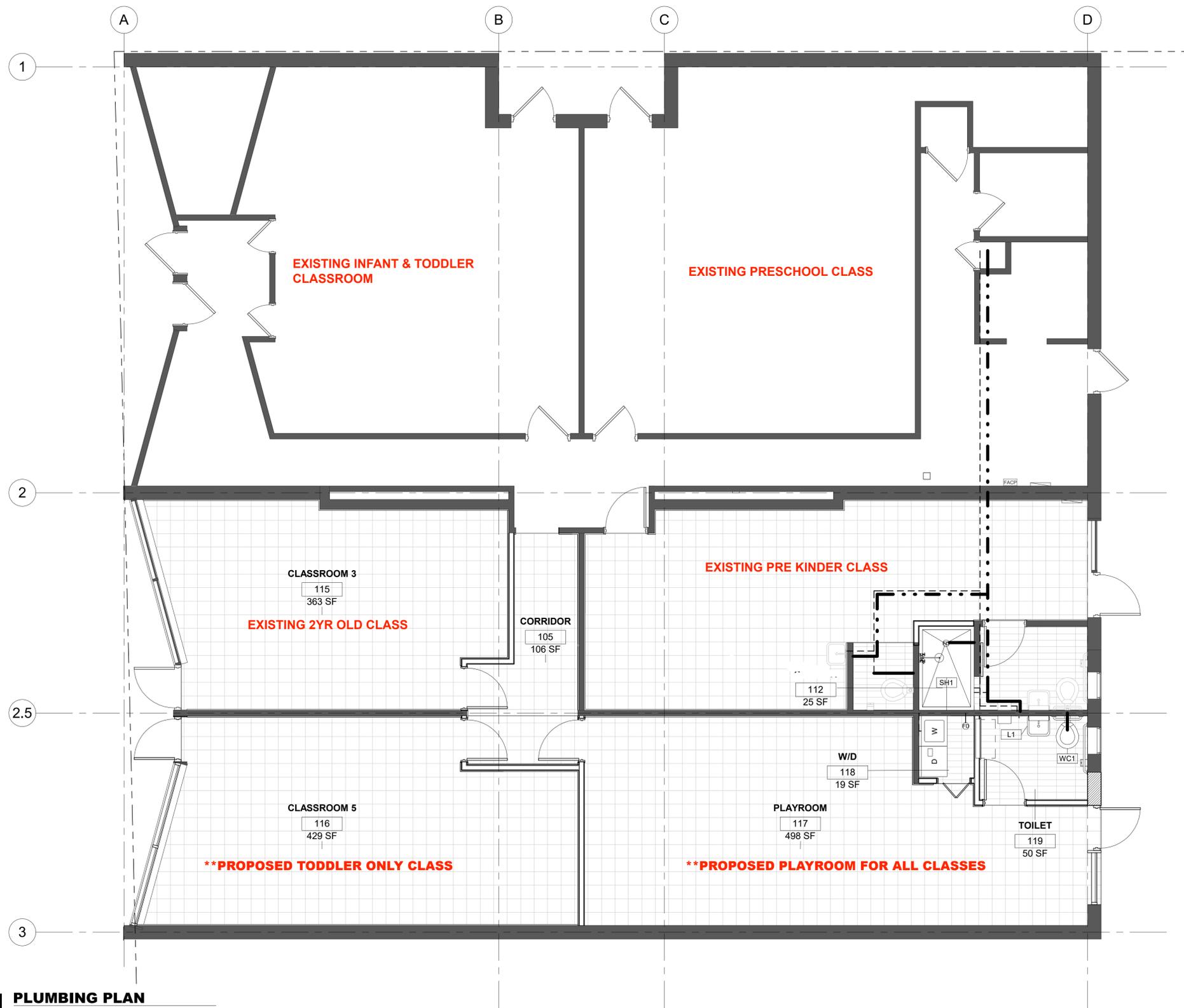
SHEET NUMBER
A0.3

DATE
2023_14

OF SHEETS



DRAFT



1 PLUMBING PLAN
SCALE: 1/4" = 1'-0"

For Review
07/26/2024 2:43:29 PM

JAQ
The Revolution of
Quality

JAQ Corp int,
P.C.
27 N. WACKER
DR.
SUITE 430
CHICAGO, IL
60606
312.795.1911

DESIGN MANAGER
SM

JOB CAPTAIN
SM

DRAWN BY
SM

CHECKED BY
JG

OWNER

**STEP BY STEP
LEARNING
ACADEMY**

1909-1911 HOWARD ST.
EVANSTON, IL 60202
(847)733-7837

**FOR BID AND
FOR PERMIT ONLY**

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NO. DATE ITEM

CONTRACTOR TO VERIFY ALL DIMENSIONS ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

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**TENANT
IMPROVEMENT**
1905 HOWARD ST.
EVANSTON, IL 60202

PLUMBING LAYOUT

WORKING DRAWINGS

SHEET NUMBER
P1.1

DATE
2023_14

OF SHEETS

9/30/2014
11/13/2014

120-O-14

AN ORDINANCE

Granting a Special Use Permit for a Child Daycare Center Located at 1909 – 1911 Howard Street in the C1 Commercial District (“A Step By Step Learning Academy, Inc.”)

WHEREAS, the Zoning Board of Appeals (“ZBA”) met on September 23, 2014, pursuant to proper notice, to consider case no. 14ZMJV-0111, an application filed by Joy Shumate, lessee of the property legally described in Exhibit A, attached hereto and incorporated herein by reference, commonly known as 1909 – 1911 Howard Street (the “Subject Property”) and located in the C1 Commercial District, for a Special Use Permit to establish, pursuant to Subsection 6-10-2-3 of the Evanston City Code, 2012, as amended (“the Zoning Ordinance”), a Child Daycare Center, “A Step By Step Learning Academy, Inc.,” on the Subject Property; and

WHEREAS, the ZBA, after hearing testimony and receiving other evidence, made a written record and written findings that the application for a Special Use Permit for a Child Daycare Center met the standards for Special Uses in Section 6-3-5 of the Zoning Ordinance and recommended City Council approval thereof; and

WHEREAS, at its meetings of October 13, 2014 and November 24, 2014, the Planning and Development Committee of the City Council (“P&D Committee”) received input from the public, carefully considered and adopted the findings and recommendations of the ZBA in case no. 14ZMJV-0111; and

WHEREAS, after the October 13, 2014 meeting of the P&D Committee, the Applicant submitted an amended application, inclusive of a letter of intent by the Subject Property owner for the commercial lease of said Subject Property; and

WHEREAS, at its meetings of November 24, 2014, the P&D Committee received input from the public, carefully considered the amended application, amended and adopted the applicable findings and recommendations of the ZBA's recommendation and approve the amended application in case no. 14ZMJV-0111; and

WHEREAS, at its meeting of November 24, 2014 and December 8, 2014, the City Council considered and adopted the respective records, findings, and recommendations of the ZBA and P&D Committee, as amended,

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:

SECTION 1: The foregoing recitals are found as fact and incorporated herein by reference.

SECTION 2: The City Council hereby approves the Special Use Permit for a Child Daycare Center on the Subject Property as applied for in case no. 14ZMJV-0111.

SECTION 3: Pursuant to Subsection 6-3-5-12 of the Zoning Ordinance, the City Council hereby imposes the following conditions on the Applicant's Special Use Permit, violation of any of which shall constitute grounds for penalties or revocation of said Permit pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

- A. Compliance with Applicable Requirements:** The Applicant shall develop and use the Subject Property in substantial compliance with: all applicable legislation; the Applicant's testimony and representations to the ZBA, the P&D Committee, and the City Council; and the approved plans and documents on file in this case.

- B. **Hours of Operation:** The Applicant shall operate the Child Daycare Center authorized by this ordinance only between the hours of 6:00 a.m. and 9:00 p.m. on any given day.
- D. **Employee Parking:** Employees shall not park on the street during hours of operation.
- E. **Recordation:** Before it may operate the Special Use authorized by the terms of this ordinance, the Applicant shall record, at its cost, a certified copy of this ordinance with the Cook County Recorder of Deeds.

SECTION 4: When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicant" shall be read as "Applicant's agents, assigns, and successors in interest."

SECTION 5: This ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

SECTION 6: All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 7: If any provision of this ordinance or application thereof to any person or circumstance is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this ordinance is severable.

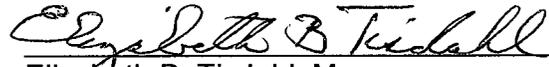
SECTION 8: The findings and recitals contained herein are declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

Introduced: November 04 2014

Approved:

Adopted: November 24, 2014

December 3, 2014


Elizabeth B. Tisdahl, Mayor

Attest:


Rodney Greene, City Clerk

Approved as to form:

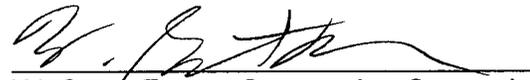

W. Grant Farrar, Corporation Counsel

EXHIBIT A**LEGAL DESCRIPTION**

LOT 1 IN BLOCK 1 IN OLIVER SALINGER AND COMPANY'S SECOND HOWARD STREET ADDITION, IN THE SOUTHEAST $\frac{1}{4}$ OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 25, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. THE WEST 125 FEET OF THE EAST 158 FEET OF THE NORTH 40 FEET OF THE SOUTH 2.572 CHAINS OF THE EAST 19.43 CHAINS OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 25, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PINs: 10-25-113-045-0000

COMMONLY KNOWN AS: 1909 – 1911 Howard Street, Evanston, Illinois.

1905-1909 Howard Street - A Step By Step Learning Academy

Special Use Package Contents:

1. Special Use Application & Disclosure Statement
2. Business Narrative
3. Special Use Standards Narrative
4. Proof of Ownership
5. Plat of Survey
6. Interior Floor Plan (original approval, 2021 expansion, current expansion)
7. Aerial View Site Plans (including path to the park)
8. Existing Special Use Ordinance 120-O-14
9. Zoning Board of Appeals Minutes - September 23, 2014



SPECIAL USE APPLICATION

CASE #: **25ZMJV-0006**

RECVD 02-17-25

zoning office use only

1. PROPERTY

Address 1905-1909 Howard Street

Permanent Identification Number(s):

PIN 1: - - - - PIN 2: - - - - -

(Note: An accurate plat of survey for all properties that are subject to this application **must** be submitted with the application.)

2. APPLICANT

Name: Joy Powell Applicant's Rep: MK Development Advisor LLC MelissaKlotz1983@gmail.com 815-354-7959

Organization: A Step By Step Learning Academy

Address: 1909 Howard Street

City, State, Zip: Evanston, IL 60202

Phone: Work: 847-733-7837 Home: _____ Cell/Other: 847-322-8330

Fax: Work: _____ Home: _____

E-mail: info@astepbystep.com

Please circle the primary means of contact.

What is the relationship of the applicant to the property owner?

- same
- architect
- officer of board of directors
- builder/contractor
- attorney
- other: _____
- potential purchaser
- lessee
- potential lessee
- real estate agent

3. PROPERTY OWNER (Required if different than applicant. All property owners must be listed and must sign below.)

Name(s) or Organization: Purple Legacy I LLC

Address: C/O Joy Powell, 1909 Howard Street

City, State, Zip: Evanston, IL 60202

Phone: Work: 847-322-8330 Home: _____ Cell/Other: _____

Fax: Work: _____ Home: _____

E-mail: management@purplelegacy.org

Please circle the primary means of contact.

"By signing below, I give my permission for the Applicant named above to act as my agent in all matters concerning this application. I understand that the Applicant will be the primary contact for information and decisions during the processing of this application, and I may not be contacted directly by the City of Evanston. I understand as well that I may change the Applicant for this application at any time by contacting the Zoning Office in writing."

[Signature] Property Owner(s) Signature(s) -- **REQUIRED** 2/14/2025 Date

4. SIGNATURE

"I certify that all of the above information and all statements, information and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge."

[Signature] Applicant Signature - **REQUIRED** 2/14/2025 Date

5. REQUIRED DOCUMENTS AND MATERIALS

The following are required to be submitted with this application:

- (This) Completed and Signed Application Form**
- Plat of Survey** Date of Survey: _____
- Project Site Plan** Date of Drawings: _____
- Plan or Graphic Drawings of Proposal** (If needed, see notes)
- Non-Compliant Zoning Analysis**
- Proof of Ownership** Document Submitted: _____
- Application Fee** Amount \$ _____

Notes: Incomplete applications will not be accepted. Although some of these materials may be on file with another City application, individual City applications must be complete with their own required documents.

Plat of Survey

(1) One copy of plat of survey, drawn to scale, that accurately reflects current conditions.

Site Plan

(1) One copy of site plan or floor plans, drawn to scale, showing all dimensions.

Plan or Graphic Drawings of Proposal

A Special Use application requires graphic representations for any elevated proposal-- garages, home additions, roofed porches, etc. Applications for a/c units, driveways, concrete walks do not need graphic drawings; their proposed locations on the submitted site plan will suffice.

Proof of Ownership

Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents (price may be blacked out on submitted documents).

- **Tax bill will not be accepted as Proof of Ownership.**

Non-Compliant Zoning Analysis

This document informed you that the proposed change of use is non-compliant with the Zoning Code and requires a variance.

Application Fee

The application fee depends on your zoning district (see zoning fees). Acceptable forms of payment are: Cash, Check, or Credit Card.

6. PROPOSED PROJECT

A. Briefly describe the proposed Special Use:

Amend existing Special Use Ordinance 120-O-14 to expand a Daycare Center - Child, A Step By Step Learning Academy.

Please see attached Business Narrative details.

APPLICANT QUESTIONS

- a) Is the requested special use one of the special uses specifically listed in the Zoning Ordinance?
What section of the Zoning Ordinance lists your proposed use as an allowed special use in the zoning district in which the subject property lies? (See Zoning Analysis Review Sheet)

Please see attached Special Use Standards Narrative

- b) Will the requested special use interfere with or diminish the value of property in the neighborhood?
Will it cause a negative cumulative effect on the neighborhood?

Please see attached Special Use Standards Narrative

- c) Will the requested special use be adequately served by public facilities and services?

Please see attached Special Use Standards Narrative

d) Will the requested special use cause undue traffic congestion?

Please see attached Special Use Standards Narrative

e) Will the requested special use preserve significant historical and architectural resources?

Please see attached Special Use Standards Narrative

f) Will the requested special use preserve significant natural and environmental features?

Please see attached Special Use Standards Narrative

g) Will the requested special use comply with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation?

Please see attached Special Use Standards Narrative



City of Evanston DISCLOSURE STATEMENT

(This form is required for all Major Variances and Special Use Applications)

The Evanston City Code, Title 1, Chapter 18, requires any persons or entities who request the City Council to grant zoning amendments, variations, or special uses, including planned developments, to make the following disclosures of information. The applicant is responsible for keeping the disclosure information current until the City Council has taken action on the application. For all hearings, this information is used to avoid conflicts of interest on the part of decision-makers.

1. If applicant is an agent or designee, list the name, address, phone, fax, and any other contact information of the proposed user of the land for which this application for zoning relief is made: Does not apply.

Does not apply

2. *If a person or organization owns or controls the proposed land user*, list the name, address, phone, fax, and any other contact information of person or entity having constructive control of the proposed land user. Same as number _____ above, or indicated below. (An example of this situation is if the land user is a division or subsidiary of another person or organization.)

Purple Legacy I LLC

Joy Powell

1909 Howard Street

Evanston, IL 60202

847-322-8330

3. List the name, address, phone, fax, and any other contact information of person or entity holding title to the subject property. Same as number _____ above, or indicated below.

See #2 above

4. List the name, address, phone, fax, and any other contact information of person or entity having constructive control of the subject property. Same as number _____ above, or indicated below.

See #2 above

If Applicant or Proposed Land User is a Corporation

Any corporation required by law to file a statement with any other governmental agency providing substantially the information required below may submit a copy of this statement in lieu of completing a and b below.

a. Names and addresses of all officers and directors.

Does not apply

b. Names, addresses, and percentage of interest of all shareholders. If there are fewer than 33 shareholders, or shareholders holding 3% or more of the ownership interest in the corporation or if there are more than 33 shareholders.

Does not apply

If Applicant or Proposed Land User is not a Corporation

Name, address, percentage of interest, and relationship to applicant, of each partner, associate, person holding a beneficial interest, or other person having an interest in the entity applying, or in whose interest one is applying, for the zoning relief.

Purple Legacy I LLC

Joy Powell

1909 Howard Street

Evanston, IL 60202

847-322-8330

Business Narrative: A Step By Step Learning Academy

A Step By Step Learning Academy is a daycare center for children that has operated successfully since it was first established by local owner/operator Joy Powell in 2014 with Special Use approval. In 2020/2021 (during the COVID-19 pandemic), the daycare expanded from its original space at 1909 Howard Street to include 1907 Howard Street to add more indoor play space. Since the expansion did not increase the intended capacity of the daycare, new Special Use approval was not required by the City of Evanston. The daycare now proposes to expand into 1905 Howard Street to add additional indoor play space, and requests approval to increase the amount of children at the daycare at some point in the future. There are no plans to increase the amount of children at the facility at this time.

The daycare was approved in 2014 by Special Use Ordinance 120-O-14 (following a text amendment to allow a Daycare Center - Child as an eligible Special Use in the C1 Commercial District). The daycare was approved based on an occupancy of 28 children, 6 total employees, and 8-10 on-site drop-off parking spaces. The request was unanimously recommended for approval by City staff at the Site Plan & Appearance Review Committee (SPAARC), by the Zoning Board of Appeals (ZBA), and was unanimously approved with suspension of the rules for both introduction and action votes at the same meeting by the City Council. Special Use Ordinance 120-O-14 includes conditions that the hours of operation not exceed 6am - 9pm daily, and that employees not park on the street.

The daycare, which is currently operating at 1907-1909 Howard Street below its maximum of 28 children, now requests to expand operations into 1905 Howard Street. The primary reason for the expansion is to add more indoor play space that can be used instead of outdoor play at Brummel-Richmond Park during cold and inclement weather. When the weather is nice, employees walk the children from the daycare on Howard Street to Dodge Avenue, then down Brummel Street to the park. The walk is approximately 1,700 linear feet in total, or $\frac{1}{3}$ of a mile, which is manageable much of the time for young children, but is not feasible during storms or extreme cold.

While there are no plans to increase the amount of children at the facility at this time, the added space is likely to increase the number of children allowed, pending DCFS approval, for 50-60 children. Such expansion, which might begin in 2026, will also include up to 2 additional employees, and increases the available amount of on-site parking to 11 spaces (plus the alley parking to the west of the building). Most employees use public transportation or live in the neighborhood and walk to the facility, but those who do drive agree not to park on the street. Pick-ups and drop-offs will operate in the same way they have since 2014 with many neighborhood families that walk to the facility, and a quick 5-minute or less stop for vehicles within the rear on-site parking lot (that features 17 total parking spaces). Drop-offs primarily occur between 6:30am - 8:30am, and pick-ups primarily occur between 4:30pm - 6:30pm. The Vet Center that operates at 1901-1903 Howard Street operates from 8am - 4:30pm so the times of highest on-site parking demand typically do not overlap or create issues.

An analytical review of an over-estimated/worst-case scenario the parking situation finds the following:

Maximum 60 students that includes siblings = 45 families

Of 45 families, an estimated 10 families do not drive to the daycare = 35 vehicles

35 vehicles / 11 parking spaces = 3.2 vehicles will need to park in each space during drop-off

3.2 vehicles per space within 2 hours + 4 employee spaces = plenty of parking available

Alternate quantification:

35 vehicles x 5 minute drop-offs = 175 minutes of drop-offs

11 spaces - 4 employee spaces x 2 hour drop-off window = 840 minutes of parking available

840 minutes of parking available where 175 minutes are needed = plenty of parking available

A summary and clarification of the original daycare Special Use approval for 1909 Howard Street, the allowed expansion into 1907 Howard Street, and the current request for expansion into 1905 Howard Street is as follows:

	Original Approval 1909 Howard St.	2021 Expansion (no added impact) +1907 Howard St.	Proposed Expansion (added impact in 2026) +1905 Howard St.
Number of Children	12 infant/toddlers and 16 2-3 year olds = 28 total	No change	Increase in 2026: could allow 50-60 children total per DCFS requirements
Number of Rooms	2	+2 = 4	+2 = 6
Number of Employees	5 teachers & 1 admin = 6	8	Increase in 2026: could add additional staff (up to 2 more) for the max number of children = 10
Available Parking Spaces	8-10 spaces	10	11 (of 17 total)
Hours of Operation	6:30am - 6:30pm	No change	No change
Drop-off & Pick-up Times	6:30am - 8:30am & 4:30pm - 6:30pm	No change	No change

There have been no zoning complaints about the daycare or parking/drop-offs related to the daycare submitted to the City since it began operating in 2014. Daycare facilities are in demand in Evanston and are a needed service throughout the community.

Special Use Standards Narrative

Application/Standards Questions:

1. Is the requested special use one of the special uses specifically listed in the Zoning Ordinance? What section of the Zoning Ordinance lists your proposed use as an allowed special use in the zoning district in which the subject property lies?

The property is located in the C1 Commercial District. A Daycare Center - Child requires Special Use approval per Section 6-10-2-3 for expansion.

2. Will the requested special use interfere with or diminish the value or property in the neighborhood? Will it cause a negative cumulative effect on the neighborhood?

The request will utilize a storefront with an active use which will in turn maintain the vibrancy of the commercial corridor the property is at the edge of, and is a relatively low-intensity business that serves as an appropriate buffer to the adjacent residential area. There are no other Daycare Centers in the immediate area, and the use is a needed service for the neighborhood and community.

3. Will the requested special use be adequately served by public facilities and services?

The building/tenant spaces are existing and are adequately served by public facilities and services.

4. Will the requested special use cause undue traffic congestion?

The expansion does not propose to increase the number of children likely until 2026, so there will be no change/no undue traffic congestion caused by the Daycare Center in the immediate future. If/when an increase in the number of children occurs (up to 60 children maximum), a detailed analysis of pick-ups and drop-offs and employee parking is provided in the attached Business Narrative. The analysis shows that there is ample parking provided for the Daycare Center on-site with 11 dedicated spaces available, and overflow parking (which should not be needed) exists to the west in the alley. The operator is not aware of any complaints by surrounding property owners/businesses regarding the Daycare Center or parking.

5. Will the requested special use preserve significant historic and architectural resources?

The Daycare Center proposes to expand into a third tenant space within an existing building. No exterior changes are proposed other than signage. The property is not designated as historic.

6. Will the requested special use preserve significant natural and environmental features?

The property contains a building and surface parking lot; there are no significant natural and environmental features.

7. Will the requested special use comply with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation?

The Daycare Center will continue to comply with all applicable regulations including DCFS/Health Department approval. The operator is not aware of any complaints by surrounding property owners/businesses regarding the Daycare Center or parking.

SPECIAL WARRANTY DEED

PREPARED BY:

Victoria M. Zhou, Esq.
Levenfeld Pearlstein, LLC
120 S. Riverside Plaza, Suite 1800
Chicago, Illinois 60606

WHEN RECORDED RETURN TO:

Jennifer LaMell Goldstone
Horwitch Goldstone & Shaw LLC
1528 Shermer Road
Northbrook, Illinois 60062

We certify that this is a true, correct, and accurate copy of the original instrument.
Chicago Title and Trust Company
By _____

(Above Space for Recorder's use only)

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of the 27 day of June, 2024 by **BCL-EVANSTON LLC**, an Illinois limited liability company (the "**Grantor**"), whose address is c/o 450 Skokie Boulevard, Suite 604, Northbrook, IL 60062, for and in consideration of TEN AND 00/100 DOLLARS, and other good and valuable consideration in hand paid, **GRANTS, BARGAINS, SELLS AND CONVEYS** to **PURPLE LEGACY I LLC**, an Illinois limited liability company ("**Grantee**"), whose address is 27 N. Wacker, Suite 451, Chicago, Illinois 60606, all right, title and interest in and to the real estate legally described on **EXHIBIT A** attached hereto, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

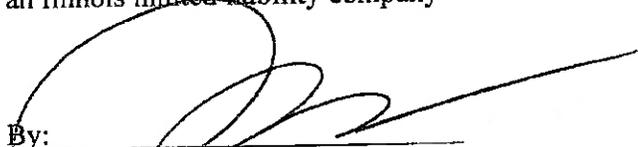
The Grantor will warrant and defend the real estate described above against all persons lawfully claiming by, through or under Grantor, subject however to the matters set forth on **EXHIBIT B**. Grantor, for itself, and its successors, does covenant, promise and agree, to and with Grantee, its heirs and assigns, that it has not done or suffered to be done, anything whereby the Property hereby granted is, or may be, in any manner encumbered or charged, subject, however, to any and all of the matters set forth on **EXHIBIT B** attached hereto, for which Grantor shall have no liability whatsoever.

[Signatures on next page]

IN WITNESS WHEREOF, Grantor has executed this Special Warranty Deed as of the date first set forth above.

GRANTOR:

BCL-EVANSTON LLC,
an Illinois limited liability company

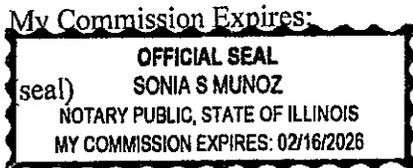
By: 
Name: Jeffrey Server
Its: Authorized Signatory

STATE OF ILLINOIS)
)
) ss.
COUNTY OF COOK)

I, Sonia S. Muñoz, a Notary Public in and for said County, in the State aforesaid, do hereby certify that Jeffrey Server the authorized signatory of BCL-EVANSTON LLC, an Illinois limited liability company, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument in as such capacity, appeared before me this day in person and acknowledged that he/she signed and delivered the said instrument as his/her own free and voluntary act and as the free and voluntary act of said entity, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal, this 26 day of June, 2024.


Notary Public



SEND FUTURE TAX BILLS TO:

Purple Legacy I LLC
27 N. Wacker, Suite 451
Chicago, Illinois 60606

EXHIBIT A

LEGAL DESCRIPTION

LOT 1 IN 1901 HOWARD STREET CONSOLIDATION BEING A SUBDIVISION OF THE SOUTHEAST $\frac{1}{4}$ OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 25, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREOF RECORDED MAY 19, 2004 AS DOCUMENT NUMBER 0414031041.

PIN: 10-25-113-045-0000

COMMONLY KNOWN AS: 1901-1909 W. HOWARD STREET, EVANSTON, ILLINOIS 60202

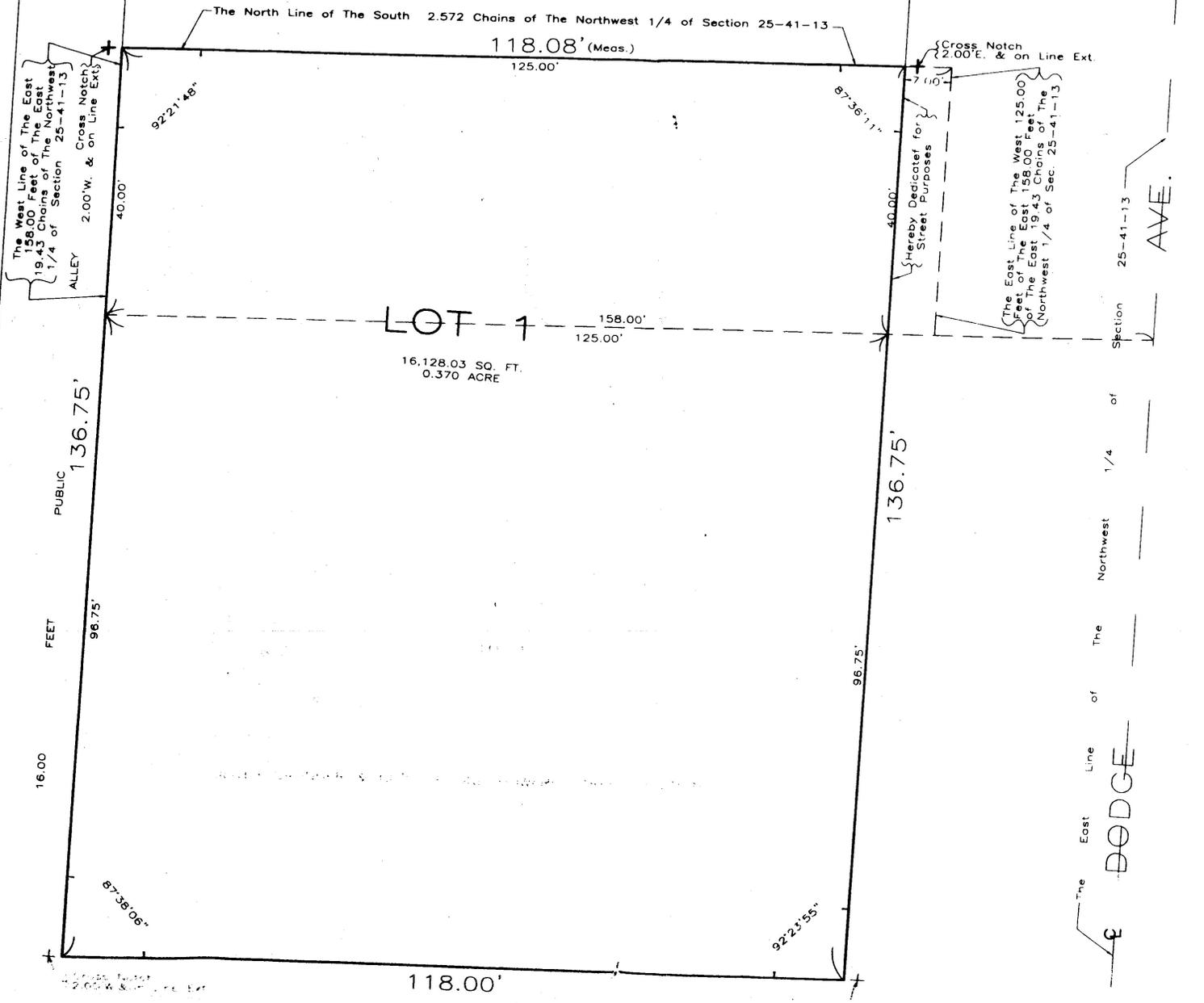
EXHIBIT B

LIST OF PERMITTED EXCEPTIONS

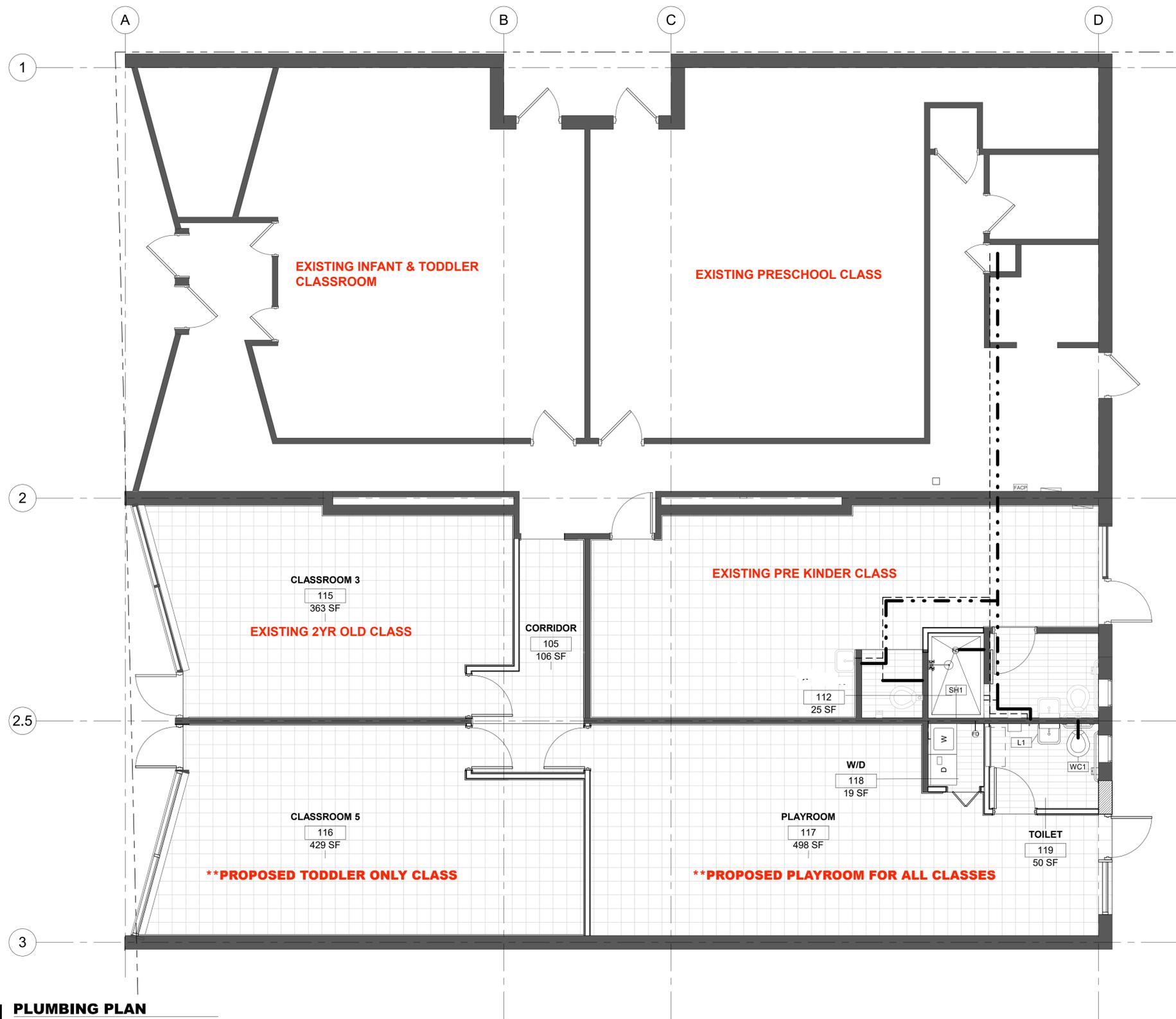
1. Real property taxes or special assessments, a lien not yet due and payable.
2. Rights and claims of the following leases:
 - (a) Lease No. VA69D-12-L-0018 between BCL-Evanston LLC, as landlord, and The United States of America, as tenant
 - (b) Lease Agreement between BCL-Evanston LLC, as landlord, and A Step by Step Learning Academy, Inc., as tenant.
 - (c) Lease Agreement between BCL-Evanston LLC, as landlord, and Precision Spa, Inc., as tenant, dated as of April 1, 2020, as amended by that certain First Amendment to Lease Agreement, dated August __, 2022 and that certain Second Amendment to Lease Agreement, dated November 18, 2022.
3. Plat of Consolidation recorded May 19, 2004 as Document No. 0414031041 the Land can also be described as: Lot 1 in 1901 Howard Street Consolidation.
4. Grant recorded September 5, 1962 as Document Number 18581958 made by and between Howard Dodge Building Corporation and the Commonwealth Edison Company and its successors and assigns for the right, permission and authority to overhang aerial wires or cables and to other necessary electrical facilities and to transmit and distribute by means of said equipment electricity to be used for heat, light, etc. with the right of access to same for maintenance and to trim bushes, trees, etc. as may be reasonably required to install and maintain such facilities, upon, over and along the North 8 feet of Land.
5. Grant recorded September 18, 1952 as Document Number 17662014 made by and between Howard Dodge Building Corporation and the Commonwealth Edison Company and its successors and assigns for the right, permission and authority to overhang aerial wires or cables and to other necessary electrical facilities and to transmit and distribute by means of said equipment electricity to be used for heat, light, etc. along the area shown by broken lines and marked easement on Plat attached to said Grant.
6. Ordinance Granting Special Use Permit for Child Daycare Center, and the terms and provisions contained therein, recorded April 9, 2015 as Document Number 1509956018.

DOBSON PLAZA CONSOLIDATION

LOT A



DRAFT



1 PLUMBING PLAN
SCALE: 1/4" = 1'-0"

For Review
07/26/2024 2:43:29 PM

JAQ
The Revolution of
Quality

JAQ Corp int,
P.C.
27 N. WACKER
DR.
SUITE 430
CHICAGO, IL
60606
312.795.1911

DESIGN MANAGER
SM

JOB CAPTAIN
SM

DRAWN BY
SM

CHECKED BY
JG

OWNER

**STEP BY STEP
LEARNING
ACADEMY**

1909-1911 HOWARD ST.
EVANSTON, IL 60202
(847)733-7837

**FOR BID AND
FOR PERMIT ONLY**

10		
9		
8		
7		
6		
5		
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1		

CONTRACTOR TO VERIFY ALL DIMENSIONS ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

© 2019 JAQ CORP. INT. P.C.

**TENANT
IMPROVEMENT**
1905 HOWARD ST.
EVANSTON, IL 60202

PLUMBING LAYOUT

WORKING DRAWINGS

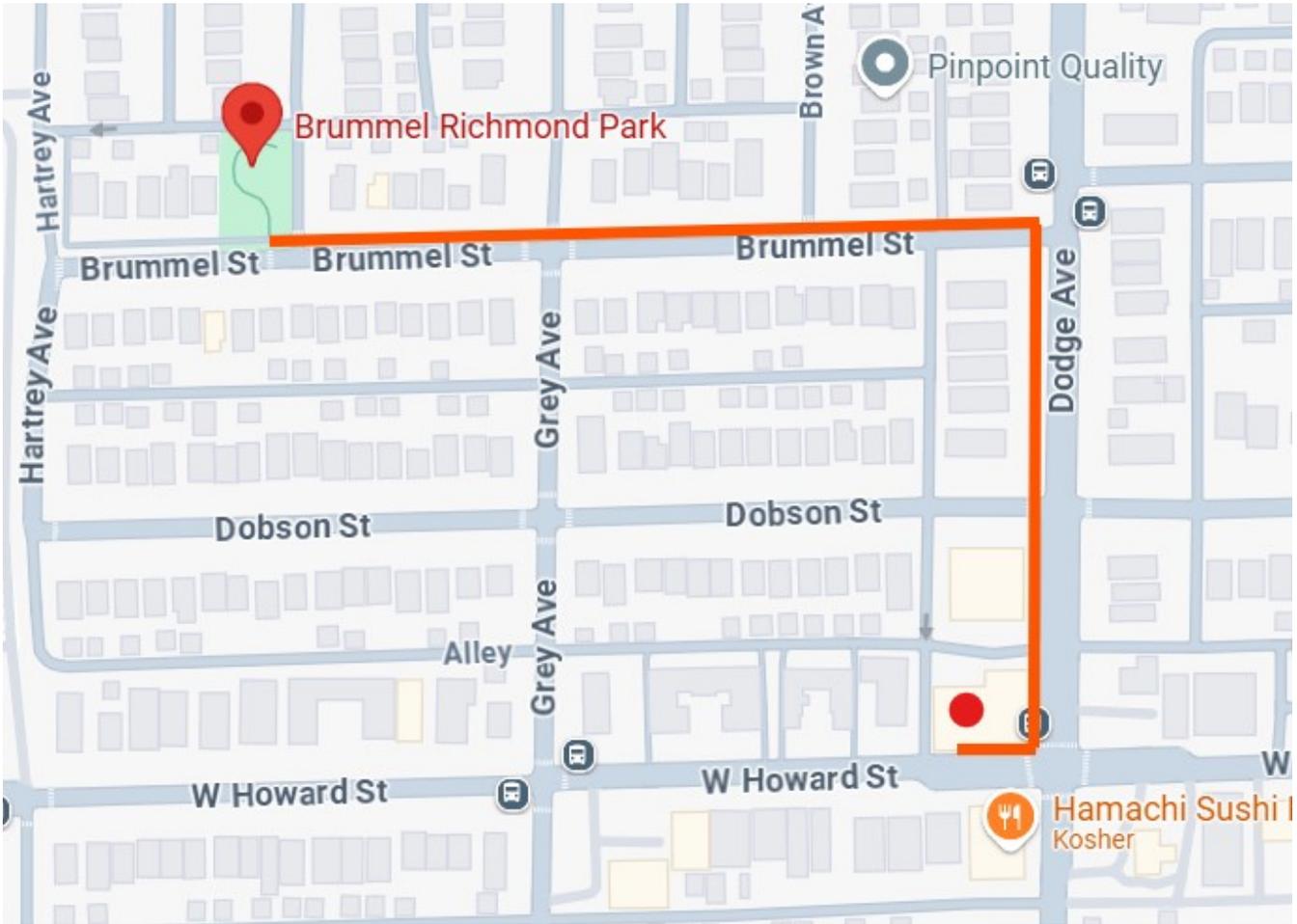
SHEET NUMBER
P1.1

DATE
2023_14

OF SHEETS



Dodge Ave





9/30/2014
11/13/2014

120-O-14

AN ORDINANCE

Granting a Special Use Permit for a Child Daycare Center Located at 1909 – 1911 Howard Street in the C1 Commercial District (“A Step By Step Learning Academy, Inc.”)

WHEREAS, the Zoning Board of Appeals (“ZBA”) met on September 23, 2014, pursuant to proper notice, to consider case no. 14ZMJV-0111, an application filed by Joy Shumate, lessee of the property legally described in Exhibit A, attached hereto and incorporated herein by reference, commonly known as 1909 – 1911 Howard Street (the “Subject Property”) and located in the C1 Commercial District, for a Special Use Permit to establish, pursuant to Subsection 6-10-2-3 of the Evanston City Code, 2012, as amended (“the Zoning Ordinance”), a Child Daycare Center, “A Step By Step Learning Academy, Inc.,” on the Subject Property; and

WHEREAS, the ZBA, after hearing testimony and receiving other evidence, made a written record and written findings that the application for a Special Use Permit for a Child Daycare Center met the standards for Special Uses in Section 6-3-5 of the Zoning Ordinance and recommended City Council approval thereof; and

WHEREAS, at its meetings of October 13, 2014 and November 24, 2014, the Planning and Development Committee of the City Council (“P&D Committee”) received input from the public, carefully considered and adopted the findings and recommendations of the ZBA in case no. 14ZMJV-0111; and

WHEREAS, after the October 13, 2014 meeting of the P&D Committee, the Applicant submitted an amended application, inclusive of a letter of intent by the Subject Property owner for the commercial lease of said Subject Property; and

WHEREAS, at its meetings of November 24, 2014, the P&D Committee received input from the public, carefully considered the amended application, amended and adopted the applicable findings and recommendations of the ZBA's recommendation and approve the amended application in case no. 14ZMJV-0111; and

WHEREAS, at its meeting of November 24, 2014 and December 8, 2014, the City Council considered and adopted the respective records, findings, and recommendations of the ZBA and P&D Committee, as amended,

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:

SECTION 1: The foregoing recitals are found as fact and incorporated herein by reference.

SECTION 2: The City Council hereby approves the Special Use Permit for a Child Daycare Center on the Subject Property as applied for in case no. 14ZMJV-0111.

SECTION 3: Pursuant to Subsection 6-3-5-12 of the Zoning Ordinance, the City Council hereby imposes the following conditions on the Applicant's Special Use Permit, violation of any of which shall constitute grounds for penalties or revocation of said Permit pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

- A. Compliance with Applicable Requirements:** The Applicant shall develop and use the Subject Property in substantial compliance with: all applicable legislation; the Applicant's testimony and representations to the ZBA, the P&D Committee, and the City Council; and the approved plans and documents on file in this case.

- B. **Hours of Operation:** The Applicant shall operate the Child Daycare Center authorized by this ordinance only between the hours of 6:00 a.m. and 9:00 p.m. on any given day.
- D. **Employee Parking:** Employees shall not park on the street during hours of operation.
- E. **Recordation:** Before it may operate the Special Use authorized by the terms of this ordinance, the Applicant shall record, at its cost, a certified copy of this ordinance with the Cook County Recorder of Deeds.

SECTION 4: When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicant" shall be read as "Applicant's agents, assigns, and successors in interest."

SECTION 5: This ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

SECTION 6: All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 7: If any provision of this ordinance or application thereof to any person or circumstance is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this ordinance is severable.

SECTION 8: The findings and recitals contained herein are declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

Introduced: November 04 2014

Approved:

Adopted: November 24, 2014

December 3, 2014

Elizabeth B. Tisdahl
Elizabeth B. Tisdahl, Mayor

Attest:

Rodney Greene
Rodney Greene, City Clerk

Approved as to form:

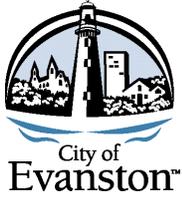
W. Grant Farrar
W. Grant Farrar, Corporation Counsel

EXHIBIT A**LEGAL DESCRIPTION**

LOT 1 IN BLOCK 1 IN OLIVER SALINGER AND COMPANY'S SECOND HOWARD STREET ADDITION, IN THE SOUTHEAST $\frac{1}{4}$ OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 25, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. THE WEST 125 FEET OF THE EAST 158 FEET OF THE NORTH 40 FEET OF THE SOUTH 2.572 CHAINS OF THE EAST 19.43 CHAINS OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 25, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PINs: 10-25-113-045-0000

COMMONLY KNOWN AS: 1909 – 1911 Howard Street, Evanston, Illinois.



MEETING MINUTES
ZONING BOARD OF APPEALS

Tuesday, September 23, 2014

7:00 PM

Civic Center, 2100 Ridge Avenue, Council Chambers

Members Present: Matt Rodgers, Violetta Cullen, Myrna Arevalo, Beth McLennan,
Mary Beth Berns
Members Absent: Andrew Gallimore, Scott Gingold
Staff Present: Melissa Klotz, Lorrie Pearson, Mario Treto
Chair: Matt Rodgers

Declaration of Quorum

With a quorum present, Chair Rodgers called the meeting to order at 7:05pm.

Approval of Minutes

The minutes from the September 9, 2014 Zoning Board of Appeals meeting were motioned for approval with one correction. Ms. Cullen made the motion and it was seconded by Ms. McLennan. The motion was approved 4-0, 1 member abstained.

New Business

1840 Oak Street

ZBA 14ZMJV-0112

Amy Joffe, property owner, applies for major zoning relief for off-street parking. The applicant requests a parking variance to allow 34 parking spaces where 106 parking spaces are required (Zoning Code Section 6-16-3-5-Table 16-B). The Zoning Board of Appeals makes a recommendation to City Council, the determining body for this case.

Ms. Klotz read the case into the record.

Ms. McLennan motioned to continue this case to the November 4, 2014 Zoning Board of Appeals meeting. Ms. Cullen seconded the motion and it was approved 5-0.

1613 Sherman Avenue

ZBA 14ZMJV-0109

Paul Chen, lessee, applies for a special use permit for a Type 2 Restaurant, *Doc Popcorn*, at 1613 Sherman Avenue. 1613 Sherman Avenue is located in the D2 Downtown Retail Core District, which requires a special use permit for a Type 2 Restaurant to operate (Zoning Code Section 6-11-3-4). The Zoning Board of Appeals makes a recommendation to City Council, the determining body for this case.

Ms. Klotz read the case into the record.

Paul Chen, lessee, explained the proposal:

- Intend to produce and sell popcorn as a retail establishment
- Provide seating for 8-10 customers
- Hours of operation: Mon-Fri 10 a.m. to 10 p.m., Weekends 10 a.m. to midnight
- 1-2 employees present on weekdays, 3-5 employees present on weekends
- Parking in city garage available, if necessary
- Agrees to Litter Plan
- Currently operates store in Gurnee Mills (~2 years)

Ms. Cullen and Ms. Arevalo inquired about deliveries. Mr. Chen explained that deliveries would occur once a week by UPS or FedEx and the dumpster would be emptied twice a week.

The ZBA entered into deliberations.

The Standards were addressed:

1. Yes
2. Yes
3. Yes
4. Yes
5. Yes
6. Yes
7. Yes
8. Yes
9. Yes

Ms. McLennan motioned to recommend approval of the proposal with the following conditions:

- Litter/Garbage Plan.
- Employees cannot park on the street.
- Hours of operation fall between 6 a.m. and midnight 7 days a week

The motion was seconded by Ms. Cullen and approved 5-0.

1118 Colfax Street

ZBA 14ZMJV-0110

Corrie Kasprzycki, property owner, applies for major zoning relief to convert a screen porch into habitable space. The applicant requests a 15' front yard setback where 27' is required (Zoning Code Section 6-8-2-8-A-1). The Zoning Board of Appeals is the determining body for this case.

Ms. Klotz read the case into the record.

Corrie Kasprzycki, property owner, explained the proposal:

- The house was built in 1922
- House purchased in 2008
- Need more habitable space since family has expanded
- Replace screens with windows and add heat
- Building footprint will remain the same

Chair Rodgers asked how the applicant enters her home. Ms. Kasprzycki said that she enters her house at the side entrance. She then submitted a letter of support from her neighbors with ~18 signatures.

Chair Rodgers then inquired as to what was the average setback on the block. The applicant said that the neighbor to the west of her house has the same setback with an open porch and the house on the other side is setback a bit more.

The ZBA entered into deliberations.

Chair Rodgers expressed concerns about when cases like this are granted, the property owner may come back to ask to add a new porch.

Ms. McLennan noted that this is a very deep lot.

Ms. Berns stated that most of the block is in line with the 27' setback. The approval of this project will change the character of this block. She went on to say that it was only a matter of time before they want to build a front porch even closer to the front lot line and want to add a second story addition above this habitable space.

The Standards were addressed:

1. Yes
No- Ms. Berns
2. Yes
3. Yes
4. Yes
5. Yes
6. Yes
7. Yes

Ms. McLennan motioned to recommend approval of the proposal with the following conditions:

- The project must be in substantial compliance of the documents and testimony on record.

The motion was seconded by Ms. Arevalo and approved 4-1.

1909 – 1911 Howard Street

ZBA 14ZMJV-0111

Joy Shumate, lessee, applies for a special use permit for a Daycare Center – Child, *A Step By Step Learning Academy, Inc.*, at 1909-1911 Howard Street. 1909-1911 Howard Street is located in the C1, Commercial District, which requires a special use permit for a Daycare Center – Child to operate (Zoning Code Section 6-10-2-3). The Zoning Board of Appeals makes a recommendation to City Council, the determining body for this case.

Joy Shumate, lessee, explained the proposal:

- Caters to 6 weeks old to 3 year old children
- Applicant currently operates home daycare at 2122 Dobson Street
- There will be 28 children total (currently have 10 in home daycare)

Chair Rodgers noted that there were other adjoining businesses on the property and asked what the proposed space was currently being purposed as. Ms. Shumate responded that it takes up two spaces and is currently vacant. She anticipates hiring 5 employees and hours of operation will take place between 6:30 a.m. and 6:30 p.m.

Chair Rodgers then asked about the parking situation. Ms. Shumate said that most employees will be using public transit, but she will also lease 7-8 spaces behind the building as well. Public parking is also available down the street.

Ms. Shumate clarified that hours of operation will never exceed 7 p.m. because any child left that late would require a DCFS contact.

Ms. McLennan asked how many families had multiple children being cared for at the daycare. Ms. Shumate said there were three families with multiple children in her care, so 28 vehicles would not be trying to drop off their children at the daycare.

Chair Rodgers asked if city staff had any concerns about vehicles turning out of the alley. Ms. Klotz said that Public Works did not note any concerns at the SPAARC meeting.

Ms. Arevalo inquired as to where drop-offs would be taking place. Ms. Shumate said that drop-offs would occur in the back parking lot; adjacent to the alley.

Ms. McLennan asked if drop-offs would be staggered time-wise. Ms. Shumate said she anticipates a lot of the drop-offs occurring on the earlier side, but there should be a decent amount of drop-offs later in the morning as well.

Ms. McLennan asked when the other businesses in the vicinity closed. Ms. Shumate responded that the Vet center usually closes at 4 p.m. Ms. McLennan then asked how long the applicant had been operating her business, to which Ms. Shumate replied, 3 years.

The ZBA entered into deliberations.

The Standards were addressed:

1. Yes
2. Yes
3. Yes
4. Yes
5. Yes
6. Yes
7. Yes
8. Yes
9. Yes

Ms. Klotz noted that Standards 1 & 9 will be found compliant per the proposed text amendment that is currently in process.

Ms. Cullen motioned to recommend approval of the proposal with the following conditions:

- Employees cannot park on the street.
- Hours of operation: 6 a.m. to 9 p.m.

The motion was seconded by Ms. McLennan and approved 5-0.

Ms. Klotz noted that the ZBA rule changes will be proposed in October.

The meeting adjourned at 8:00 p.m.

NOTICE OF A PUBLIC HEARING

Evanston Land Use Commission

Wednesday, March 26, 2025, 7:00 pm

Morton Civic Center, 2100 Ridge Avenue

Council Chambers

Please be advised, as you own, or otherwise may have interest in a property within 500 ft. of the address listed below, for which the following zoning application will be discussed:



Special Use

1905-1909 Howard St. | 25ZMJV-0006

Joy Powell, applicant, submits a Special Use application requesting to amend the existing Special Use approval granted by Ordinance 120-O-14 to expand a Daycare Center—Child, A Step By Step Learning Academy, in the C1 Commercial District (Section 6-10-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 10-25-113-045-0000.

Northwest corner of Howard St. and Dodge Ave.

Those wishing to make public comments at the Land Use Commission meeting may attend in-person or submit written comments in advance by calling/texting 847-448-4311 or completing the Land Use Commission online comment form available online here: <https://bit.ly/lucpubliccomment>. Information about the Land Use Commission is available online at www.cityofevanston.org/government/land-use-commission. Questions can be directed to Michael Griffith, Planner, at 847-448-8155 or via e-mail at mgriffith@cityofevanston.org. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Community Development Department 48 hours in advance of the scheduled meeting so that accommodations can be made at 847-448-8170 (Voice) or 847-866-5095 (TDD). La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847-448-4311 (voz) o 847-866-5095 (TTY).

A Step by Step Learning Academy

Where every step is a step towards a brighter future

1905-1909 Howard Street

Special Use Amendment Ordinance 120-O-14 Daycare Center - Child

Evanston Land Use Commission, March 26, 2025

Business History

2014

- Obtained Special Use approval with Ordinance 120-O-14
- Approved for 28 children and 6 employees
- 8-10 on-site drop-off parking spaces

2021 (COVID Expansion)

- Added indoor space
- No increase in children; 2 additional employees
- Special Use amendment not required

2025

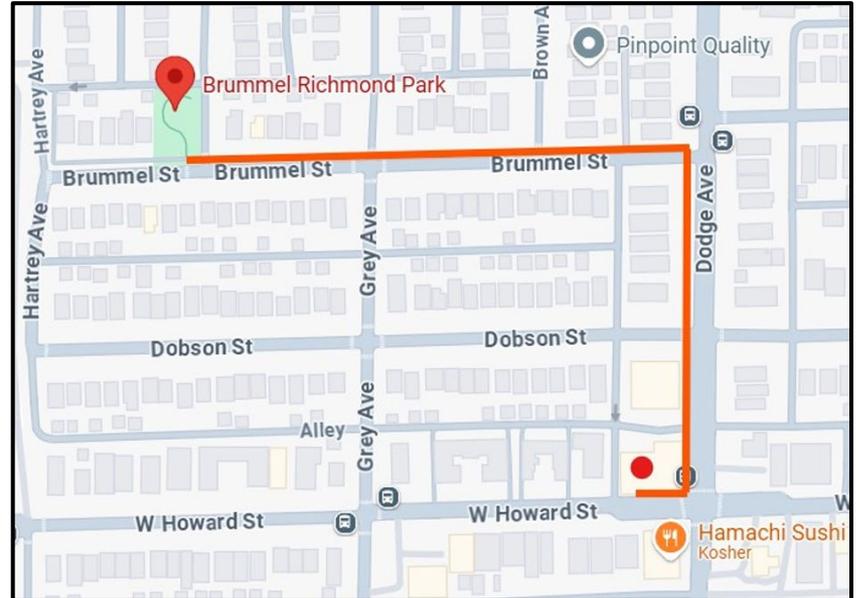
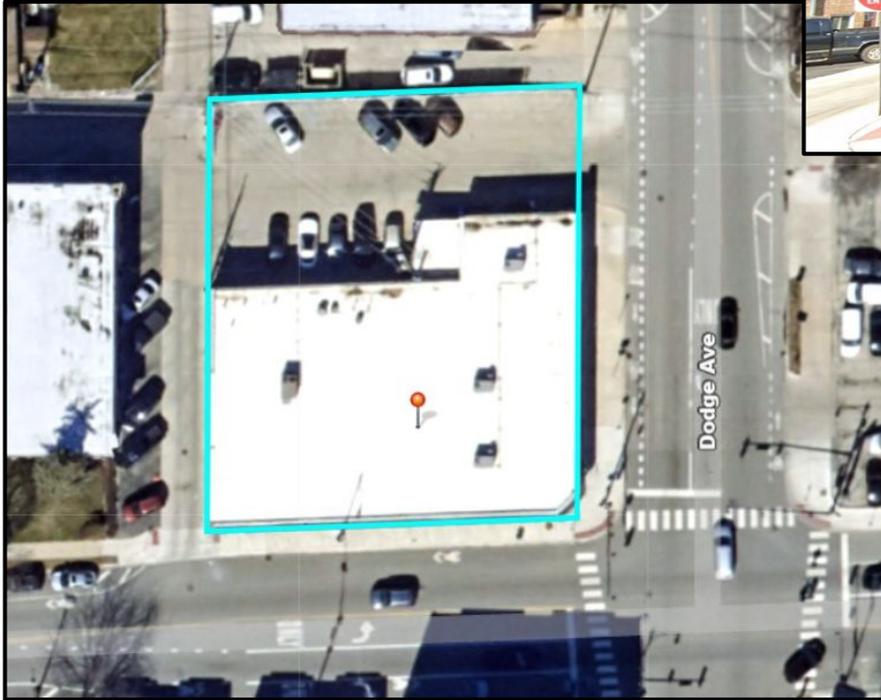
- Adds indoor space
- Anticipates an increase in children up to 50-60 per DCFS regulations (in 2026)
- Anticipates an increase in employees to 10 max

Ordinance 120-O-14 Existing Conditions

1. Substantial compliance with the documents and testimony on record.
2. Hours of operation shall not exceed 6am - 9pm daily.
3. Employees shall not park on the street.
4. Special Use recordation required.

Location

1905-1909 Howard Street



Floor Plan

1909 Howard (original approval):
Preschool classroom
Infant & Toddler classroom

1907 Howard (2021 expansion):
Pre-kinder classroom
2 year old classroom

1905 Howard (2025 expansion):
Playroom
Toddler-only classroom

1901-1903 Howard:
Vet Center (no change)



A Step by Step Learning Academy

	Original Approval 1909 Howard St.	2021 Expansion (no added impact) +1907 Howard St.	Proposed Expansion (added impact in 2026) +1905 Howard St.
Number of Children	12 infant/toddlers and 16 2-3 year olds = 28 total	No change	Increase in 2026: could allow 50-60 children total per DCFS requirements
Number of Rooms	2	+2 = 4	+2 = 6
Number of Employees	5 teachers & 1 admin = 6	8	Increase in 2026: could add additional staff (up to 2 more) for the max number of children = 10
Available Parking Spaces	8-10 spaces	10	11 (of 17 total)
Hours of Operation	6:30am - 6:30pm	No change	No change
Drop-off & Pick-up Times	6:30am - 8:30am & 4:30pm - 6:30pm	No change	No change

Operations Summary



Parking

17 on-site parking spaces
total:

- 6 for Vet Center
- 11 for Daycare



Drop-offs: 6:30am - 8:30am

Pick-ups: 4:30pm to 6:30pm

Max 60 students including siblings = 45 families

45 families - 10 do not drive = 35 vehicles

Example:

7 spaces available for drop-offs (4 for employees)

7 spaces / 35 vehicles over 2 hours =

24 minutes per vehicle if needed

Example:

35 vehicles x 5 minute drop-offs = 175 minutes needed

7 spaces over 2 hours =

840 minutes of parking available where 175 minutes are needed



A Step by Step Learning Academy

Where every step is a step towards a brighter future

1905-1909 Howard Street

Encourages a walkable neighborhood with a local service and therefore less reliance on vehicles

Provides enrichment classes and age-appropriate STEM curriculum for youth

Supports a local minority-owned business and property owner

Named Best Daycare in Evanston by Chicago Bound (2025)

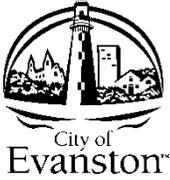


2206 Maple Avenue and 2215-2219 Maple
Avenue/916 ½ Noyes Street

Major Variations

25ZMJV-003

LUC Recommending Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Sam Hubbard, Senior Planner/Interim Zoning Administrator

CC: Sarah Flax, Director of Community Development
Elizabeth Williams, Planning Manager & Interim Housing & Grants Manager

Subject: Major Variations for 2206 Maple Avenue and 2215-2219 Maple Avenue & 916 ½ Noyes Street, 25ZMJV-0003

Date: March 21, 2025

Request

The applicant, Paul Harb of 2206 Map LLC, has applied for Major Variations to allow construction of a five-story multi-family residential development with 30 dwelling units (24 dwelling units + 6 bonus dwelling units) and 29 parking spaces at 2206 Maple Avenue in the R5 General Residential District. The subject property is currently developed with a parking lot, and in order to redevelop the site, the following variations have been requested by the applicant:

- 1) Section 6-8-7-4, to allow 24 dwelling units (including 6 on-site inclusionary units) and 6 market rate bonus units for 30 total dwelling units where a maximum of 19 dwelling units is allowed;
- 2) Section 6-16-3-5, Table 16-B, to allow 20 off-street parking spaces (18 onsite and 2 offsite) where code requires a minimum of 27 off-street parking spaces;
- 3) Section 6-16-4-4, to allow a 9.5' x 25' short loading berth where code requires a 10' x 35' short loading berth, and;
- 4) Section 6-4-6-3(A)1, to allow 72% rear yard coverage with parking and loading uses, where code restricts maximum rear yard coverage to 40% for these uses in a residential district.

In order to allow removal of the existing parking lot on the subject property, Javier Viera, co-applicant, of the Garrett Evangelical Theological Seminary, requests the following Major Variation for the property at 2215-2219 Maple Avenue and 916 ½ Noyes Street:

- 5) Section 6-16-3-5, Table 16-B, to allow 16 off-street parking spaces (with 11 of those 16 spaces provided at 2206 Maple Avenue) where code requires a minimum of 28 off-street parking spaces.

The applicant or co-applicant may seek, and the Land Use Commission may consider, additional variations as may be necessary or desirable for the proposed development.

Notice & Preliminary Review

The application has been filed in conformance with applicable procedural and public notice requirements including publication in the Chicago Sun Times on March 11, 2025.

Additionally, the applicant held a community meeting on January 8, 2024, to introduce the project to surrounding neighbors and provide opportunities to ask questions regarding the proposed development.

The applicant appeared before Design Evanston on February 25, 2025, and received a favorable review. The formal review comments from this meeting are included in the materials provided to the Land Use Commission.

Public Comment

No public comments had been received by staff at the time this staff report was finalized. However, the applicant has provided several letters and emails of support from nearby residents/property owners, which are included in the materials provided to the Land Use Commission.

General Information

Applicant/Owner:	Paul Harb 2206 Map, LLC PO Box 6039 Wilmette, IL 60091	Co-applicant:	Javier Viera Garret Evangelical 2121 Sheridan Rd. Evanston, IL 60201
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PIN: 11-07-119-019-0000 and 11-07-120-049-8001

Existing Conditions and Project Background

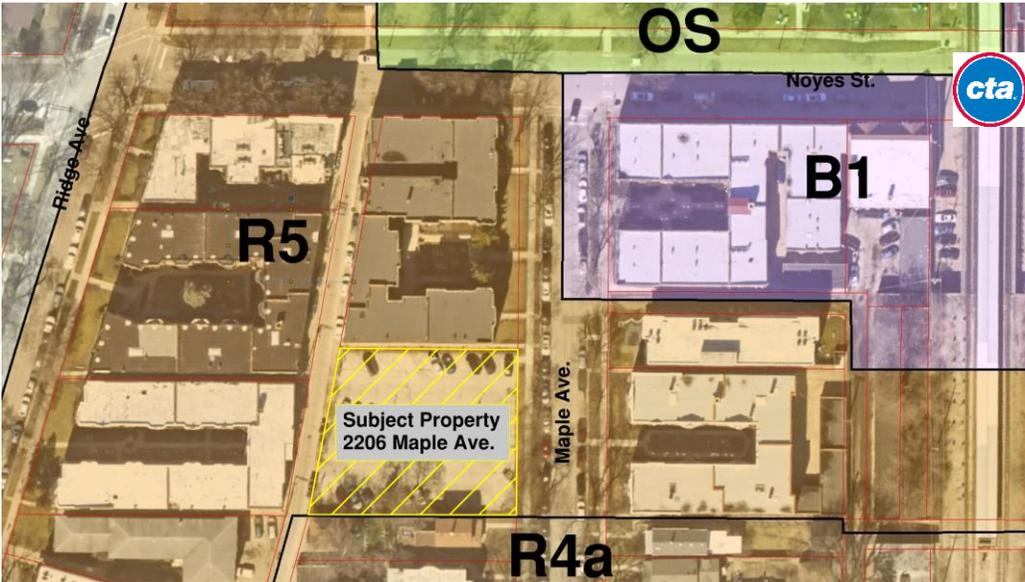
The subject property is approximately 0.42 acres (18,106 square feet) in size and located on the west side of Maple Avenue, just south of the intersection of Noyes Street and Maple Avenue. The lot is rectangular with approximately 123 feet of frontage along Maple Avenue and alley access at the rear (west). It is currently developed with a 49-space parking lot that has historically served as required parking for two multi-family developments on the east side of Maple Avenue.

Immediately to the north of the subject property is a four-story residential building containing 37 dwelling units. To the west of the subject property is an alley that runs from Noyes Street at the north down to Simpson Street at the south. To the west are two multi-family developments that are 3-4 stories in height, and to the south is a two-unit dwelling that is two-stories in height. Across Maple Street to the east is a 12-unit development built by the applicant in 2020 (2211 Maple Avenue bounded in green on the map on the next page), along with the two multi-family buildings that the parking lot on the subject property has historically provided required parking for (outlined in orange and pink in the map on the next page). In late 2024, Garrett Evangelical Theological Seminary, which owned the subject

property and both apartment buildings, sold the parking lot and multi-family building outlined in pink (2201 Maple Avenue) to Peak Properties, LLC. Peak Properties, LLC, subsequently sold the subject property (parking lot in yellow) to Paul Harb, the applicant, but retained ownership of the multi-family property outlined in pink below. Garrett retained ownership of the building in orange (2215-2219 Maple Avenue/916 ½ Noyes Street).



The land use pattern in the area consists of multi-family properties to the north, east, and west, with some mixed-use developments along Noyes Street and some two-family and less dense residential to the south. Approximately 500 feet to the east is the Noyes Street CTA Purple Line station. The subject property is considered a “Transit Oriented Development” (TOD) per the zoning code and building residents are expected to have lower car-ownership levels due to the location of the subject property as being in close proximity to mass transit options. The property is zoned R5 and the map below shows the surrounding zoning designations:



	Zoning Districts	Land Use
North	R5 General Residential District	Multi-family
South	R4a General Residential District	Two-Unit Dwelling
East	R5 General Residential District	Multi-family
West	R5 General Residential District	Multi-family
Subject Property	R5 General Residential District	Multi-family (Proposed)

Project Background

This site has historically been used as a parking lot for several decades, although it has never formally been approved for parking lot usage, which requires approval as a “Special Use” in the R5 General Residential zoning district. However, in 1982, the subject property was approved for a Special Use to allow a reconfiguration of the existing parking lot on the site, but the work was never done. Garrett has been the historical owner given that the parking lot served as required parking for the residential uses that it also owns/owned at 2215-2219 Maple Ave. & 916 ½ Noyes Street, as well as 2201 Maple Avenue. However, 2201 Maple Avenue has 16 onsite garage parking stalls, which is sufficient to conform to code requirements without relying on the parking lot on the subject property. Conversely, the property at 2215-2219 Maple Ave & 916 ½ Noyes Street cannot conform to parking requirements upon redevelopment of the subject property with 30 dwelling units, and therefore, Garret is a co-applicant to obtain a parking variation for that building.

Analysis

The applicant proposes demolition of the existing parking lot on the subject property and construction of a 5-story, 61-foot tall, multi-family building with 30 dwelling units. Also proposed within the building is an 18-stall parking garage to be located on the ground floor. On the exterior of the site, 11 permeable paver parking stalls would be constructed at the rear of the building with access coming from the existing alley at the rear of the site.

One sub-standard loading berths is proposed at the rear of the building with access from the alley. The loading berth is 9.5’ x 25’ (required to be a minimum of 10’ x 35’) and can be used for both residential move-ins/move-outs and trash collection. The proposed multi-family building is a permitted use within the R5 District.

The bedroom mix of the building is shown below:

	Number	Percentage
Studio	2	6%
1-bedroom	8	27%
2-bedroom	9	30%
3-bedroom	8	27%
4-bedroom	3	10%
Total:	30 units	100%

The 18-space ground-floor parking garage will be available for lease by the residential tenants of the building, and the 11 exterior parking stalls will be dedicated to the residential tenants at 2215-2219 Maple Ave & 916 ½ Noyes Street to make up for the removal of the existing onsite parking lot. Prior to approval of a building permit, the applicant will need to provide a recorded agreement to allow the 11 surface parking stalls to be used by 2215-2219 Maple/916 ½ Noyes in perpetuity. Additional analysis and discussion on parking is contained within the Transportation & Mobility section below.

Bulk, Height & Density

The proposed structure complies with all setback requirements. However, final details are needed on the front yard setback, which could require up to a 1.5' modification to the front of the building (current building is setback approx. 23' from the east property line and may be required to be up to 24.5' setback). Additional details must be provided prior to appearing before the City Council, however, the applicant has maintained that the minimum required front yard setback will be met and no variation will be requested, and if the building needs to get shortened along the east, then this can be achieved without substantial modifications to the building design and floorplans.

The height of the highest visible point of the building (stairwell overrun on north side) is 61.5' tall and Code allows a maximum building height of 62' (50' base R5 allowance + 12' IHO bonus). As such, no height relief is required. The development also conforms to building lot coverage and impervious surface coverage requirements. However, per Code, a total of 19 market-rate dwelling units are allowed on the site (and additional bonus units are allowed based upon compliance with the Inclusionary Housing Ordinance). Specifically, this allowance exempts 6 units from the density calculations, meaning that while 30 units are proposed, only 24 of these units count towards the density requirement. Accordingly, the following Major Variation is required: **to allow 24 dwelling units where 19 are allowed.** Zoning relief is not required for the 6 bonus units allowed per compliance with the IHO.

The requested density increase is appropriate for the context of the site given the TOD location that is in close proximity to the Purple Line CTA station. Concentrating density within areas of the City that have the appropriate infrastructure and city services helps to enhance the value of taxable land, contributes to the vibrancy of the City, and reduces the carbon footprint of the future residents. The City does not anticipate an undue burden on municipal services/resources in the vicinity and acknowledges that while the development will result in an increase in residential units, the proposed density is aligned with the surrounding developments to the west, north, and east. **Exhibit I** at the end of this memo shows the proposed density in relation to the surrounding uses of similar scale. Specifically, the proposed development would be constructed at 72 du/ac and the average of the surrounding properties surveyed is 80 du/ac. The Community Development Department is supportive of the requested density variance and believes the density is compatible with the surrounding area.

Since the lot is zoned residential, the rear yard is restricted to no more than 40% coverage, however, the proposed parking and loading areas **cover 72% of the rear yard and a Variation is required to allow the accessory coverage beyond code requirements.** Rear yard coverage on properties to the north and west of the subject property are approximately

100% covered, where the subject property will maintain at least 28% open space at the rear. The Community Development Department believes the variation to be in harmony with the existing multi-family developments to the north and west. **Exhibit II** at the end of this memo shows the rear yard coverage in comparison to similar developments in the vicinity and illustrates that the proposed development, while not conforming to the strict requirement of the code, provides substantially more compliance compared to similar developments.

There is no maximum limitation on floor area ratios (FAR) in the R5 District. The proposed building has a moderate floor area ratio of approximately 2.16 and complies with City requirements.

Site Design & Access

The proposed development will remove a 49-space parking lot and replace it with a transit-oriented development. No new curb cut is proposed along Maple and all site access will continue to come from the rear alley. The interior garage would provide 34 bike parking spaces and the exterior would include 6 guest/overflow bike spaces, totaling 1.33 bike parking spaces per unit (.63 per bedroom).

For passenger vehicles, dual access points are proposed on the west side of the site from the public alley. Those driving a passenger vehicle may enter the site from northbound or southbound alley movements, and either access the 4 parking stalls in the northwest corner of the site, or the 7-spaces lining the garage entrance into the 18-space ground floor garage.

For commercial vehicles (refuse collection, move-in/move-outs), a single-berth loading zone is proposed with access to the rear alley. **The loading berth is 9.5' wide by 25' deep where code requires a 10' x 35' loading berth, and a Major Variation is required.** Similar sized multi-family developments to the north and to the west do not provide any onsite loading spaces or dedicated loading areas. In providing a 9.5' x 25' loading zone, staff finds that the proposed development will surpass the level of building infrastructure in the vicinity. So long as loading operations are well managed and the loading zone is utilized for larger moving vehicles, staff does not anticipate a detrimental impact to alley operations. It should be noted that the building to the west, 2201-2209 Ridge Ave., will need to find an alternative location to store their dumpsters as the existing location will no longer be viable upon redevelopment of the subject property with a building. The applicant has been asked to collaborate with the property owner to the west to prepare them for this change.

Final details are still being worked out with regards to site mechanicals. Any exterior ground mounted mechanical equipment must be appropriately sited and screened from view, with final discretion to come from the City. Furthermore, the applicant shall be required to re-route the proposed stormsewer line so that it discharges to the east and not towards the alley at the rear of the site.

Parking, Transportation & Mobility

The applicant proposes 18 on-site parking stalls within the ground level parking garage, along with 11 exterior spaces at the rear of the building, for a site total of 29 parking stalls. The applicant will dedicate, in perpetuity, use of the 11 surface parking stalls to the tenants at 2215-2219 Maple and 916 ½ Noyes Street. The 18 interior garage parking stalls will be used

by the 30 dwelling units proposed in the building. The property owner shall not lease the 11 exterior spaces to the tenants of 2215-2219 Maple and 916 ½ Noyes Street at a rate higher than they will charge their own tenants for parking within the 18-space garage. Upon request from the City, the property owner shall provide real-time parking usage information for both the interior and exterior parking stalls. Additionally, the applicant is also owner of two garage parking stalls located on the east side of the alley at the rear of 2211 Maple Avenue, and will deed (in perpetuity) usage of those two parking spaces to the tenants within the subject property, which brings the total amount of parking available to this building from 18 to 20. Evidence of the execution and recordation of these shared parking agreements must be provided at time of building permit issuance.

Per the City Code, the following parking variations are required:

1. 2206 Maple Avenue:

A Major Variation to reduce the onsite parking requirement from a total of 27 parking stalls to 20 parking stalls (18 onsite + 2 off-site). The detailed parking calculations for this building are included below.

Use/Tenant/Address	Parking Code Use	Number of Units (standard)	Number of Units (inclusionary)	Parking Ratio	Required Parking
Multi-Family (Studio)	Multi-Family TOD	2	-	.55 spaces/standard Unit	1.1
Multi-Family (1-Bdrm)	Multi-Family TOD	6	2	.55 spaces/standard Unit	3.3
Multi-Family (2-Bdrm)	Multi-Family TOD	7	2	1.1 spaces/standard Unit	7.7
Multi-Family (3-Bdrm)	Multi-Family TOD	7	1	1.65 spaces/standard Unit	11.6
Multi-Family (4-Bdrm)	Multi-Family TOD	2	1	1.65 spaces/standard Unit	3.3
Total Units:		30		Total Parking Required:	27
				Total Parking Provided*:	20
				Surplus/Deficit	-7

* There are 29 total onsite parking spaces, however, 11 exterior surface parking stalls are provided in perpetuity to 2215-2219 Maple/916 1/2 Noyes.

2 Additional parking spaces are provided to 2206 Maple via the garage spaces on the east side of the alley behind 2211 Maple.

2. 2215-2219 Maple and 916 ½ Noyes Street:

A Major Variation to reduce the onsite parking requirement from a total of 28 parking stalls to 16 parking stalls (5 onsite + 11 off-site). The detailed parking calculations are contained below.

2215-2219 Maple and 916 1/2 Noyes		50	N/A		
Multi-Family (Studio)	Multi-Family TOD	16	0	.55 spaces/standard Unit	8.8
Multi-Family (1-Bdrm)	Multi-Family TOD	34	0	.55 spaces/standard Unit	18.7
				Total Parking Required:	28
				Total Parking Provided*:	16
				Surplus/Deficit	-12

* 5 spaces are provided within onsite garages, 11 additional surface spaces are provided on 2206 Maple Ave. in perpetuity.

Given the TOD location of the subject property, in combination with the request for a parking variation, all building residents of 2206 Maple Avenue will be prohibited from obtaining residential street parking passes for parking within the neighborhood.

Staff compared the proposed parking in relation to similar TOD's recently approved in the City, along with the parking at 828 Noyes Street, which is a directly comparable multi-family property completed in 2019. The results are shown on the next page:

	Total Units	Total Bedrooms	Parking Stalls (Total)	Parking (devoted to Residential)	Residential Parking per Unit	Residential Parking per Bedroom	Year Approved
2206 Maple Ave Proposed Project	30	64	29	20	0.67	0.31	
1621 Chicago Ave The Legacy	110	142	48	43	0.39	0.3	2024
910-938 Custer Ave Custer Apartments	230	256	48	48	0.21	0.19	2024
718 Main St Tapestry Station	120	144	47	43	0.36	0.3	2021
1555 Ridge Ave The Maeve on Ridge	68	108	61	Assume 61	0.90	0.56	2020
1101 Church St Sojourner Church	30	43	14	14	0.47	0.33	2021
1710 Sherman Varsity Theater	35	61	18 (2 onsite + 16 offsite)	18	0.51	0.30	2022
1453 Maple Masonic Temple	30	38	10 (offsite)	10	0.33	0.26	2022
828 Noyes Neighboring Development	44	75	35	31	0.70	0.41	2016

According to conversation with 828 Noyes, actual demand is: 0.36 0.21

The proposed parking at 2206 Maple, while requiring a variation, is in line with what has been recently approved or constructed in comparable TOD areas. As mentioned above, residential tenants of 2206 Maple will be prohibited from obtaining on-street residential parking passes, so they will need to either lease a space within the development or find viable off-site and off-street parking options. Furthermore, based on the most direct comparison (828 Noyes Street - pictured below), which was completed in 2019 and contains 44 units with a total of 75 bedrooms, parking demand for new multi-family residential development in this area is around .36 spaces per bedroom and .21 spaces per unit. This rate was substantiated by property management, as well as by staff in an independent survey.



During the late evening on February 1, 2025, staff surveyed the parking at 828 Noyes and found only 10 of the 35 parking spaces to be occupied with vehicles (0.28 spaces per unit). Staff does not find that the proposed parking at 2206 Maple will be insufficient to accommodate anticipated demand, and the 11-space exterior parking lot shall be sufficient for the building at 2215-2219 Maple/916 ½ Noyes to accommodate for its needs. The applicant has provided parking surveys that show low general demand for parking usage within the existing lot, which surveys have been attached as part of the evidence provided within their application.

The applicant shall be aware that the building must provide Electric Vehicle (EV) installed, ready, and capable parking stalls as noted below. The development will be required to comply with Code requirements and will provide the following:

- 10% EV-Installed → 3 stalls
- 20% EV-Ready → 6 stalls
- 70% EV-Capable → 20 stalls
- EV-installed and EV-Ready to increase 10% every 3 years with remainder of spaces being EV-Capable

Loading

Usage of the loading area at the rear of the building for move-ins/move-outs that utilize larger moving vehicles will keep truck traffic from stopping within the alley. Smaller vehicle/personal-vehicle move-ins/move-outs can utilize the interior or exterior parking stalls, as available.

Deliveries of food and packages will utilize the on-street parking spaces, which is how other uses along this street receive these services as well. The petitioner will need to manage interior refuse collection and coordinate onsite pick-up with staging of the trash receptacles in the alley on pick-up days, and they will need to plan for larger furniture removals on move-out days with larger units.

Inclusionary Housing Ordinance (IHO)

The development has a base of 24 dwelling units and proposes eight (6) on-site affordable units. Since the development is located within the R5 zoning district, it is eligible for up to two (2) additional bonus units for every on-site affordable unit required and provided, and with 3 IHO on-site units required, a total of up to 6 additional units is allowed. The development meets the City's Inclusionary Housing Ordinance (IHO) requirements and provides 3 additional public benefit IHO-compliant affordable units for a total of 6 on-site units.

Sustainability

The applicant is aligned with the City in their goals for sustainability and has proposed solar panels on the rooftop, along with a recessed rooftop outdoor amenity area for building residents. Additionally, the following sustainable features are proposed:

- The building shall be required to obtain LEED Gold, or 3 Green Globes, or comparable equivalent and must conform to the 2022 Green Building Ordinance.
- The building will comply with the Bird Friendly Ordinance, as applicable.
- Composting may be provided to residential tenants (TBD).

- The building will comply with all City regulations including but not limited to any increased sustainability/environmental requirements such as the IL Stretch Energy Code.
- The building will limit the use of natural gas and will be constructed in a manner that enables full electrification in the future to align with the Healthy Buildings Ordinance.
- Bike parking will be available for all residential units with provisions made to provide power for electric bikes and scooters.
- EV parking will be available in compliance with Evanston regulations, with future increases required every three years.

Compliance with Building Code

A finalized Construction Management Plan (CMP), which will establish general parameters for management of the construction operations, shall be provided prior to building permit issuance, for final review and approval by the City.

Compliance with the Comprehensive Plan

The proposal generally complies with the Evanston Comprehensive General Plan with regards to use; the plan calls for “Moderate Density Residential” on the site, which is to be around 45 dwelling units per acre. While the proposal exceeds this amount (at 72.2 du/ac), it is compatible to (and generally less dense than) recent multi-family development in the vicinity, as well as historical multi-family development in the vicinity (see **Exhibit I** at the end of this report). The following objectives and actions within the Comprehensive Plan should also be considered:

- ***Evanston’s Housing stock should continue to offer buyers and renters a desirable range of choice in terms of style and price.***
The proposed development will offer 30 new dwelling units with a variety of bedrooms and different layouts. Amenity space will be provided on the first floor and on a rooftop deck.
- ***Encourage both new housing construction and the conversion of underutilized non-residential buildings to housing in order to increase housing variety and to enhance the property tax base.***
Conversion of an underutilized surface parking lot to residential development is an excellent means of enhancing the property tax base by new housing construction.
- ***Encourage proposals from the private sector that will maintain the supply of moderately priced housing, both rental and owner-occupied.***
The proposed development will offer a mix of affordable housing options, with 1-Bdrm, 2-Bdrm, 3-Bdrm, and 4-Bdrm units in the IHO program (total of 20% of building units).
- ***Seek creative means of increasing Evanston’s property tax base to maintain the provision of quality services while relieving some of the tax burden placed on homeowners.***
Development of an underutilized parking lot that takes advantage of existing infrastructure and houses residents in close proximity to walkable businesses and mass transit can help to relieve the tax burden to homeowners.
- ***Promote land use development patterns that encourage pedestrians, bicycle and mass transit ridership thereby helping to reduce automobile dependency,***

and promote higher-density residential and mixed-use development near transit nodes to support non-automobile-dependent lifestyles.

The proposed development is within 500' of a CTA Purple Line mass transit station and is the appropriate place for this type of development. The number of parking spaces will be sufficient to accommodate expected demand and the bike parking stalls will help to support car-free lifestyles.

- **Encourage managers/owners of multi-family residential buildings with more than four units to provide recycling collection through their private solid waste haulers.**

The building will provide both recycling and standard solid waste hauling.

- **Increased housing density should be oriented toward mass transit to help reduce automobile traffic:**

The building is proposing housing density that is oriented towards mass transit. This is the ideal location for a building of this size and bulk. **Exhibit I**, at the end of this memo, shows that the proposed development is in line with the density of the surrounding multi-family properties.

- **Parking requirements should be sufficient to meet the needs of new residents and to prevent a shortage of on-street parking:**

The proposed development is located within walking distance of the Noyes Street transit station and includes 1.33 bike parking spaces per unit. Building residents of 2206 Maple will be prohibited from obtaining on-street parking passes, which will reduce the impact on the community and prevent a shortage of on-street parking.

Department Recommendation

The Community Development Department believes the developer has responded positively to concerns raised by staff. While the proposal asks for certain exceptions beyond code requirements, it also goes beyond code requirements in certain areas to provide a development that aligns with many of the goals of the City (building will provide 20% of units as on-site affordable, building will incorporate solar panels on the roof, building will provide 1.33 bike parking spaces per unit, etc.). This development will contribute towards several of the goals and objectives within the Climate Action & Resiliency Plan, the Inclusionary Housing Ordinance, the Green Building Ordinance, and the strategic priorities of the City Council. Staff recommends Commissioners review the application to determine if the applicable standards are met. If the Land Use Commission determines the Standards for Approval are met, the Commission should recommend approval of the request to the City Council, and may include conditions for approval including but not limited to:

1. Prior to appearing before City Council for consideration, the applicant shall provide revised data for existing setbacks of surrounding properties to allow for a potential recalculation of the 24.5' required front yard setback, and revised development plans (as applicable) if the location or size of building must to change to conform to the required front yard setback.
2. The property owner shall provide, in perpetuity, access for the subject property to use two parking stalls in the garages located at the rear of 2211 Maple Avenue, that have the PIN 11-07-120-005, for the parking of tenants or guests. Evidence of a recorded agreement, for review and approval by the City, must be provided prior to building permit issuance for the proposed structure.

3. The property owner shall provide, in perpetuity, access for usage of the 11 parking stalls on the exterior of the building at the rear of the site to residents or guests of 2215-2219 Maple Avenue & 916 ½ Noyes Street. Any rent charged for usage of these 11 spaces shall be no more than is charged for parking within the garage as may be charged to residents of the 30 dwelling units on the subject property. Evidence of a recorded agreement, for review and approval by the City, must be provided prior to building permit issuance for the proposed structure.
4. Residential tenants of 2206 Maple Avenue will be prohibited from obtaining on-street residential parking passes for street parking in the vicinity of the subject property.
5. The applicant shall continue to work with the property owner to the west to relocate the dumpsters, and if feasible, shall make accommodations at the rear of the subject property to facilitate the storage of the dumpsters on the east side of the alley.
6. Any large ground mounted mechanical or electrical equipment proposed during building permit review shall be appropriately located and properly screened, to the satisfaction of City staff.
7. The applicant shall be required to revise their storm sewer connection to discharge towards Maple Avenue instead of into the storm sewer in the alley.
8. The property shall provide 6 units in compliance with the City's IHO regulations as outlined in their approved IHO application.
9. The applicant shall sign and agree to a Construction Management Plan (CMP) with the City of Evanston prior to issuance of a building permit. The CMP shall include, but is not limited to, the following: construction phasing/staging plans; construction hours; site access including traffic and pedestrian safety plans; contractor parking; damage control and vibration monitoring (if warranted); construction exhibits; and project communications/signage.
10. Substantial compliance with the documents and testimony on record.

Standards for Approval

Prior to making a recommendation of approval, approval with conditions, or denial of any Major Variation, the LUC must review the request against the following Standards for Major Variations (§6-3-8-12).

For the Land Use Commission to recommend that the City Council grant a Major Variation, the Land Use Commission must find that the proposed Variation:

1. **Will not have a substantial adverse impact on the use, enjoyment, or property values of adjoining properties:** The proposed development is a permitted use in the underlying district, is generally compatible with the Comprehensive Plan and future desired land use, and will integrate well with the existing multi-family buildings in the surrounding R5 District. While the density exceeds code requirements, the density is aligned with existing multi-family development in the vicinity, as well as with the historical multi-family in the vicinity. The parking is reflective of current demands and the TOD location of the property.
2. **The requested variation is in keeping with the intent of the zoning ordinance:** One of the purposes and intents of the zoning ordinance is "Conserving and enhancing the taxable value of land and buildings throughout the City". Taking an underutilized parking lot that has been tax exempt for several decades and

redeveloping the site with a property tax generating use that places residents near walkable services and mass transit will enhance the taxable value of land. The requested variations have been shown to be practical and within the intent of the zoning ordinance given the historical and recent development patterns in the vicinity.

3. **Has a hardship or practical difficulty that is peculiar to the property:** The parking variation is due to the unique usage of the property as required parking by a neighboring residential development (2215-2219 Maple Ave/916 ½ Noyes St). Absent of this, the parking on the subject property would be code-compliant. Surveys of surrounding parking demand show that the proposed parking supply will be compatible with anticipated demand.
4. **The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience:** To require both the subject property and the 2215-2219 Maple Ave/916 ½ Noyes Street property to comply with the strict letter of the law with regards to parking would require both developments to exceed expected parking demand given their TOD location, along with expected demand as based on observed parking in this vicinity.
5. **Is not based exclusively upon a desire to extract additional income from the property or public benefit to the whole will be derived:** The property owner shall be required to lease the 11 exterior parking spaces on the subject property to the property at 2215-2219 Maple Ave/916 ½ Noyes St, and any rent collected for these spaces shall be no more than is charged for the building residents to lease parking within the on-site garage.
6. **Does not have a hardship or practical difficulty that was created by any person having an interest in the property:** The requested density and parking variations, along with loading spaces and rear yard coverage variations, are areas of the code that do not align with historical development that has been approved, as well as recent comparable development in the vicinity. Analysis of the existing zoning code to better align with current and desired future land uses is expected to occur later this year, with a complete re-write to the zoning code expected by the end of the year.
7. **Is limited to the minimum change necessary to alleviate the particular hardship or practical difficulty.** The proposed building is not out of scale in comparison to surrounding developments, both in terms of expected parking demand and density. The smaller loading space will be suitable to limit alley usage for loading operations, and is more than is offered by the existing multi-family buildings to the north and west of this development. The extent of the variations are mitigated by other aspects of the project the exceed goals of the city in other areas, such as the solar panels on the roof and the 20% of onsite affordable units.

Action by the Commission

After making findings of fact as to whether or not the requested Major Variations (zoning relief) meets or does not meet the aforementioned standards, the Land Use Commission may make a recommendation or recommendations to the Planning & Development Committee of the City Council to approve, approve with conditions, or deny the zoning relief as requested.

The Land Use Commission is the recommending body and the City Council is the determining body.

Attachments

1. Aerial
2. Streetview Image
3. Zoning Map
4. Project Narrative
5. Response to Approval Criteria
6. Architectural Plans
7. Engineering Plans
8. Application Materials
9. Inclusionary Housing Application
10. Zoning Analysis Results
11. Letters of Support – Provided by Applicant
12. Neighbor Support Letters & Emails - Provided by Applicant
13. Design Evanston Review Comments
14. Public Mailing Card
15. Parking Survey - Provided by Applicant
16. PRO Review Comments – Round 1
17. PRO Review Comments – Round 1 Applicant Response

Exhibit I: Density Comparison

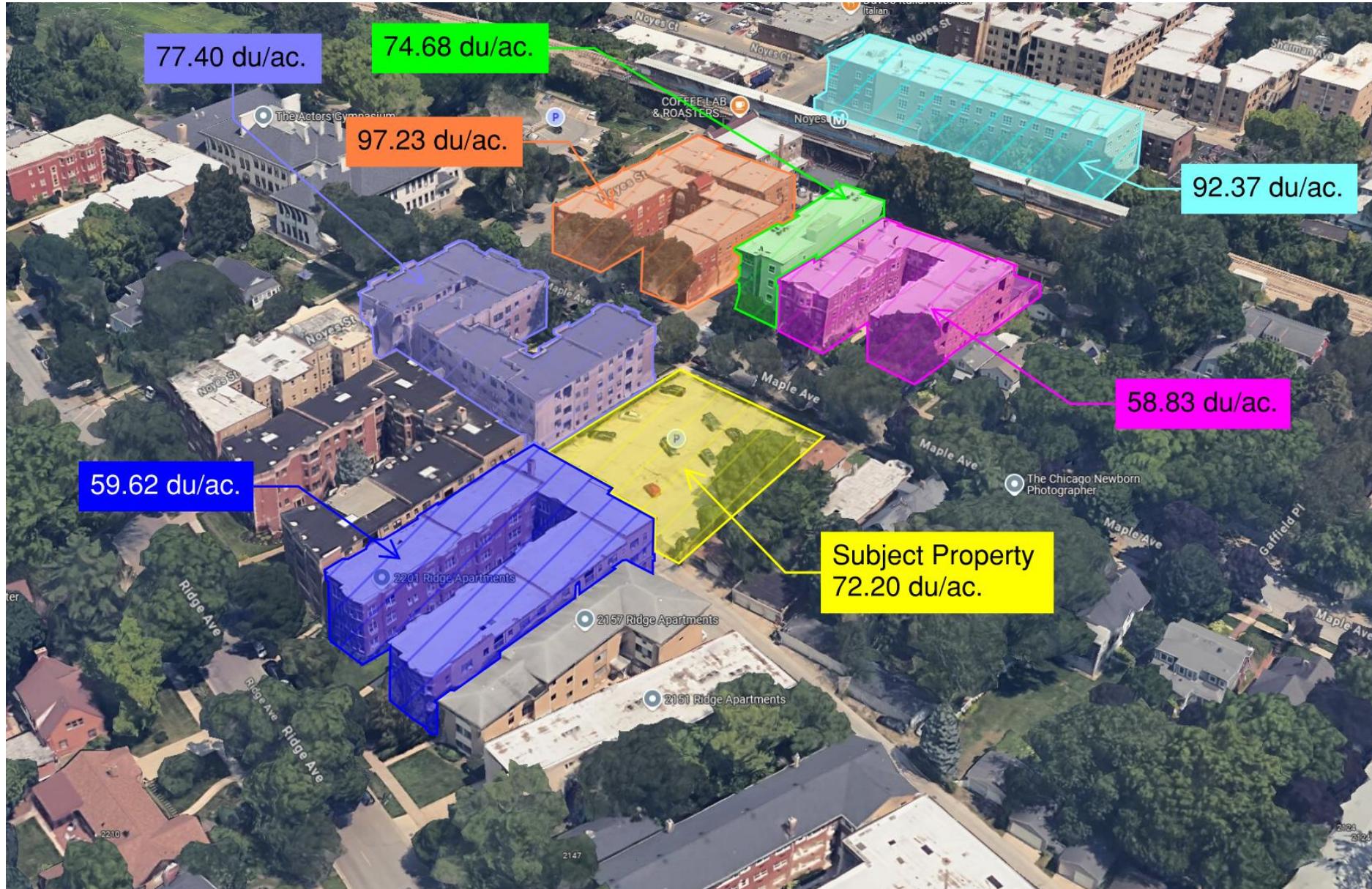
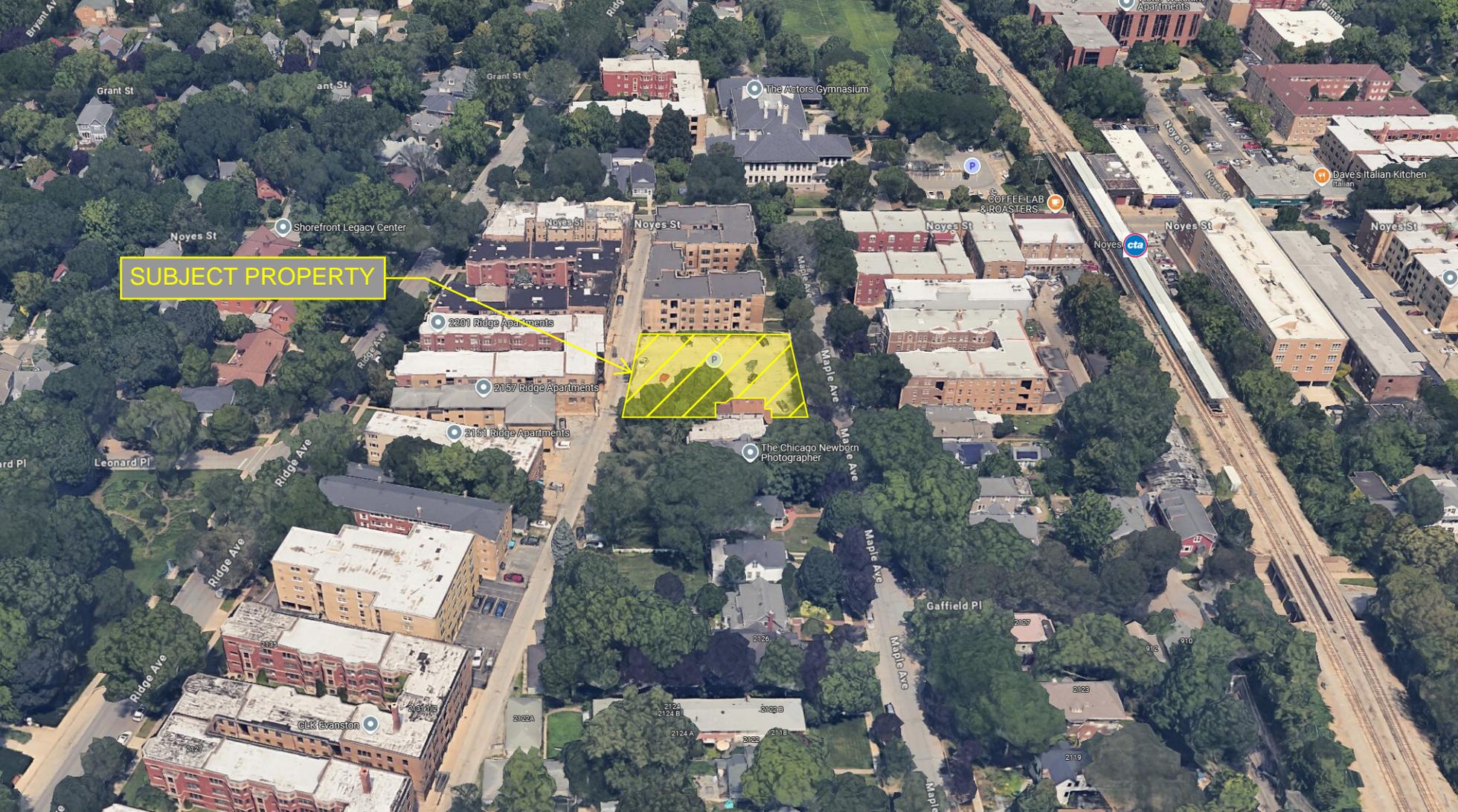


Exhibit II: Rear Yard Coverage Comparison



SUBJECT PROPERTY





SUBJECT PROPERTY

Arts Center

Noyes Ct

Noyes St



Leonard Pl

Lorraine H. Morton

Gaffield Pl



R1

OS

R1

R5

B1



R5

SUBJECT PROPERTY

R4a

R4a

OS

R4
Morton
Cultural Center

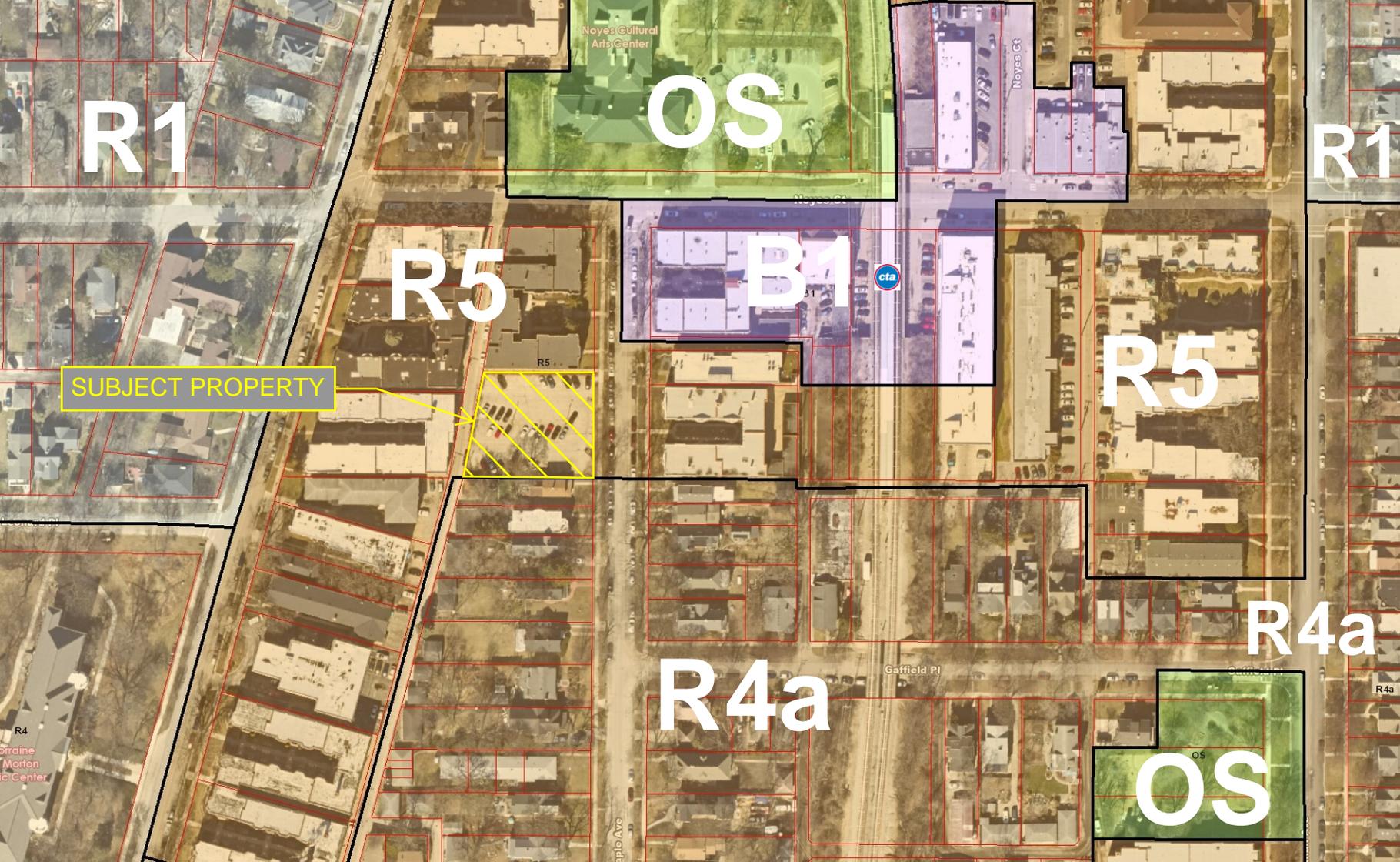
Noyes Cultural
Arts Center

Noyes Ct

Gaffield Pl

Apple Ave

R4a



Project Narrative:

2200-2206 Maple Avenue has served as a tax-exempt surface parking lot for the adjacent Garrett Theological Seminary student housing for well over 50 years, last memorialized in Ordinance 108-O-82 in 1982. In recent years, use of the parking lot diminished significantly (see Parking Study) down to an average of 6-8 vehicles per day. The property can and should better serve the Evanston community by providing housing, including affordable housing, in a Transit Oriented Development that also replaces the truly needed parking spaces.

A five-story and 61 foot tall 30-dwelling unit apartment building is proposed on the 18,106 square foot lot in place of the existing surface parking lot. The proposed building includes 18 enclosed parking spaces and two off-site parking spaces at 2211 Maple Avenue (same property ownership) for use by the proposed building tenants, as well as 11 open parking spaces to replace the need at the existing surface parking lot for use by 2215-2219 Maple/916.5 Noyes property. The first floor of the proposed building also includes a lobby, elevator, bicycle storage area, trash chutes/dumpster, and access to the loading space. Floors two through five feature a total of 30 dwelling units ranging in size from 377 square feet for a studio unit up to 1,527 square feet maximum for a 4 bedroom unit, with most units over 1,000 square feet in size. The building design includes recessed roofed balcony areas for more than three-quarters of the units and a common area rooftop deck.

Of the 30 dwelling units proposed, six units (20% of all units) are proposed as affordable units. The city's Inclusionary Housing Ordinance requires 2-3 on-site affordable units; however double the requirement is proposed both to provide a substantial public benefit to the community and to utilize the Cook County Affordable Housing Special Assessment Program for property taxes. The six affordable units proposed include 1 BR: 2 units, 2 BR: 2 units, 3 BR: 1 unit, 4 BR: 1 unit.

The overall building design and massing are similar and appropriate to the surrounding built environment. The semi-urban, modern building design complements the older, large courtyard-style buildings that exist at many of the neighboring properties while also providing a substantial amount of parking (29 on-site spaces) within a TOD property and not visible from the public way. The building complies with all required setbacks and proposes landscaping with the yards surrounding the building. The property will include on-site stormwater control and management in compliance with MWRD requirements.

To achieve the most appropriate building that realizes the highest and best use of the property with a 30 dwelling unit building with substantial on-site parking, zoning relief is requested for the number of dwelling units (density), total amount of parking spaces, and the loading berth. The zoning relief requested is largely due to antiquated zoning code requirements that do not comprehend TOD and today's societal needs. Zoning relief is requested as follows:

1. Dwelling Units (density) - A maximum of 19 dwelling units (plus IHO bonus units) are allowed at the property based on the lot size. Five additional dwelling units are requested to bring the density to 24 dwelling units. Of those 24 dwelling units, the

Inclusionary Housing Ordinance requires 10% on-site affordable units, or 2-3 units. Therefore, three of the 24 requested dwelling units are proposed as affordable to meet the IHO, and also generate six bonus market rate units (two for each required affordable unit). With the 24 units requested + six bonus units, the total number of dwelling units proposed is 30 (though zoning relief is only needed for the increase from 19 permitted to 24 requested). The additional density is needed specifically to extract additional income from the property to aid in the costs of the development as a whole and the on-site affordable units. Three additional affordable units (of the 30 total) are proposed as a substantial public benefit beyond any requirement from the city. The overall density proposed is appropriate and comparable to the density of surrounding properties with multifamily units, including the surrounding Garrett student housing properties. The density is also appropriate when considering the buildings' compliance with all bulk standards including setbacks and building height, and in consideration of Transit Oriented Development and the proximity to mass transit.

2. Parking - Parking requirements within the zoning code are outdated and do not provide realistic requirements based on parking needs, especially in areas near mass transit. Although the property is designated TOD by the city, the parking requirement remains at .55 spaces per bedroom. Realistically, less parking is needed and reliance on mass transit and other multimodal transit options should be encouraged to align with city goals and sustainability policies. Recent significant developments in Evanston, including nearly all planned developments and TOD buildings in recent years, have been approved for reduced parking down to a parking ratio typically between .1 and .4. Given the proximity of the site to mass transit, a substantially reduced parking ratio is appropriate. The parking ratio proposed in relation to the 18 enclosed on-site parking spaces and 2 off-site parking spaces for the new 30 dwelling unit building amounts to .67.

The existing surface parking lot features 49 parking spaces. The Parking Study (attached) conducted over a three month period found an average of 6-8 vehicles continue to use the lot each day (at the same monthly parking rate that was established under the prior ownership). The existing 49 spaces are noted in Ordinance 107-O-82 from 1982. Zoning Code Sections 6-16-1-1 and 6-16-1-2 state the parking requirement in effect at the time of building permit issuance is the regulation in effect. However, when applying the current Zoning Code's parking requirements to the existing structures, zoning relief is triggered for a reduction by 7 spaces for the new 30 dwelling unit building (18 on-site and 2 off-site where 27 spaces are required), and by 12 spaces for the existing 2215-2219 Maple building's use (11 at the new development where 23 are required).

3. Loading Berth - Once a necessary facility for medium/large-size apartment buildings, full truck-sized loading berths are now rarely used for move-ins and move-outs since unit sizes are typically smaller and tenants regularly use passenger vehicles or vans for moving. Recent significant developments in Evanston, including 910 Custer Avenue (230 unit building), have been approved for reduced or eliminated loading berths due to this

trend. The proposed loading berth is 9.5 feet wide by 25 feet in length where a 10 foot by 35 foot loading berth is required according to the zoning code. The proposed loading berth size is large enough to realistically be used by large vehicles and vans for move-ins and move-outs and is therefore appropriate for the building and site.

The loading berth also triggers a variation as a use that covers more than 40% of the rear yard, which is an unusual interpretation of the zoning code for flatwork, which has not been considered an issue at other properties under past city interpretations. However since the interpretation is that the loading berth triggers the issue, the variation is requested.

The new building will feature all-electric dwelling units and will comply with all city regulations including but not limited to any increased sustainability/environmental requirements such as the IL Stretch Energy Code and LEED Gold equivalent certification by means of rooftop solar panels and other renewable energy methods. The building will limit the use of natural gas and will be constructed in a manner that enables full electrification in the future to align with the Healthy Buildings Ordinance.

As a known local property owner/multifamily landlord with other buildings in the immediate area including the newer 12-unit apartment building at 2211 Maple Avenue, the building is not intended to sell after construction and will operate in good faith successfully with a variety of tenants and income levels. Overall redevelopment of the site will increase the housing stock in Evanston, add six affordable housing units, replace existing needed parking, and will provide substantial property tax revenue in comparison to the past tax-exempt status of the mostly-empty Garrett parking lot.

Variation Standards Narrative

Application Questions:

1. The requested variation will not have a substantial adverse impact on the use, enjoyment, or property values of adjoining (touching or joining at any point, line, or boundary) properties.

The proposed building is designed with sustainable measures including solar panels, and has been endorsed by Design Evanston. The building will be an improvement from the surface parking lot that currently exists, and utilized parking will be replaced, therefore the development should positively impact the use, enjoyment, and property values of adjoining properties.

2. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.

Existing zoning regulations related to density and parking/loading are outdated and unnecessary. A compliant design would feature fewer units and significantly more parking, which is not economically feasible and is unnecessary. Design Evanston specifically suggested increasing the degree of variation needed by further reducing the on-site parking (which was done and 2 spaces were eliminated to increase lobby/amenity space).

3. Either a) the purpose of the variation is not based exclusively upon a desire to extract income from the property, or b) while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Zoning Board of Appeals or the City Council, depending upon final jurisdiction under Section 6-3-8-2, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to any of the standards of Section 6-3-6-3.

The requested variations that allow for redevelopment of the property will result in additional income, therefore a substantial public benefit of 3 additional inclusionary housing units beyond the city's requirement of 10% is proposed so that 6 out of the 30 total dwelling units (20% total and including one three-bedroom and one four-bedroom unit) are on-site affordable units.

4. The alleged difficulty or hardship has not been self-created, if so, please explain.

Existing zoning regulations are outdated and do not take increased density and decreased car-dependency at TOD sites into account. The surface parking lot for the

adjacent apartment buildings that are ~100 years old and the parking requirement was enacted prior to the current property ownership.

5. Have other alternatives been considered, and if so why would they not work?
Compliant alternatives require the replacement of the 49 existing parking spaces that are largely not used, as well as parking for the new building, which would result in a building that is mostly unneeded parking with few dwelling units and is therefore not feasible.

Standards Met:

1. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties.

Agreed: The proposed building is designed with sustainable measures including solar panels, and has been endorsed by Design Evanston. The building will be an improvement from the surface parking lot that currently exists, and utilized parking will be replaced, therefore the development should positively impact the use, enjoyment, and property values of adjoining properties. The loading berth is proposed in the rear yard accessed via the alley where open parking currently exists.

2. The requested variation is in keeping with the intent of the zoning ordinance.

Agreed: The requested increased density and decreased parking/loading follow the intent of the zoning ordinance and Transit Oriented Development policies that are within the zoning ordinance and city planning documents to encourage more housing, more affordable housing, and less dependence on the automobile.

Recent city policies indicate substantially less parking should be provided on-site to further encourage the use of multimodal transportation and discourage use of the automobile within the TOD corridor and Evanston as a whole.

3. The alleged hardship or practical difficulty is peculiar to the property.

Agreed: Existing Ordinance 107-O-82 and any required parking for the adjacent properties was enacted prior to the current property ownership.

4. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.

Agreed: Compliant alternatives require the replacement of existing parking spaces that are largely not used, as well as parking for the new building, which would result in a building that is mostly unneeded parking with few dwelling units and is therefore not feasible.

5. a) The purpose of the variation is not based exclusively upon a desire to extract additional income from the property, or b) While the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Land Use Commission or the City Council, depending on final jurisdiction under Section 6-3-8-2 of this Chapter, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of Section 6-3-6-3 of this Chapter.

Agreed: The requested variations that allow for redevelopment of the property will result in additional income, therefore a substantial public benefit of 3 additional inclusionary housing units beyond the city's requirement of 10% is proposed so that 6 out of the 30 total dwelling units (20% total and including one three-bedroom and one four-bedroom unit) are on-site affordable units.

6. The alleged difficulty or hardship has not been created by any person having an interest in the property.

Agreed: Existing Ordinance 107-O-82 and any required parking for the adjacent properties was enacted prior to the current property ownership.

7. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Land Use Commission issues its decision or recommendation to the City Council regarding said variation.

Agreed: Small deviation from the variations requested would result in a building that is mostly unneeded parking with few dwelling units and is therefore not feasible.



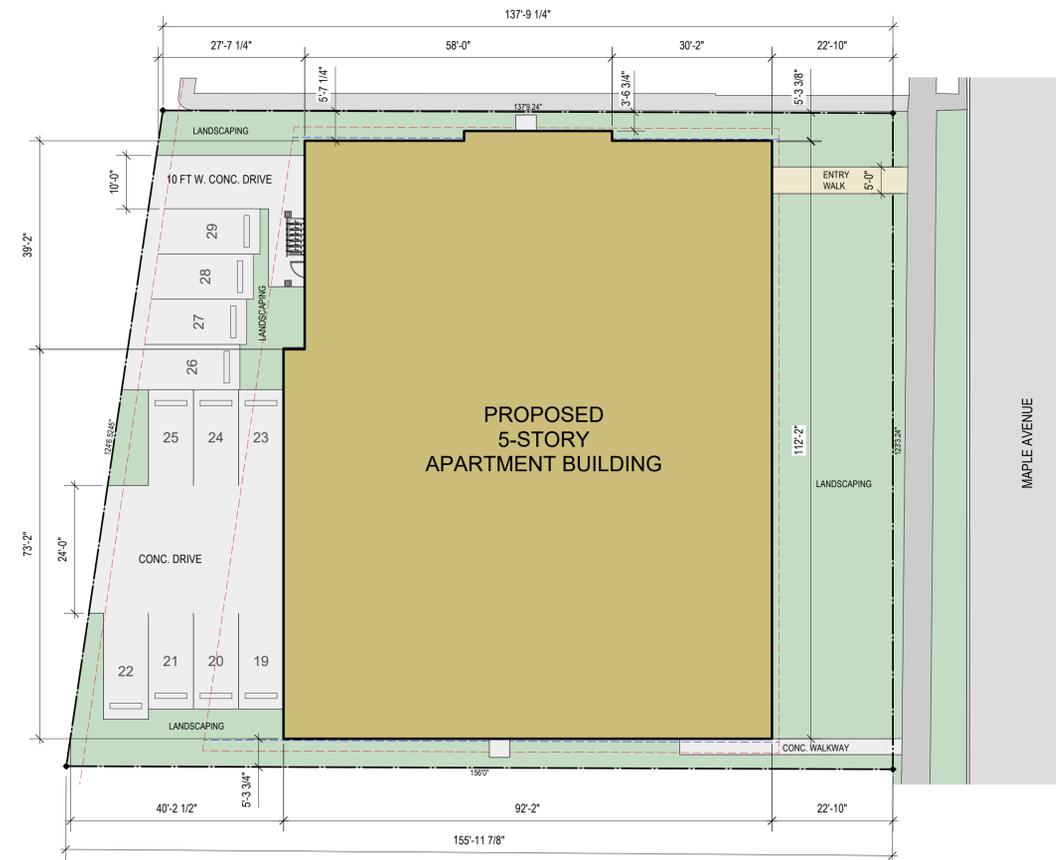
PROPOSED BUILDING STREET VIEW

PROPOSED BUILDING FLOOR AREAS		
RM / AREA Number	Area	Floor Area SF
1st FLR LOBBY	100	587.156 sq ft
1st FLR SERV SPACES	101	337.644 sq ft
COMMUNITY RM	102	281.956 sq ft
TOILET RM	103	60.642 sq ft
1st FLR BIKE RM	104	91.152 sq ft
ELEV MECH. RM	105	62.991 sq ft
1st FLR CORRIDOR	106	238.086 sq ft
1st BLDG OFFICE	107	152.566 sq ft
1st FLR GEN. RM	108	252.926 sq ft
1st FLR BIKE RM	109	186.656 sq ft
1st FLR METER RM	110	145.751 sq ft
1st FLR MECH RM	111	215.108 sq ft
1st FLR PARKING	112	7010.453 sq ft
2ND FLOOR	200	9308.544 sq ft
3RD FLOOR	300	9308.544 sq ft
4TH FLOOR	400	9308.544 sq ft
5TH FLOOR	500	9308.544 sq ft
TOTAL AREA		46857.262

PROPOSED APARTMENT BUILDING

2206 MAPLE AVENUE EVANSTON IL 60201

DRAWINGS LIST	
A 1	COVER SHEET
A 1.01	EXTERIOR VIEWS
A 1.03	AREAS DIAGRAMS & CALCS
A 2.1	GROUND FLOOR PLAN
A 2.2	2nd FLOOR PLAN
A 2.3	3, 4 & 5TH FLOOR PLANS
A 2.4	ROOF/PENTHOUSE PLAN
A 3.1	EXTERIOR ELEVATIONS
A 4.1	EAST ELEVATION
A 4.2	WEST ELEVATION
A 5.1	BUILDING SECTIONS
A 5.2	PARTIAL SECTIONS /ELEVATIONS



1 PROPOSED SITE PLAN
Scale: 1/16" = 1'-0"

CONTRACT NO. 2024-0008-ARCHITECTS
THESE PLANS AND DRAWINGS ARE PREPARED BY THE ARCHITECT UNDER THE CLOSEST SUPERVISION AND TO THE BEST OF HIS KNOWLEDGE CONFORM TO THE APPLICABLE LOCAL BUILDING CODE AND REGULATIONS.
THE ARCHITECT DOES NOT WARRANT THAT THE PLANS AND DRAWINGS WILL BE CONFORMANT WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS.
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PROPOSED APARTMENT BUILDING
2206 MAPLE AVE
EVANSTON, ILLINOIS

COVER SHEET

No.	DATE	ISSUE / NOTE
3	1.6.2025	ZONING REVIEW REPLY
4	2.2.2025	FIRST FLOOR PLAN REVISIONS
5	3.4.2025	PRO REVIEW REPLY

No.	DATE	REVISION / NOTE
-----	------	-----------------

PRELIMINARY
NOT FOR
CONSTRUCTION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE APPLICABLE LOCAL BUILDING CODE AND REGULATIONS.
GREGORY GEZLICH ARCHITECTS
ILLINOIS LICENSE NO. 001-055001 - ARCHITECT - EXPIRES 11/30/2026
OCG ARCHITECTS REG. NO. 04000114-0001, EXP. 04/30/2025



PROPOSED BUILDING STREET VIEW



PROPOSED BUILDING STREET VIEW



PROPOSED BUILDING REAR VIEW



PROPOSED BUILDING REAR VIEW



CONTRACT: 2024-10-0001-ARCHITECTS

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SCALE: EXTERIOR ELEVATIONS: AS SHOWN
SECTION: AS SHOWN
FOUNDATION: AS SHOWN
MECHANICAL: AS SHOWN
ELECTRICAL: AS SHOWN
PLUMBING: AS SHOWN
HVAC: AS SHOWN
ROOFING: AS SHOWN
LANDSCAPE: AS SHOWN
PAVING: AS SHOWN
SITEWORK: AS SHOWN
GENERAL CONTRACTOR: AS SHOWN
GENERAL CONTRACTOR: AS SHOWN
GENERAL CONTRACTOR: AS SHOWN

PROPOSED APARTMENT BUILDING
2206 MAPLE AVE
EVANSTON, ILLINOIS

EXTERIOR VIEWS

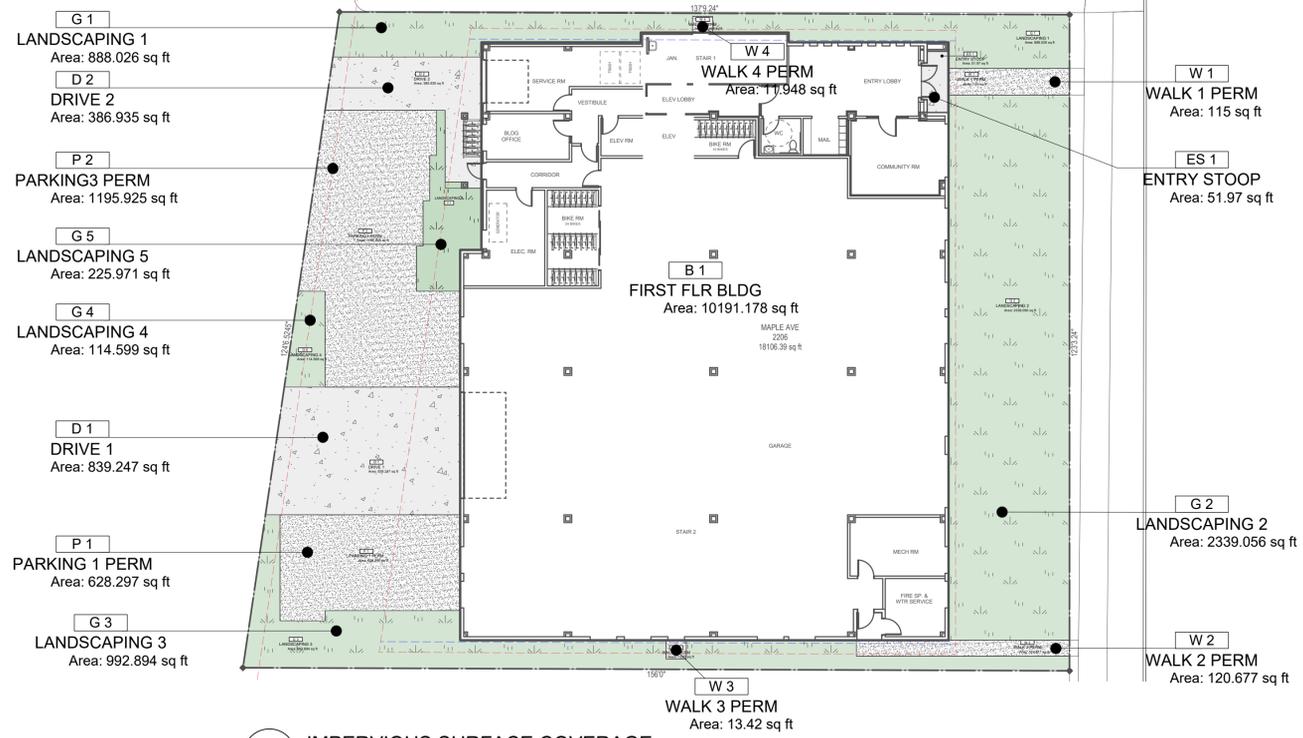
No.	DATE	ISSUE / NOTE
3	16.02.2025	ZONING REVIEW REPLY
4	27.02.2025	FIRST FLOOR PLAN REVISIONS
5	04.03.2025	PRO REVIEW REPLY

No.	DATE	REVISION / NOTE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO BEST OF MY KNOWLEDGE CONFORM TO THE PERTINENT LOCAL BUILDING CODE AND REGULATIONS.

GREGORY GEZLICH, ARCHITECT
ILLINOIS LICENSE NO. 001-055001 - VICTORY EXP. 11/30/2026
OC&G ARCHITECTS REG. NO. 04000114-0001, EXP. 04/30/2025



2 IMPERVIOUS SURFACE COVERAGE
Scale: 1/16" = 1'-0"

PROPOSED BUILDING COVERAGE AREA

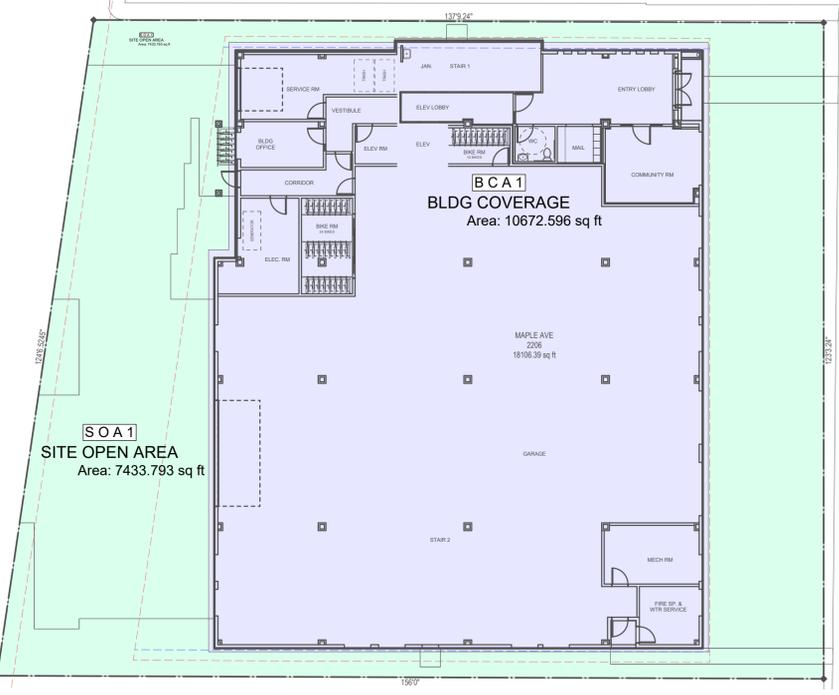
	Number	Area SF
BLDG COVERAGE	B C A 1	10672.596 sq ft
SITE OPEN AREA	S O A 1	7433.793 sq ft
TOTAL AREA		18106.389

PROPOSED IMPERVIOUS SITE AREAS

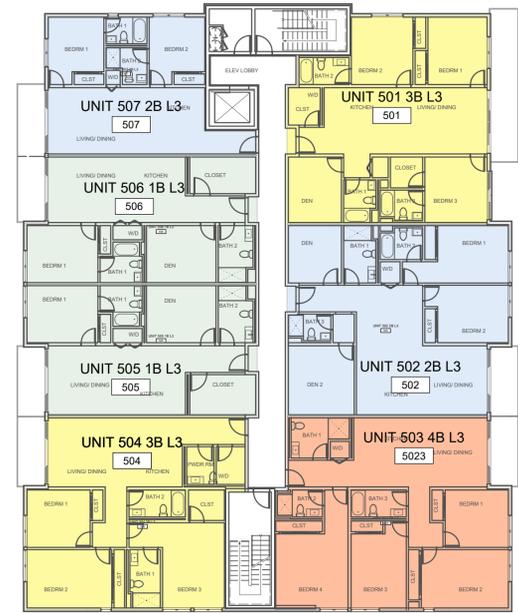
	Number	Area SF
DRIVE 1	D 1	839.247 sq ft
DRIVE 2	D 2	386.935 sq ft
ENTRY STOOP	ES 1	51.97 sq ft
FIRST FLR BLDG	B 1	10191.178 sq ft
PARKING 1 PERM	P 1	628.297 sq ft
PARKING3 PERM	P 2	1195.925 sq ft
WALK 1 PERM	W 1	115 sq ft
WALK 2 PERM	W 2	120.677 sq ft
WALK 3 PERM	W 3	13.42 sq ft
WALK 4 PERM	W 4	11.948 sq ft
TOTAL AREA		13554.599

PROPOSED PERVIOUS SITE AREAS

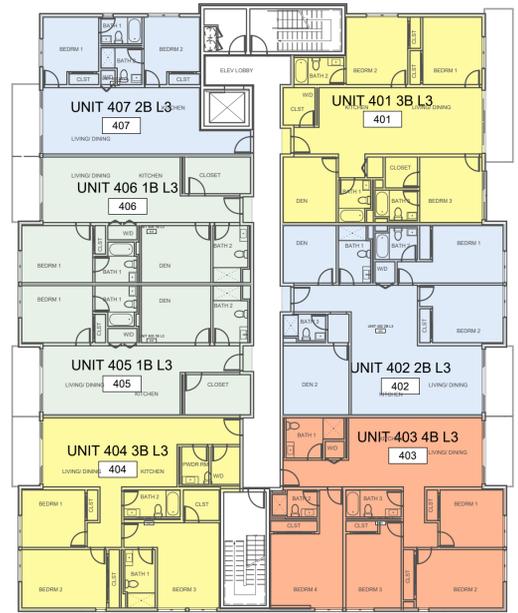
	Number	Area SF
LANDSCAPING 1	G 1	888.026 sq ft
LANDSCAPING 2	G 2	2339.056 sq ft
LANDSCAPING 3	G 3	992.894 sq ft
LANDSCAPING 4	G 4	114.599 sq ft
LANDSCAPING 5	G 5	225.971 sq ft
TOTAL AREA		4560.545



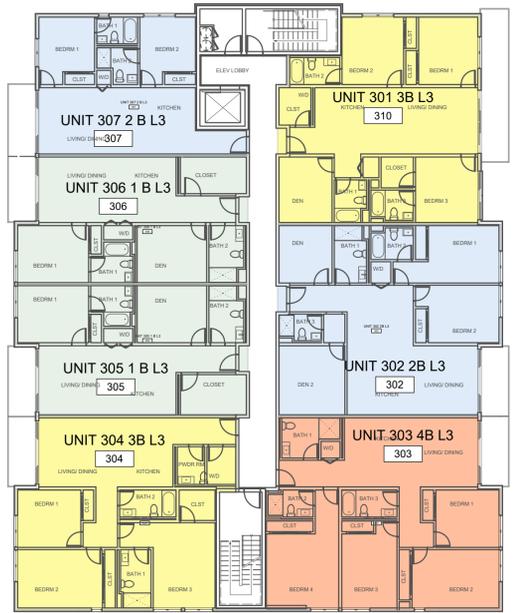
1 BUILDING LOT COVERAGE
Scale: 1/16" = 1'-0"



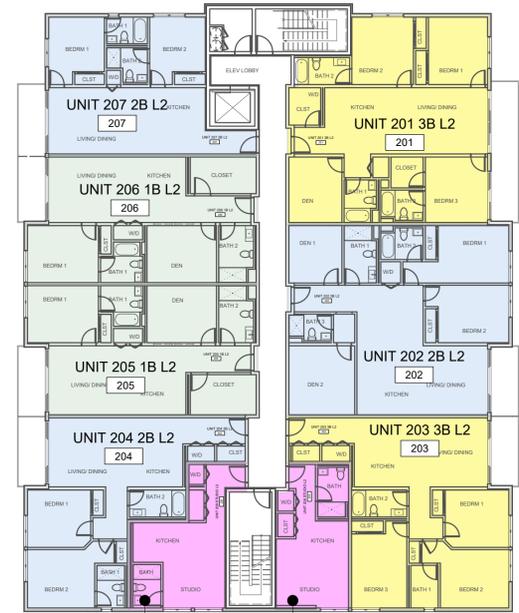
6 5TH FLR UNITS AREAS
Scale: 1/16" = 1'-0"



5 4TH FLR UNITS AREAS
Scale: 1/16" = 1'-0"



4 3RD FLR UNITS AREAS
Scale: 1/16" = 1'-0"



3 2ND FLR UNITS AREAS
Scale: 1/16" = 1'-0"

PROPOSED BALCONY FLOOR AREAS

Room Number	Floor Area SF
BL2 1	135.626 sq ft
BL2 2	135.626 sq ft
BL2 3	136.5 sq ft
BL2 4	138.249 sq ft
BL3 1	135.626 sq ft
BL3 2	136.5 sq ft
BL3 3	136.499 sq ft
BL3 4	138.249 sq ft
BL4 1	135.626 sq ft
BL4 2	136.5 sq ft
BL4 3	136.499 sq ft
BL4 4	204.772 sq ft
BL5 1	136.048 sq ft
BL5 2	136.478 sq ft
BL5 3	136.499 sq ft
BL5 4	146.789 sq ft
TOTAL AREA	2262.958

PROPOSED UNITS FLOOR AREAS

Unit	Area SF
UNIT 201 3B L2	1394.551 sq ft
UNIT 202 2B L2	1467.154 sq ft
UNIT 203 3B L2	1149.966 sq ft
UNIT 204 2B L2	868.876 sq ft
UNIT 205 1B L2	1033.257 sq ft
UNIT 206 1B L2	1007.128 sq ft
UNIT 207 2B L2	839.42 sq ft
UNIT 208 STUDIO L2	377.08 sq ft
UNIT 209 STUDIO L2	406.42 sq ft
UNIT 301 3B L3	1394.551 sq ft
UNIT 302 2B L3	1467.154 sq ft
UNIT 303 4B L3	1522.465 sq ft
UNIT 304 3B L3	1375.621 sq ft
UNIT 305 1 B L3	1033.257 sq ft
UNIT 306 1 B L3	1007.128 sq ft
UNIT 307 2 B L3	839.42 sq ft
UNIT 401 3B L3	1394.551 sq ft
UNIT 402 2B L3	1467.154 sq ft
UNIT 403 4B L3	1522.465 sq ft
UNIT 404 3B L3	1375.621 sq ft
UNIT 405 1B L3	1033.257 sq ft
UNIT 406 1B L3	1007.128 sq ft
UNIT 407 2B L3	839.42 sq ft
UNIT 501 3B L3	1394.551 sq ft
UNIT 502 2B L3	1467.117 sq ft
UNIT 503 4B L3	1527.143 sq ft
UNIT 504 3B L3	1375.458 sq ft
UNIT 505 1B L3	1033.257 sq ft
UNIT 506 1B L3	1007.128 sq ft
UNIT 507 2B L3	839.42 sq ft
TOTAL AREA	34570.683

COMMON ZONE ARCHITECTS

THEY HAVE AN UNLAWFUL AND UNAUTHORIZED USE OF THE ARCHITECTS NAME AND LOGO IN THIS DOCUMENT. ANY SUCH USE IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

SCALE DOCUMENT DRAWINGS: SET

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AREAS DIAGRAMS & CALCS

No.	DATE	ISSUE / NOTE
3	1/6/2025	ZONING REVIEW REPLY
4	2/20/2025	FIRST FLOOR PLAN REVISIONS
5	3/4/2025	PRO REVIEW REPLY

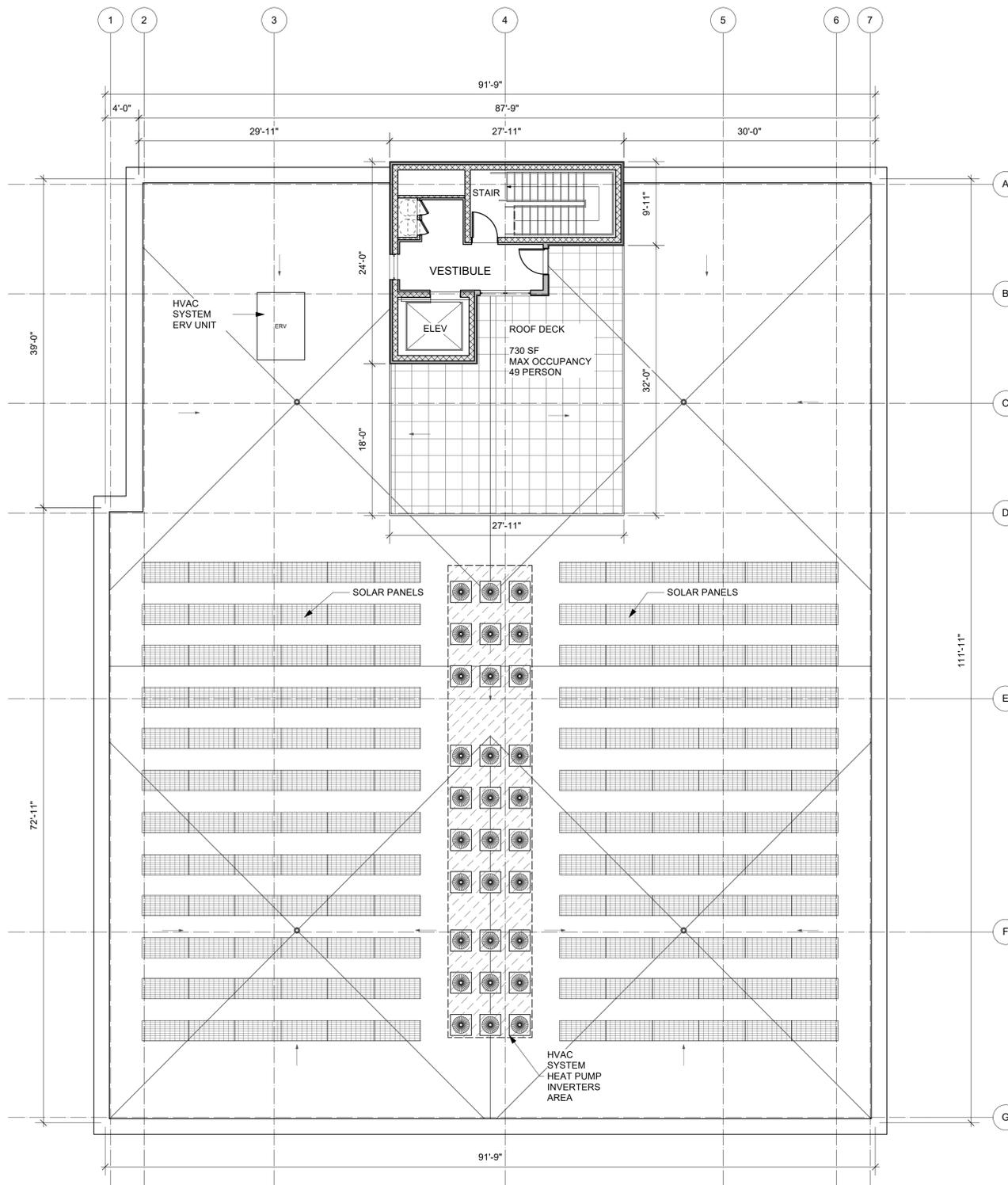
No.	DATE	REVISION / NOTE
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PRELIMINARY NOT FOR CONSTRUCTION

GREGORY GESZLICK ARCHITECTS

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO BEST OF MY KNOWLEDGE CONFORM TO THE PERTINENT LOCAL BUILDING CODE AND REGULATIONS.

GREGORY GESZLICK, ARCHITECT
ILLINOIS LICENSE NO. 001-055001, EXPIRES 11/30/2026
OCGG ARCHITECTS REG. NO. 04000014-0001, EXP. 04/30/2025



2 ROOF PLAN
Scale: 1/8" = 1'-0"

COMMERCIAL - LOCAL ARCHITECTS
THEY PLAN AND DRAWING. ALL PROVIDED HAVE THE CONTRACT LANS OF THE INTEREST AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE CONTRACT AND THE ARCHITECT'S NEGLIGENCE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE CONTRACT AND THE ARCHITECT'S NEGLIGENCE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE CONTRACT AND THE ARCHITECT'S NEGLIGENCE.

SCALE DOCUMENT DRAWINGS: SET
DRAWING NO. 24-10
DATE: 04/20/2025
PROJECT: 2206 MAPLE AVE
EVANSTON, ILLINOIS

PROPOSED APARTMENT BUILDING
2206 MAPLE AVE
EVANSTON, ILLINOIS

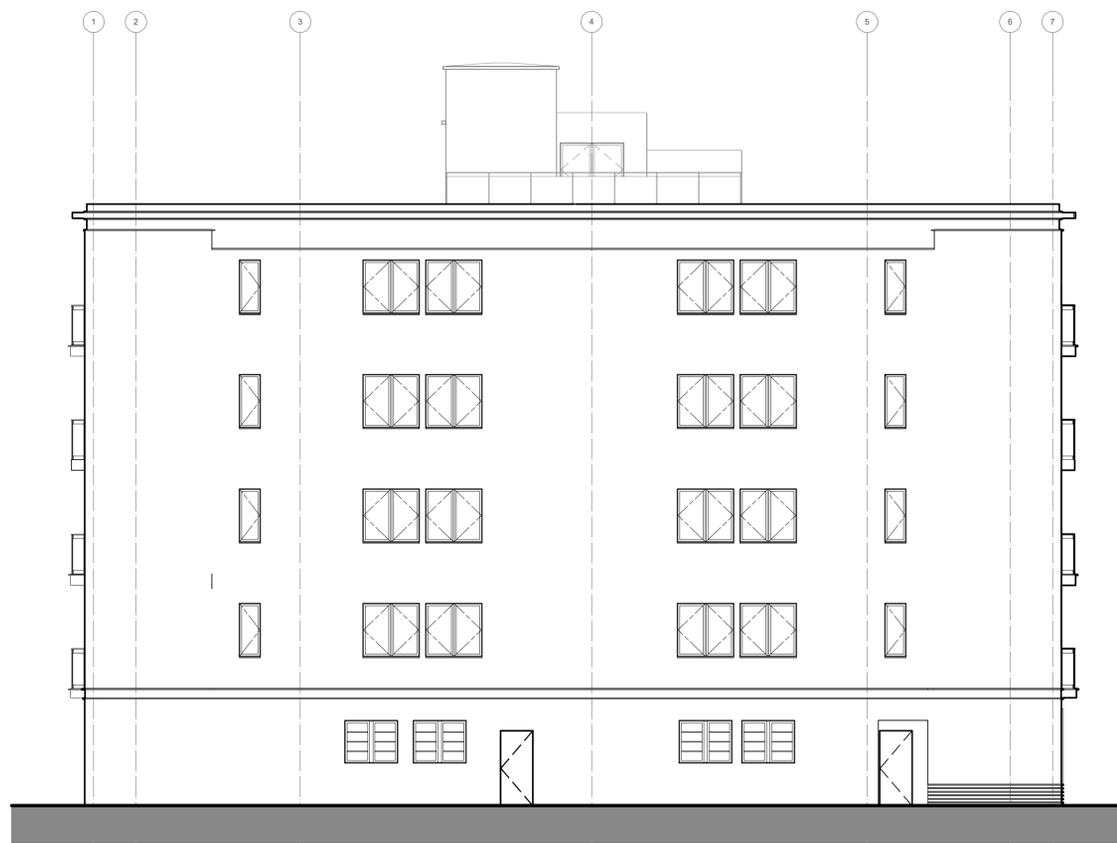
ROOF/PENTHOUSE PLAN

No.	DATE	ISSUE / NOTE
3	1.6.2025	ZONING REVIEW REPLY
4	2.2.2025	FIRST FLOOR PLAN REVISIONS
5	3.4.2025	PRO REVIEW REPLY

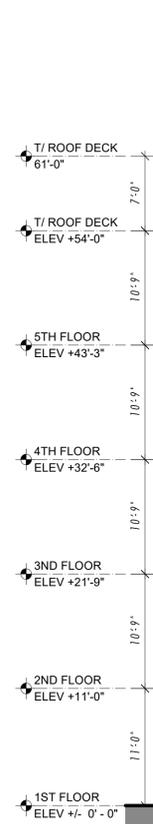
No.	DATE	REVISION / NOTE

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OCGG ARCHITECTS REG. NO. 04000014-0001, EXP. 04/30/2025



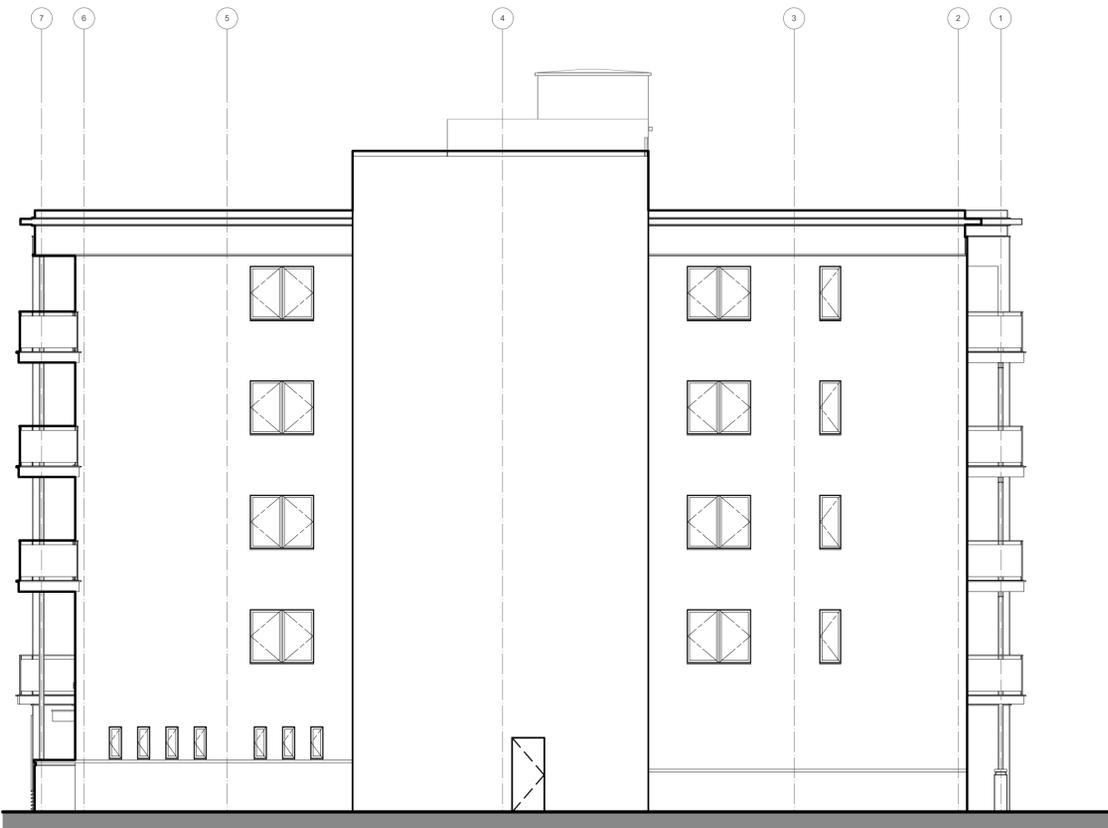
3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



1 EAST ELEVATION
Scale: 1/8" = 1'-0"



2 WEST ELEVATION
Scale: 1/8" = 1'-0"



4 NORTH ELEVATION
Scale: 1/8" = 1'-0"

COMMON LOCAL CODES ARCHITECTS
THESE PLANS AND DRAWINGS ARE PREPARED UNDER THE CLOSEST SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE PERTINENT LOCAL BUILDING CODE AND REGULATIONS.
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PROPOSED APARTMENT BUILDING
2206 MAPLE AVE
EVANSTON, ILLINOIS

EXTERIOR ELEVATIONS

No.	DATE	ISSUE / NOTE
3	1/6/2025	ZONING REVIEW REPLY
4	2/2/2025	FIRST FLOOR PLAN REVISIONS
5	3/4/2025	PRO REVIEW REPLY

No.	DATE	REVISION / NOTE
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No.	DATE	REVISION / NOTE
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PRELIMINARY
NOT FOR
CONSTRUCTION

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ILLINOIS LICENSE NO. 061-055001 - LICENSE EXP. 11/30/2026
OCG ARCHITECTS REG. NO. 04000114-0001, EXP. 04/30/2025



- T/1 ROOF DECK
+61'-0"
- T/1 ROOF DECK
+54'-0"
- T/1 5TH FLR DECK
+43'-3"
- T/1 4TH FLR DECK
+32'-0"
- T/1 3RD FLR DECK
+21'-0"
- T/1 2ND FLR DECK
+11'-0"
- T/1 1ST FLR SLAB
0"

1 PROPOSED WEST ELEVATION
Scale: 3/16" = 1'-0"

CONTRACT: 2024_0008_ARCHITECTS
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PROPOSED APARTMENT BUILDING
2206 MAPLE AVE
EVANSTON, ILLINOIS

ELEVATION WEST

No.	DATE	ISSUE / NOTE
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4	2/2/2025	FIRST FLOOR PLAN REVISIONS
5	3/4/2025	PRO REVIEW REPLY

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GREGORY GREGG ARCHITECTS
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Drawn By: _____ Sheet No.: **A 4.2**
Project ID: 24-10
3/8/25

CONTRACT: 2024_0008_ARCHITECTS
THEY HAVE AND WILL BE PROVIDED WITH THE CONTRACT DOCUMENTS OF THE PROJECT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. THE ARCHITECTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. THE ARCHITECTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. THE ARCHITECTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.

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PROPOSED APARTMENT BUILDING
2206 MAPLE AVE
EVANSTON, ILLINOIS

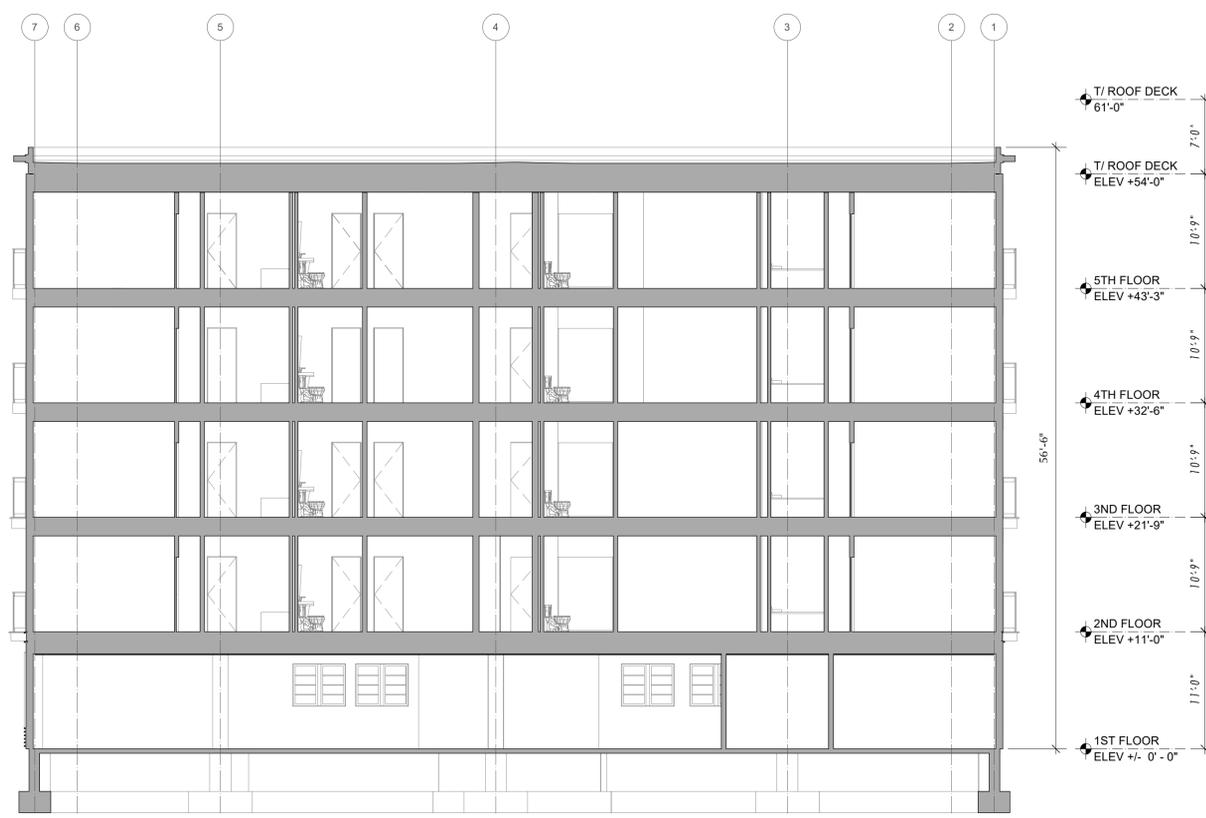
BUILDING SECTIONS

No.	DATE	ISSUE / NOTE
3	1.6.2025	ZONING REVIEW REPLY
4	2.2.2025	FIRST FLOOR PLAN REVISIONS
5	3.4.2025	PRO REVIEW REPLY

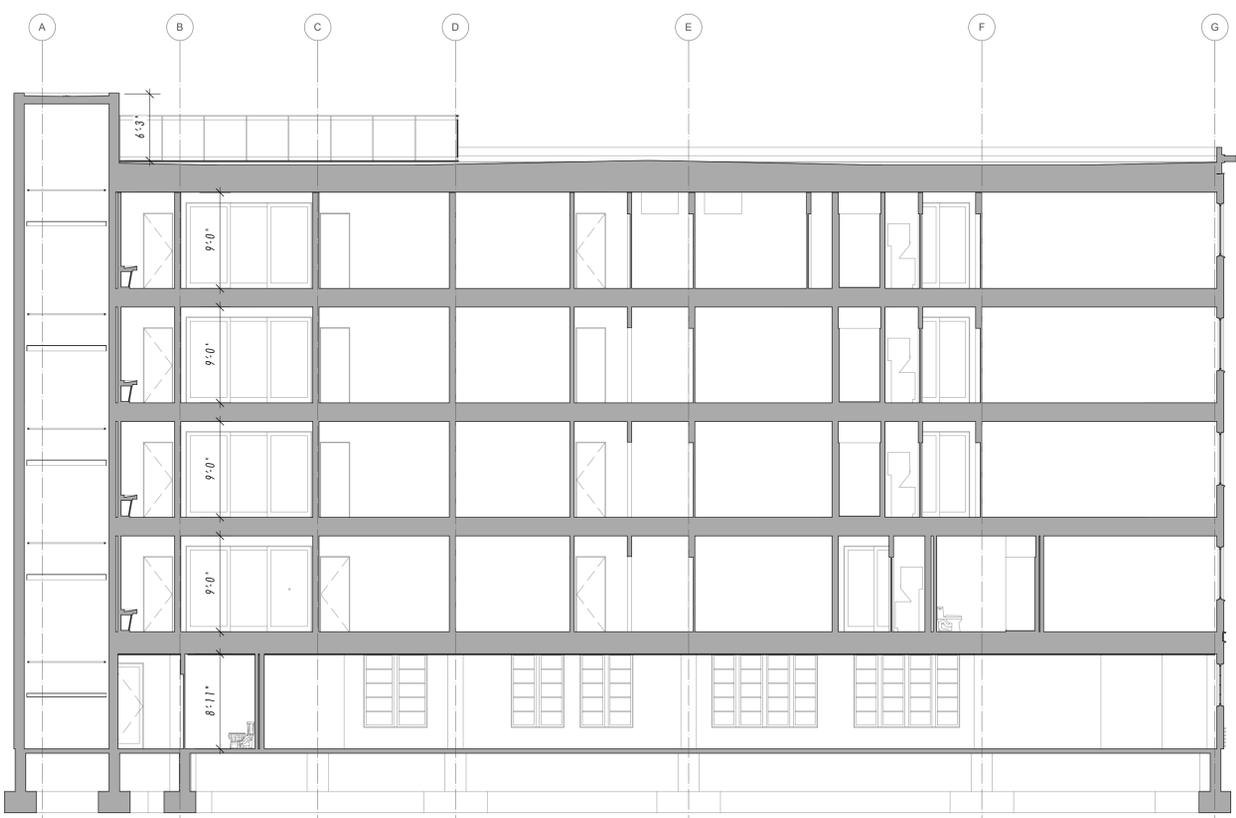
No.	DATE	REVISION / NOTE

PRELIMINARY NOT FOR CONSTRUCTION

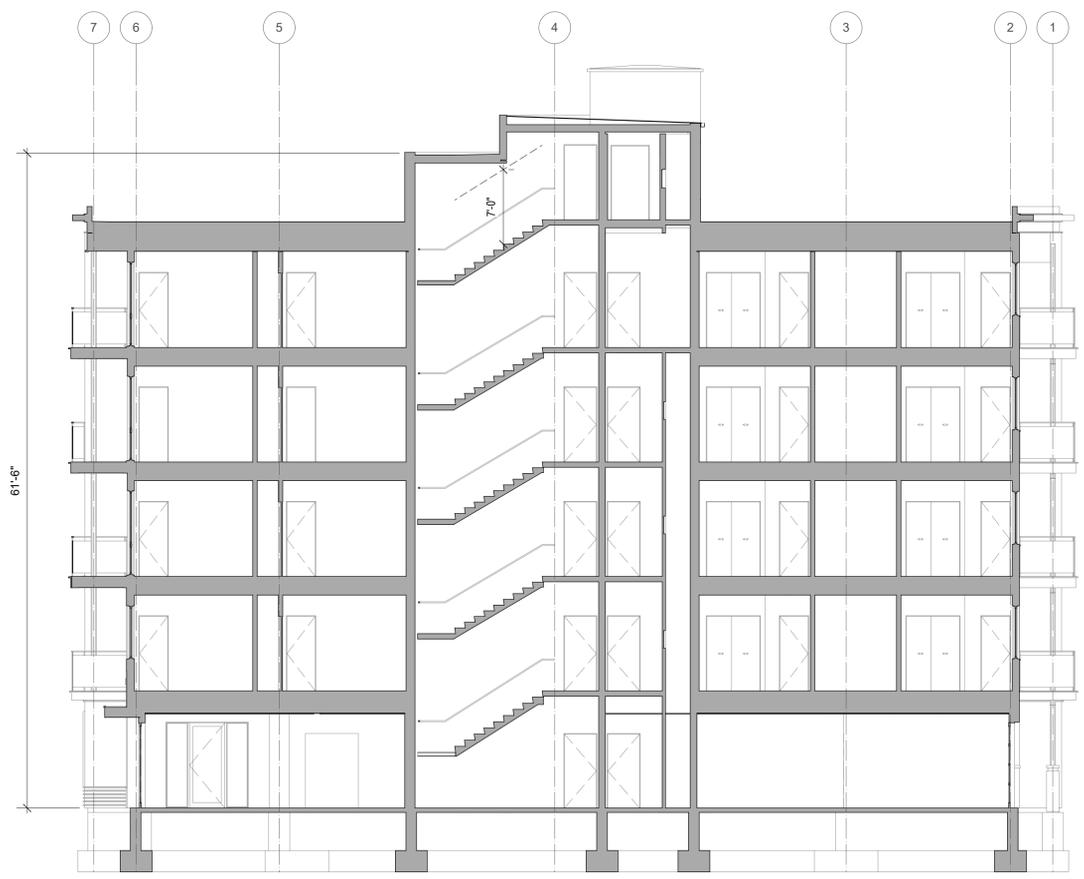
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO BEST OF MY KNOWLEDGE CONFORM TO THE PERTINENT LOCAL BUILDING CODE AND REGULATIONS. GREGORY GEZLICH ARCHITECTS, REGISTERED ARCHITECTS, ILLINOIS LICENSE NO. 001-0552601. EXPIRES: 11/30/2026. OCG ARCHITECTS REG. NO. 04000014-0001, EXP. 04/30/2025.



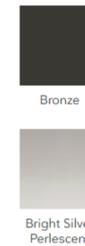
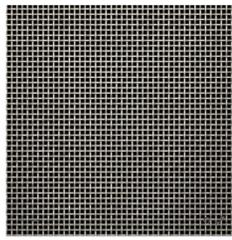
2 BUILDING SECTION
Scale: 1/8" = 1'-0"



1 BUILDING SECTION
Scale: 1/8" = 1'-0"



3 BUILDING SECTION
Scale: 1/8" = 1'-0"



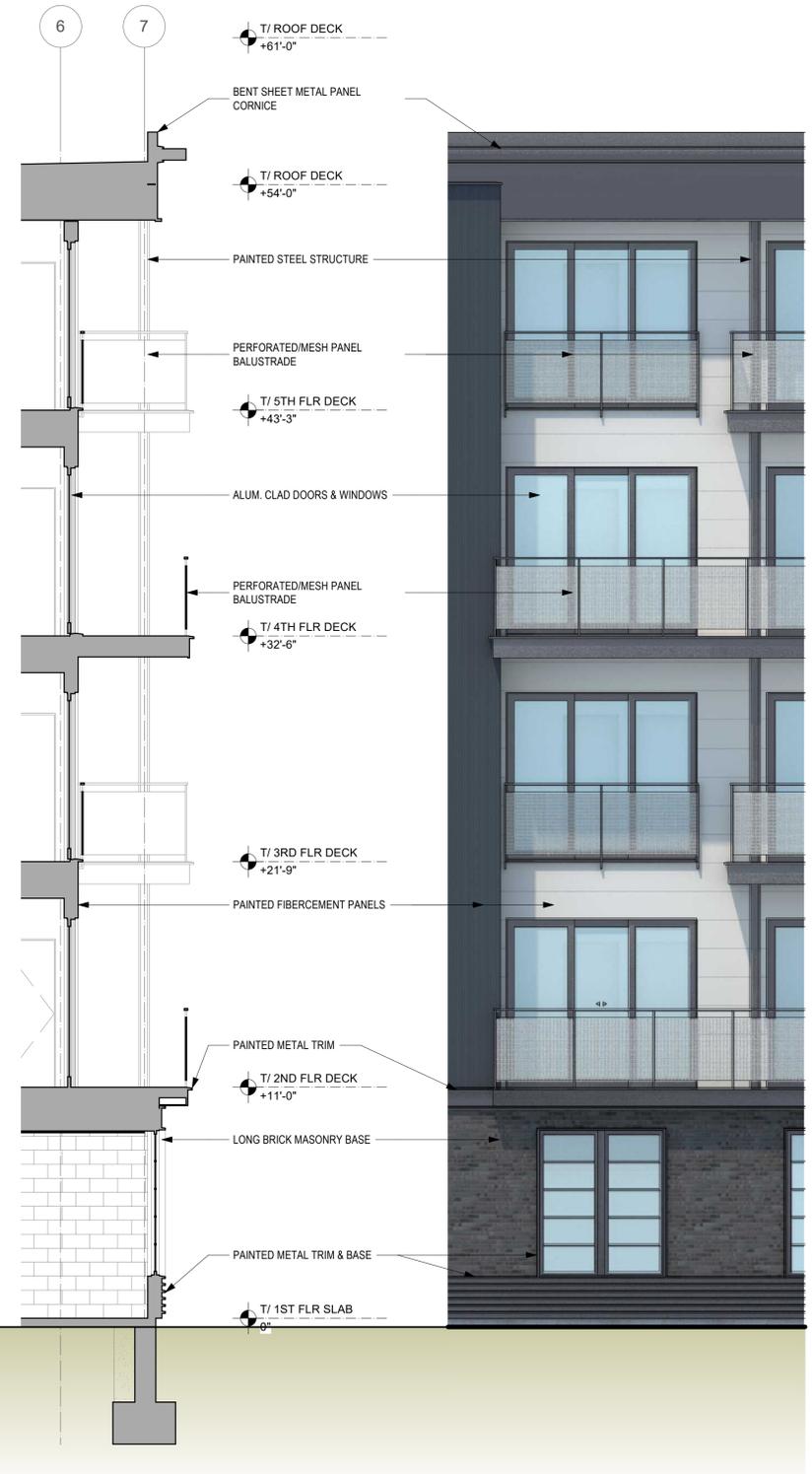
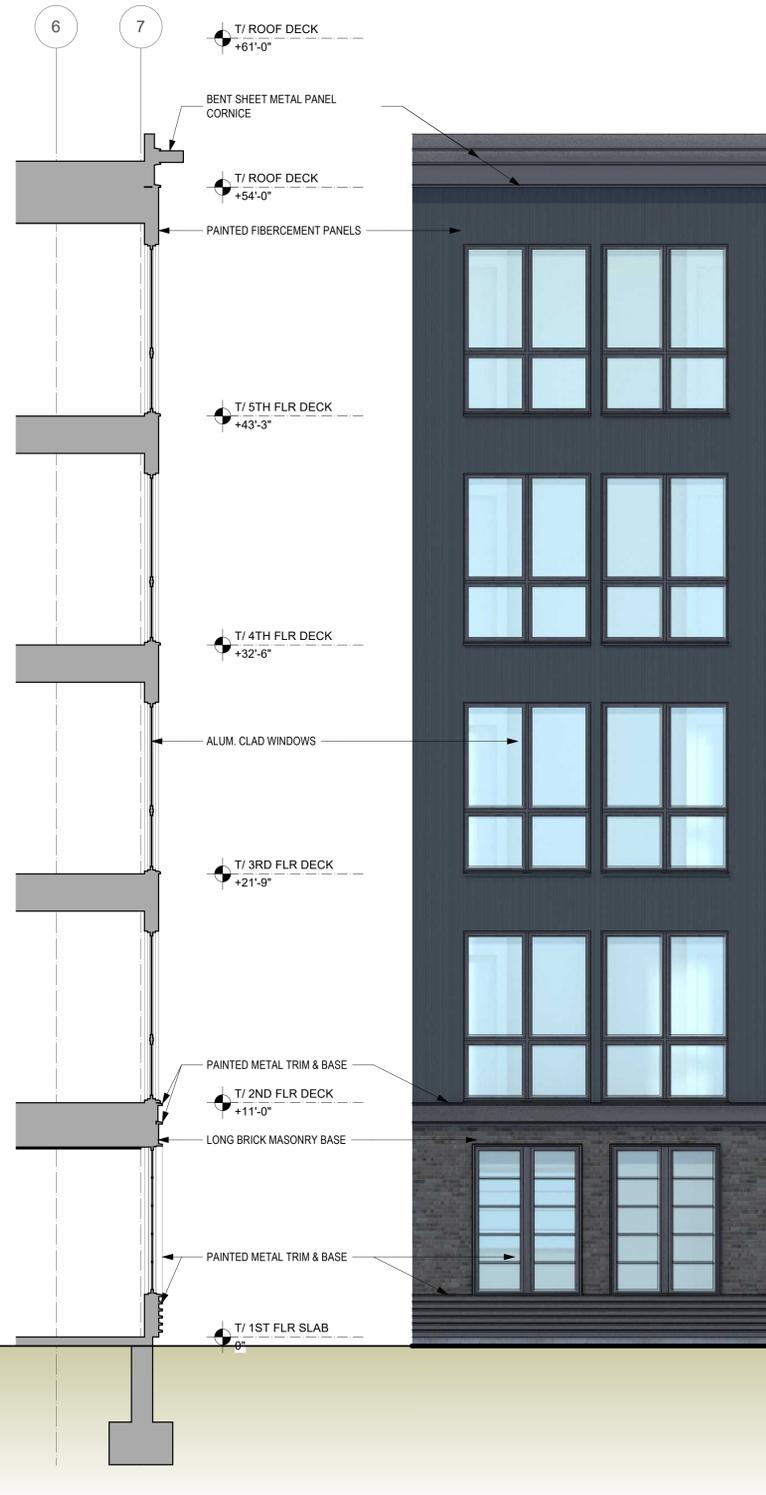
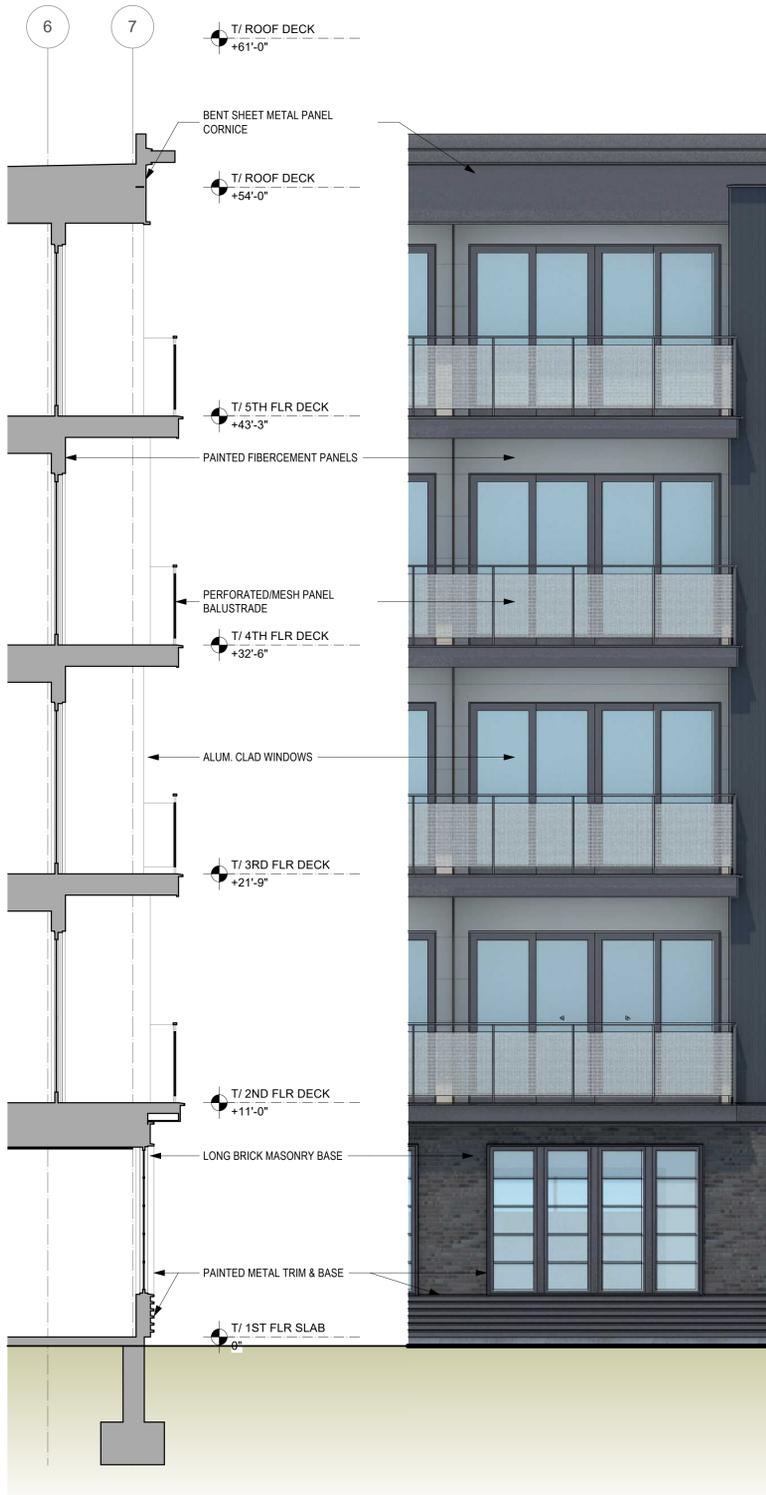
BALCONY RAILING PANELS :
PERFORATED METAL PANEL WITH OUTER FRAME

FIBER CEMENT SIDING PANELS :
SWISS PEARL PATINA ROUGH NXT OR EQ.
THROUGH COLOURED FIBER CEMENT PANEL

FIBER CEMENT VERTICAL ACCENT PANELS:
SWISSPEARL GRAVIAL OR EQ. NATURALLY DRIED FIBER CEMENT PANEL
WITH A LINEAR MILLED SURFACE STRUCTURE AND TRANSLUCENT COATING

METAL PANEL, TRIM &
WINDOWS FRAME CLADDING:
BRONZE, GRAY AND SILVER

MASONRY BASE:
BELDEN BRICK - CARBON BLACK VELOUR



6 WALL SEC @ BALCONIES
Scale: 1/4" = 1'-0"

5 PARTIAL ELEVATION
Scale: 1/4" = 1'-0"

4 TYPICAL WALL SECTION
Scale: 1/4" = 1'-0"

3 PARTIAL ELEVATION
Scale: 1/4" = 1'-0"

2 WALL SEC @ BALCONIES
Scale: 1/4" = 1'-0"

1 PARTIAL ELEVATION
Scale: 1/4" = 1'-0"

No.	DATE	ISSUE / NOTE
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No.	DATE	REVISION / NOTE

BENCHMARK INFO
 SITE BENCHMARK IS CUT CROSS ON THE EAST TOP OF CURB, NEAR THE NORTH PROPERTY LINE EXTENDED, ELEV 14.527, TRANSFERRED FROM EVANSTON BENCHMARK #47, ELEV 9.79 EVANSTON DATUM.

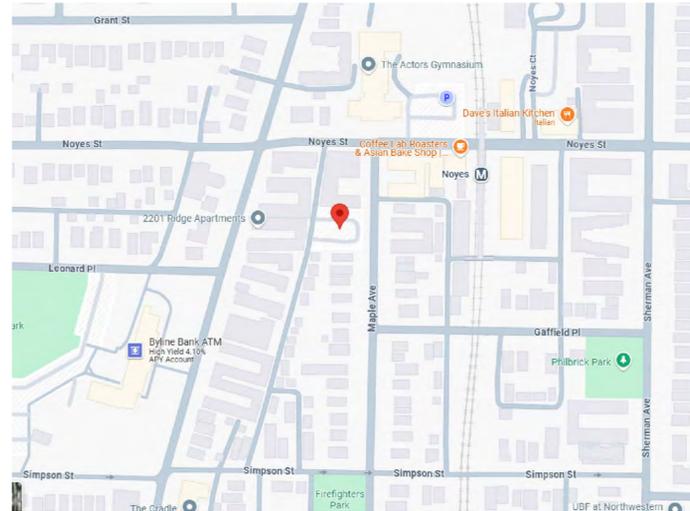
MULTI-FAMILY RESIDENCE PRELIMINARY- SITE DEVELOPMENT PLAN 2206 MAPLE AVE., EVANSTON, COOK COUNTY, IL

**SECTION: 19
 TOWNSHIP: 41N
 RANGE: 14E**

PIN: 11-07-119-019

DATE	ISSUE	PROJECT STAFF	REVISIONS
10-17-2024	1	PROJECT MANAGER: W. HEBURN/PL	REVISIONS TO ADDRESS CITY COMMENTS
09-24-2024	2	ENGINEER: BONO CONSULTING, INC.	
		TECHNICAL:	

SITE LOCATION MAP



AERIAL MAP



DRAWING INDEX:

- TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
- EXISTING TOPOGRAPHY, DEMOLITION, EROSION & SEDIMENTATION CONTROL PLAN –OVERALL SITE
- PROPOSED GRADING & DRAINAGE PLAN & UTILITY PLAN– OVERALL SITE

PROJECT NARRATIVE

GENERAL: PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING IS PROPOSED ON A 0.416 AC. LOT WITH INTERIOR AND EXTERIOR PARKING LOT.

AREA SUMMARY:
 TOTAL CONTIGUOUS AREA OF SITE: 0.416 ACRES
 PROJECT LOT AREA: 0.416 ACRES
 DEVELOPED/DISTURBED AREA OF SITE: 0.416 ACRES

SPECIAL PROTECTION AREAS: NO FLOODPLAIN WITHIN 100' OF SITE. THERE ARE NO WETLANDS WITHIN 100' OF SITE.

UPSTREAM TRIBUTARY: THERE IS NO UPSTREAM TRIBUTARY AREA OF FOR THE SITE.

COMBINED/SEPARATE SEWER AREA INFO: PROPOSED PROJECT IS LOCATED IN A COMBINED SEWER AREA.

DETENTION/VOLUME CONTROL FACILITY: DETENTION (SITE AREA<3AC.) IS NOT REQUIREMENT PER MWRD, AND DETENTION IS REQUIRED BY PER LOCAL REQUIREMENTS. VOLUME CONTROL (SITE AREA<0.5AC.) IS NOT REQUIRED PER MWRD REGULATIONS.

SANITARY SEWERS: ONE 6" SANITARY SERVICE FROM THE BUILDING IS PROPOSED TO CONNECT TO A NEW SANITARY MANHOLE ON THE SITE. FROM THE MANHOLE A 6" SANITARY SERVICE IS PROPOSED TO CONNECT TO THE SANITARY MAIN WITHIN MAPLE AVE R.O.W.

SOILS/INFILTRATION RATE: UNKNOWN

GROUNDWATER ELEVATION: N/A

NOTE

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Bono Consulting, Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

*Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:
 J.U.L.I.E. 1 (800) 892-0123*

RELIEF SEWER ROUTE MAP

SEWERS BETWEEN SITE AND MWRD INTERCEPTOR OR WATERWAY ARE OWNED AND MAINTAINED BY CITY OF EVANSTON

- I HEREBY CERTIFY THAT THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY WITH RESPECT TO STORMWATER DRAINAGE, AND THAT A SAFE OVERFLOW ROUTE HAS BEEN ESTABLISHED.
- I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PROPOSED IMPROVEMENT IS NOT LOCATED IN FLOOD PROTECTION AREAS BASED ON THE INFORMATION FROM THE FEMA MAPS.

Benard A. Bono
 ENGINEER



3.4.25

DATE

COMBINED SEWER ROUTE MAP
 SEWERS BETWEEN SITE AND MWRD INTERCEPTOR ARE OWNED AND MAINTAINED BY CITY OF EVANSTON

	LEGEND:	
	EXISTING	PROPOSED
PROPERTY LINE	---	---
SANITARY SEWER LINE	—>—>	—>—>
WATER LINE	—v—v	—v—v
STORM SEWER LINE	—>	—>
STORM MANHOLE	○	●
SANITARY MANHOLE	○	■
COMBINED SEWER	—>—>	—>—>
COMBINED MANHOLE	○	■
CATCH BASIN	○	●
INLET	○	■
WATER VALVE VAULT	○	⊗
WATER VALVE	○	⊗
GRADE	---	---
DRAINAGE DIVIDE	---	---
CURB & GUTTER	---	---
CLEANOUT	○	○
DOWNSPOUT (ROOF DRAINS)	○	○
WATER B. BOX	○	○
TREE PROTECTION FENCE	—o—o—	—o—o—
CONSTRUCTION FENCE	—o—o—	—o—o—
INLET FILTER BASKET	○	○
TRAFFIC DIRECTION PAVEMENT MARKING	→	→
FIRE HYDRANT	⊗	⊗
RETAINING WALL W/RAILING	---	---
TOP OF CURB	TIC XXX.XX	TIC XXX.XX
BOTTOM OF CURB	B/C XXX.XX	B/C XXX.XX
TOP OF CURB	TIC XXX.XX	TIC XXX.XX
BOTTOM OF GUTTER	B/G XXX.XX	B/G XXX.XX
WALK	W XXX.XX	W XXX.XX
BOTTOM OF WALK	B/W XXX.XX	B/W XXX.XX
DESRESSED CURB	D/C XXX.XX	D/C XXX.XX
BOTTOM OF GUTTER	B/G XXX.XX	B/G XXX.XX
MOUNTABLE CURB	M/C XXX.XX	M/C XXX.XX
	B/C XXX.XX	B/C XXX.XX

TITLE SHEET, LEGEND, SITE LOCATION MAP, & AERIAL MAP
 MULTI FAMILY RESIDENCE
 2206 MAPLE AVE., EVANSTON, ILLINOIS

PROJECT NUMBER:	21489
START DATE:	JAN. 5, 2022
GRAPHIC SCALE:	0
SCALE:	NTS
SHEET NUMBER:	1 OF 3

BEST MANAGEMENT PRACTICES SEQUENCE

NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ANY OFF-SITE AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

- PHASE - I
1. INSTALL TREE PROTECTION FENCING AND EROSION CONTROL SILT FENCE, INLET FILTER BASKETS, MAINTAIN THROUGHOUT PROJECT.
 2. USE ALLEY FOR CONSTRUCTION ACCESS. USE DRIVEWAY FOR CONSTRUCTION. INSTALL STABILIZED CONSTRUCTION ENTRANCE. OBSERVE ALL APPROPRIATE MUD/COD/BOOT TRAFFIC CONTROL MEASURES FOR CONSTRUCTION TRAFFIC ENTERING HIGHWAY. CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADS FREE OF MUD AND DEBRIS.
 3. PROTECT TREES THAT ARE SHOWN TO BE PROTECTED.
 4. DEMOLISH SITE ACCORDING TO DEMOLITION PLAN.
 5. CLEAR AND REMOVE BRUSH AND TREES.
 6. CONSTRUCT DETENTION FACILITY WITHIN 30 DAYS OF TREE REMOVAL/BRUSH CLEARING.
 7. NOT USED.

HALT ALL ACTIVITIES AND CONTACT THE VILLAGE TO PERFORM INSPECTION AND CERTIFICATION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORMWATER PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER, AGENCIES(ES) AND GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

ALL EXCEPTIONS NOTED ON THE BMP CERTIFICATION FORM MUST BE ADDED TO THE FIRST DAILY REPORT AS A DEFICIENCY OR DEFICIENCIES AND RESOLVED WITHIN 24-HOURS. BMP'S CAN NOT BE CERTIFIED IF ANY EXCEPTION REQUIRES GREATER THAN 24-HOURS TO RESOLVE.

DAILY INSPECTIONS AND REPORTING USING THE SWPPP MANAGEMENT TOOL MUST START THE DAY OF OR IMMEDIATELY AFTER BMP CERTIFICATION.

8. CONSTRUCT AND STABILIZE SEDIMENT BASIN(S) AND SEDIMENT TRAP(S) WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL BASINS AND TRAPS).
9. INSTALL AND STABILIZE HYDRAULIC CONTROL STRUCTURES (DIKES, SWALES, CHECK DAMS, ETC.).
10. BEGON CLEARING AND GRUBBING THE SITE.
11. BEGON GRADING THE SITE.

- PHASE II
1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE. IF ACTIVITY WILL RESUME WITHIN 14 DAYS, TEMPORARY SEEDING IS NOT REQUIRED.
 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND OUTLETS.
 3. INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
 4. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 5. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 6. PREPARE SITE FOR PAVING.
 7. PAVE SITE.
 8. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 9. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 10. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT, MARKED "READY TO TERMINATE PERMIT", IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED VIA THE SWPPP MANAGEMENT TOOL.
 12. STABILIZE SITE AND INSTALL ALL FENCES CONCURRENTLY.

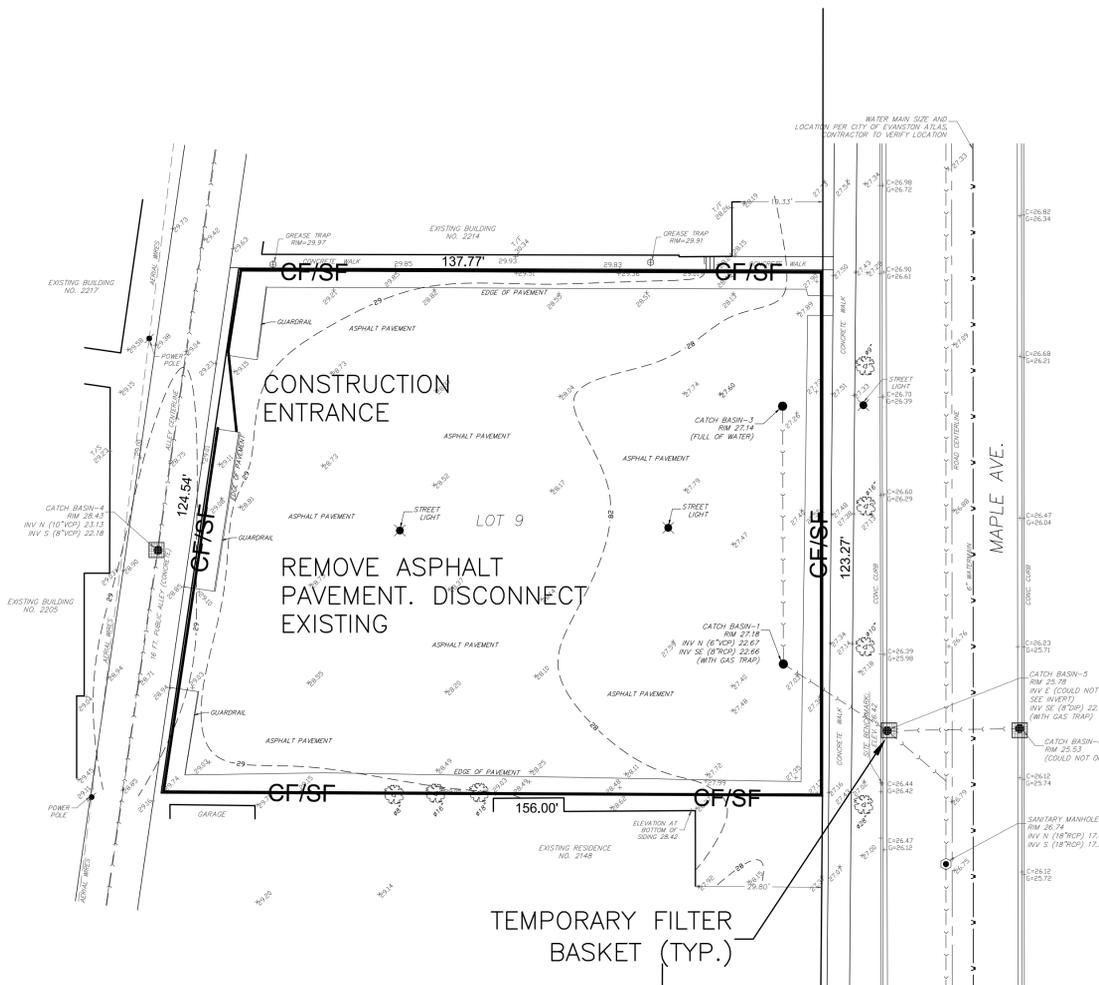
NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMP'S HAVE BEEN COMPLETELY INSTALLED.

EARTHWORK / EROSION & SEDIMENTATION CONTROL

- 1) All construction activities that involve earthwork shall meet the National Pollutant Discharge Elimination System Phase II requirements:
 - a) **Submit a Notice of Intent (NOI) to EPA.**
 - b) Possession of a completed and signed Stormwater Pollution Prevention Plan (SWPPP) and a graphic Erosion and Sediment Control (ESC) plan.
 - c) Implementation of the SWPPP.
 - d) Submission of an Incidence of Noncompliance (ION) if an event occurs.
 - e) Weekly reports after 1/2" rainfall or 5" snowfall.
 - f) Documentation of changes to ESC plan.
- 2) **Submit a Notice of Termination (NOT) when final stabilization is achieved.**
- 3) Any wetland mitigation shall begin prior to any grading work and shall be in accordance with the approved mitigation permit plan and requirements.
 - 1) In order to protect and ensure against flooding, all top of foundations shall be set a minimum of one (1) foot above the high water level of adjacent stormwater management facilities such as retention/detention ponds.
 - 2) The contractor shall maintain existing positive drainage from off-site at all times during construction.
 - 3) Within the limits of proposed grading the soil shall be compacted to not less than the following percentages of modified proctor dry density in accordance with ASTM D 1557-78:
 - a) Under structures. Buildings slabs, steps and pavements. Compact six (6") inch maximum lifts of subgrade. Backfill or fill material at 95% modified proctor dry density.
 - b) Under walkways. Compact six (6") inch maximum lifts of dry subgrade, backfill, or fill material at 95% modified proctor dry density.
 - c) Under lawn or unpaved areas. Compact six (6") inch maximum lifts of subgrade, backfill, or fill material at 85% modified proctor dry density.
- 4) All erosion control work shall comply with "Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control."
- 5) Stripping of vegetation, grading or other soil disturbance, especially in designated wetland areas, shall be done in a manner which will minimize soil erosion, and shall be in accordance with the approved drawings, mitigation and permit requirements.
- 6) The contractor shall take precautionary measures to minimize earthwork in areas where trees are to be saved as shown on the plans or determined in the field.
- 7) The extent of the area which is exposed and free of vegetation and the duration of its exposure shall be kept within practical limits as directed by the Village Engineer.
- 8) Sedimentation shall be retained on site. Sediment fence shall be installed along the perimeter of all graded areas or as required to prevent sediment from entering and/or leaving the site.
- 9) Dust produced from the site shall be kept to a minimum during dry periods by spraying water as required to the Village Engineer's satisfaction and is to be considered incidental.
- 10) All mud shall be removed from all tires before leaving the site and the roads shall be kept clean and clear of mud and debris at all times.
- 11) Culverts and drainage ditches shall be kept clean and clear of obstructions during the construction period.
- 12) Silt fences shall be inspected frequently and maintained or replaced as required to maintain both their effectiveness and integrity. The underside of bales shall be kept in close contact with the earth below at all times to prevent water from washing beneath them.
- 13) Water courses and drainage swales adjacent to construction activities shall be monitored as necessary, for evidence of silt intrusion and other adverse environmental impacts. Any problems or deficiencies shall be corrected immediately upon their discovery.
- 14) Sod all unpaved areas of parkways, right-of-ways and front yards to rear wall of the building. Any and all other site seeding may be used, in some instance particularly for the back yard, only with prior approval by the Village Engineer.
- 15) The contractor shall install all erosion control items prior to commencement of any work.
- 16) The contractor shall install temporary orange fence around all trees to remain and wetland areas to be mitigated.

DEMOLITION NOTES

1. Install temporary tree protection fencing prior to any demolition work.
2. Install temporary 6' high chain link fence around the proposed work area as shown on the drawing.
3. Contractor to call utility at 1-800-892-0123, minimum of 48 hours prior to initiating any excavation or demolition.
4. Contractor shall verify the exact elevation and location of all existing utilities and appurtenances prior to construction, to avoid interferences.
5. Appropriate precautions shall be taken to avoid damage to and to protect existing utilities and appurtenances in the vicinity of work. Contractor shall be responsible for the protection of all underground or overhead utilities even though they may not be shown on the plans, any utility that is damaged during construction shall be repaired to the satisfaction of the Village and the owner, or replaced.
6. Any open excavations, or potentially dangerous areas shall be fenced or guarded in an acceptable manner at the end of each day for the protection of the contractor's employees and general public safety.
7. **Bono Consulting Inc is not liable for any construction site safety.** Contractor to take all OSHA regulated and applicable local safety precautions to guard all potentially hazardous sites/work.
8. Contractor is responsible for keeping roads free of excessive debris at all times.
9. Any soil, mud or debris that is washed, tracked, or deposited onto the street shall be removed before the end of each day.
10. Topographic survey by Bono Consulting Inc.
11. All excavation shall be tapered, or, shored and maintained pumped dry.
12. Do not create dust or other nuisance to neighboring properties during construction.
13. "No trespassing" signs shall be mounted on the fencing in conspicuous locations until construction is completed and approved.
14. Gate in the perimeter fence shall be adequately hinged to prevent entry, except to allow ingress and egress to and from site, such gate must be locked at all times, other than permitted hours of construction.



SEEDING INFORMATION

CONTRACTOR TO SEED ALL DISTURBED AREA.

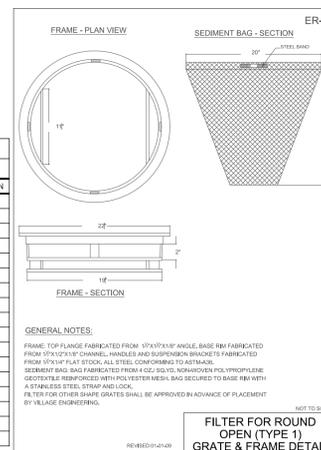
TURF GRASS SEED MIX:

FURNISH AND APPLY SUNNY TURF GRASS SEED MIX (TIMOTHY-33.3% / ORCHARDGRASS-33.3% / KENTUCKY BLUEGRASS-33.3%, SEEDING RATE=70 LBS./ACRE AND COMMON OATS=30 LBS./ACRE FOR A TOTAL 100 LBS./ACRE. OVERSEED WITH 10 LBS./ACRE ANNUAL RYE. SEEDING MUST COMMENCE WITHIN 1 WEEK OF THE COMPLETION OF FINAL GRADING.

Species	lbs./Acre	Seeding Dates												
		Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	
Oats	90													
Cereal Rye	90													
Winter Wheat	90													
Winter Mulch	25													

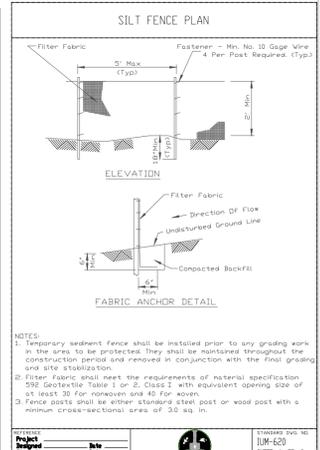
CONSTRUCTION SEQUENCE	SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE											
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASINS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING/SEED/FINAL STABILIZATION												

- 1) CONTRACTOR SHALL UPDATE THE TABLE BY DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
- 2) TIME SCHEDULE MUST CONCLUDE WITH SEQUENCE OF CONSTRUCTION.



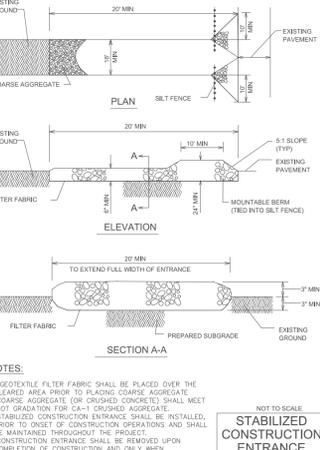
GENERAL NOTES:

1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
2. Filter fabric shall meet the requirements of material specifications: 592 Geotextile Table 1 or 2, Class 1 with equivalent opening size of at least 30 for retention and 40 for removal.
3. Fence posts shall be either stainless steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.



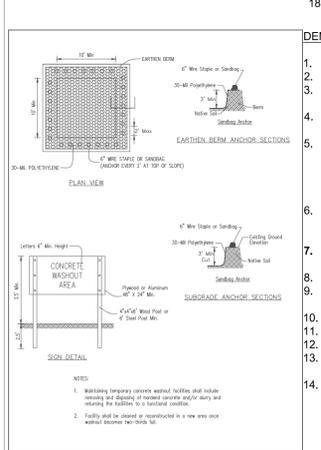
NOTES:

1. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO PLACING COARSE AGGREGATE.
2. COARSE AGGREGATE (OR CRUSHED CONCRETE) SHALL MEET 50% GRADATION FOR CA-1 CRUSHED AGGREGATE.
3. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ONSET OF CONSTRUCTION OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
4. CONSTRUCTION ENTRANCE SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN DIRECTED BY VILLAGE ENGINEERING.



NOTES:

1. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO PLACING COARSE AGGREGATE.
2. COARSE AGGREGATE (OR CRUSHED CONCRETE) SHALL MEET 50% GRADATION FOR CA-1 CRUSHED AGGREGATE.
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4. CONSTRUCTION ENTRANCE SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN DIRECTED BY VILLAGE ENGINEERING.



NOTES:

1. Washout temporary concrete washout facility shall include retaining and disposal of material source and/or slurry and washing the facility to a finished condition.
2. Facility shall be located or constructed in a new area once washed concrete has dried.

BCI BONO CONSULTING, INC.
CIVIL ENGINEERS

1018 BUSSE HIGHWAY PH : (847) 823-3300
PARK RIDGE, IL 60068 FAX : (847) 823-3303
bbono@bonoconsulting.com

EXISTING TOPOGRAPHY, DEMOLITION, EROSION AND SEDIMENTATION CONTROL PLAN - OVERALL SITE MULTI FAMILY RESIDENCE 2206 MAPLE AVE., EVANSTON, ILLINOIS

DATE: 03-12-2024
ISSUE: 1
PROJECT STAFF: PROJECT MANAGER: W. HERRIN, CIVIL ENGINEER; ENGINEER: B. HERRIN, CIVIL ENGINEER; TECHNICIAN: B. HERRIN, CIVIL ENGINEER

REVISIONS: 1. REVISION: CHANGE TO ADDRESS CITY COMMENTS; 2. REVISION: CHANGE TO ADDRESS CITY COMMENTS

PROJECT NUMBER: 21489
START DATE: JAN. 5, 2022
GRAPHIC SCALE: 30 0 30
SCALE: 1"=30'-0"
SHEET NUMBER: 2 OF 3

COPYRIGHT: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ENGINEER.

MWRD (MOD RATIONAL METHOD) - PER LOCAL REQUIREMENTS
BULLETIN 75 RAINFALL-2021, 100 YEAR STORM

Project: 2206 Maple Ave., Evanston, IL
Date: 12.17.24
Detention for Property Proposed Conditions

Proposed Conditions	Runoff Coefficient	Area (Sq Ft)	Area (Acres)	Percentage
Impervious (Bldgs/pavement)	0.90	11496	0.264	56.9%
Permeable Pavers	0.70	2083	0.048	10.3%
Proposed Grass & Landscaping	0.30	6637	0.152	32.8%

Composite Characteristics: **0.68** **0.464** **100.0%**

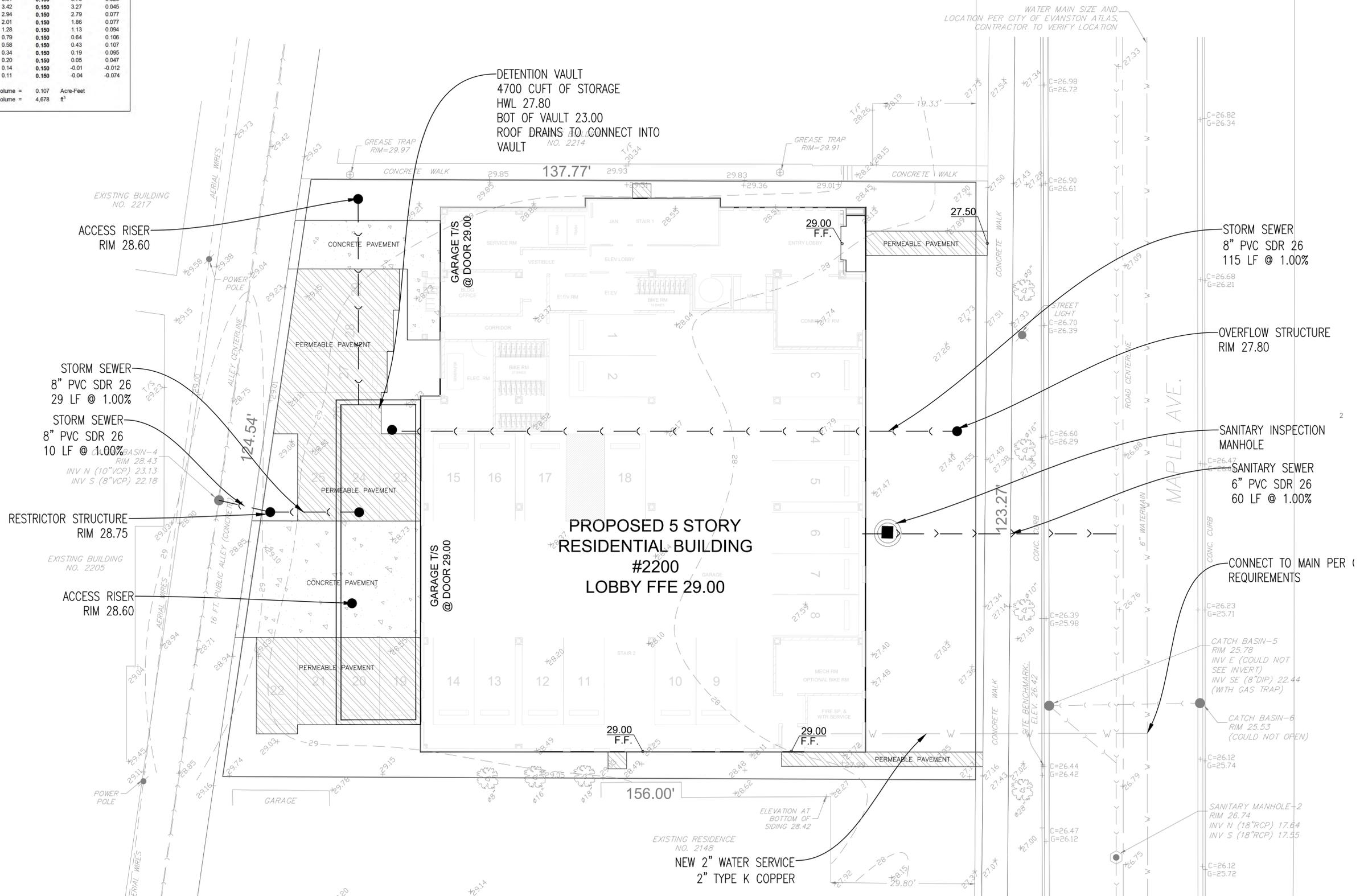
Release Rate = 0.150 C=0.15x A (0.15 cfs is accepted release rate for sites < 1 acre)

Storm Duration (Min)	Storm Duration (Hours)	Rainfall Intensity (Inch/Hour)	Inflow Rate (CFS)	Release Rate (CFS)	Storage Rate (CFS)	Storage Required (Acre-Feet)
5	0.08	12.36	3.91	0.150	3.76	0.026
10	0.17	10.80	3.42	0.150	3.27	0.045
20	0.33	9.28	2.94	0.150	2.79	0.077
30	0.50	8.34	2.01	0.150	1.86	0.077
60	1.00	4.03	1.28	0.150	1.13	0.094
120	2.00	2.49	0.79	0.150	0.64	0.106
180	3.00	1.83	0.58	0.150	0.43	0.107
360	6.00	1.07	0.34	0.150	0.19	0.095
720	12.00	0.62	0.20	0.150	0.05	0.047
1080	18.00	0.45	0.14	0.150	-0.01	-0.012
1440	24.00	0.36	0.11	0.150	-0.04	-0.074

Required Detention Volume = 0.107 Acre-Feet
Required Detention Volume = 4.678 ft³

2206 Maple Ave., Evanston
Date: 6.13.24

	Existing	Acres	Proposed	Acres
Site Area	18,105.00	0.416		
Building	0.00	0.000	10,191.00	0.234
Pavement, Walks, Steps	15,931.00	0.366	1,276.97	0.029
Non-Permeable Pavers	0.00	0.000	0.00	0.000
Permeable Pavers	0.00	0.000	2,083.00	0.048
Impervious Area	15,931.00	0.366	11,467.97	0.263
Semi-Permeable Area	0.00	0.000	2,083.00	0.048
Pervious Area	2,174.00	0.050	6,637.03	0.152



PRELIMINARY PROPOSED UTILITY PLAN
OVERALL SITE
MULTI FAMILY RESIDENCE
2206 MAPLE AVE., EVANSTON, ILLINOIS

DATE: 12.17.24
ISSUE: 1
REVISIONS: 1
PROJECT MANAGER: W. HERBRYNIE
ENGINEER: [Blank]
TECHNICIAN: [Blank]

BCI
BONO CONSULTING, INC.
CIVIL ENGINEERS
1018 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: (847) 823-3300
FAX: (847) 823-3303
bbono@bonoconsulting.com

PROJECT NUMBER: 21489
START DATE: JAN. 5, 2022
GRAPHIC SCALE: 1"=20'-0"
SHEET NUMBER: 3 OF 3



MAJOR VARIATION APPLICATION

zoning office use only

CASE #: _____

1. PROPERTY

Updated 03.01.25

Address: 2200-2206 Maple Avenue

Permanent Identification Number(s):

PIN 1: 11H07H119H019H0000 PIN 2: _____

(Note: An accurate plat of survey for all properties that are subject to this application **must** be submitted with the application.)

2. APPLICANT

Name: Paul Harb

Organization: PH Development & Management, LLC

Address: P.O. Box 6039

City, State, Zip: Wilmette, IL 60091

Phone: Work: 847-421-8595 Home: _____ Cell/Other: _____

Fax: Work: _____ Home: _____

E-mail: HarbPaul@gmail.com

Please circle the primary means of contact.

What is the relationship of the applicant to the property owner?

- same
- architect
- officer of board of directors
- builder/contractor
- attorney
- other: _____
- potential purchaser
- lessee
- potential lessee
- real estate agent

3. PROPERTY OWNER (Required if different than applicant. All property owners must be listed and must sign below.)

Name(s) or Organization: 2206 Map LLC, Paul Harb

Address: 107 Green Bay Road

City, State, Zip: Wilmette, IL 60091

Phone: Work: 847-421-8595 Home: _____ Cell/Other: _____

Fax: Work: _____ Home: _____

E-mail: HarbPaul@gmail.com

Please circle the primary means of contact.

"By signing below, I give my permission for the Applicant named above to act as my agent in all matters concerning this application. I understand that the Applicant will be the primary contact for information and decisions during the processing of this application, and I may not be contacted directly by the City of Evanston. I understand as well that I may change the Applicant for this application at any time by contacting the Zoning Office in writing."

Property Owner(s) Signature(s) -- REQUIRED

Date

4. SIGNATURE

"I certify that all of the above information and all statements, information and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge."

Paul Harb

Applicant Signature -- REQUIRED

1-13-2025
Date

5. REQUIRED DOCUMENTS AND MATERIALS

The following are required to be submitted with this application:

- (This) Completed and Signed Application Form**
- Plat of Survey** Date of Survey: _____
- Project Site Plan** Date of Drawings: _____
- Plan or Graphic Drawings of Proposal** (If needed, see notes)
- Non-Compliant Zoning Analysis**
- Proof of Ownership** Document Submitted: _____
- Application Fee (see zoning fees)** Amount \$_____ plus Deposit Fee \$150

Note: Incomplete applications will not be accepted. Although some of these materials may be on file with another City application, individual City applications must be complete with their own required documents.

Plat of Survey

(1) One copy of plat of survey, drawn to scale, that accurately reflects current conditions.

Site Plan

(1) One copy of site plan, drawn to scale, showing all dimensions.

Plan or Graphic Drawings of Proposal

A Major Variance application requires graphic representations for any elevated proposal-- garages, home additions, roofed porches, etc. Applications for a/c units, driveways, concrete walks do not need graphic drawings; their proposed locations on the submitted site plan will suffice.

Proof of Ownership

Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents (price may be blacked out on submitted documents).

- **Tax bill will not be accepted as Proof of Ownership.**

Non-Compliant Zoning Analysis

This document informed you that the proposed project is non-compliant with the Zoning Code and is eligible to apply for a major variance.

Application Fee

*** IMPORTANT NOTE: Except for owner-occupied residents in districts R1, R2 & R3, a separate application fee will be assessed for each variation requested.**

The fee application fee depends on your zoning district (see zoning fees). Acceptable forms of payment are: Cash, Check, or Credit Card.

6. PROPOSED PROJECT

A. Briefly describe the proposed project:

Redevelopment of the underutilized surface parking lot to construct a 5-story, 30 dwelling unit multifamily rental building with 18 enclosed parking spaces, 11 open parking spaces, 2 off-site parking spaces, and including 20% on-site affordable housing. Also, a reduction in the existing off-site parking requirement for 2201 Maple Avenue and 2215 Maple Avenue. See attached project narrative.

B. Have you applied for a Building Permit for this project? NO YES

(Date Applied: _____ Building Permit Application #: _____)

REQUESTED VARIATIONS

What specific variations are you requesting? For each variation, indicate (A) the specific section of the Zoning Ordinance that identifies the requirement, (B) the requirement (minimum or maximum) from which you seek relief, and (C) the amount of the exception to this requirement you request the City to grant. (See the Zoning Analysis Summary Sheet for your project's information)

(A) Section (ex. "6-8-3-4")	(B) Requirement to be Varied (ex. "requires a minimum front yard setback of 27 feet")	(C) Requested Variation (ex. "a front yard setback of 25.25 feet")
1		
6-8-7-4	19 dwelling units are allowed based on the lot size	24 dwelling units are requested (including 3 IHO units and 3 affordable public benefit units) plus 6 bonus units = 30 total dwelling units

* For multiple variations, see "IMPORTANT NOTE" under "Application Fee & Transcript Deposit" on Page 2.

2		
6-16-2 Table 16B	.55 parking spaces required per bedroom for non-IHO dwelling units, and the existing parking requirement for 2201 and 2215 Maple Avenue	18 enclosed parking spaces plus 2 off-site parking spaces at 2211 Maple for use of new 2200 Maple building, and 11 open parking spaces (31 total) for 2201 and 2215 Maple's use.
3		
6-16-4-4 & 6-4-6-3(A)1	One short loading berth 10' x 35' is required and cannot cover more than 40% of the rear yard	One short loading berth 9.5' x 25' is proposed to cover 72% of the rear yard

- B.** A variation's purpose is to provide relief from specified provisions of the zoning ordinance that may unduly impact property due to the property's particular peculiarity and special characteristics. What characteristics of your property prevent compliance with the Zoning Ordinance requirements?

Please see attached Project Narrative

1. The requested variation will not have a substantial adverse impact on the use, enjoyment, or property values of adjoining (touching or joining at any point, line, or boundary) properties.

Please see attached Variation Standards Narrative

2. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.

Please see attached Variation Standards Narrative

3. Either...

- (a) the purpose of the variation is not based exclusively upon a desire to extract income from the property, or
- (b) while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Zoning Board of Appeals or the City Council, depending upon final jurisdiction under §6-3-8-2, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to any of the standards of §6-3-6-3.

Please see attached Variation Standards Narrative

4. The alleged difficulty or hardship has not been self-created, if so, please explain.

Please see attached Variation Standards Narrative

5. Have other alternatives been considered, and if so, why would they not work?
Please see attached Variation Standards Narrative



City of Evanston DISCLOSURE STATEMENT FOR ZONING HEARINGS

(This form is required for all Major Variances and Special Use Applications)

The Evanston City Code, Title 1, Chapter 18, requires any persons or entities who request the City Council to grant zoning amendments, variations, or special uses, including planned developments, to make the following disclosures of information. The applicant is responsible for keeping the disclosure information current until the City Council has taken action on the application. For all hearings, this information is used to avoid conflicts of interest on the part of decision-makers.

1. If applicant is an agent or designee, list the name, address, phone, fax, and any other contact information of the proposed user of the land for which this application for zoning relief is made:

Paul Harb
P.O. Box 6039
Wilmette, IL 60091
847-421-8595

2. *If a person or organization owns or controls the proposed land user*, list the name, address, phone, fax, and any other contact information of person or entity having constructive control of the proposed land user. Same as number _____ above, or indicated below. (An example of this situation is if the land user is a division or subsidiary of another person or organization.)

Paul Harb
P.O. Box 6039
Wilmette, IL 60091
84 7-421-8595

3. List the name, address, phone, fax, and any other contact information of person or entity holding title to the subject property. Same as number 1 above, or indicated below.
-
-
-
-

4. List the name, address, phone, fax, and any other contact information of person or entity having constructive control of the subject property. Same as number ___1___ above, or indicated below.

If Applicant or Proposed Land User is a Corporation

Any corporation required by law to file a statement with any other governmental agency providing substantially the information required below may submit a copy of this statement in lieu of completing a and b below.

a. Names and addresses of all officers and directors.

b. Names, addresses, and percentage of interest of all shareholders. If there are fewer than 33 shareholders, or shareholders holding 3% or more of the ownership interest in the corporation or if there are more than 33 shareholders.

If Applicant or Proposed Land User is not a Corporation

Name, address, percentage of interest, and relationship to applicant, of each partner, associate, person holding a beneficial interest, or other person having an interest in the entity applying, or in whose interest one is applying, for the zoning relief.

Paul Harb

P.O. Box 6039

Wilmette, IL 60091

847-421-8595



Community Development Department
 2100 Ridge Avenue, Evanston IL 60201
 Email: IHO@cityofevanston.org
 Phone: 847-448-4311
www.cityofevanston.org
 Effective 1/1/2024

INCLUSIONARY HOUSING APPLICATION

Submission Date: 2025 01 10

Applicant Name: GREGORY GESLICKI / OCGG ARCHITECTS

Applicant Address: 3100 CHINO HILLS PKWY #422 CHINO HILLS CA 91709

Applicant Phone: 847 480 2212 OFFICE **Cell Phone:** 847 716 0774

Email: greg @ ocggarchitects.com **Website:** www.ocggarchitects.com

Property Owner Name: PAUL HARB

Property Owner Address: 107 GREEN BAY ROAD, WILMETTE IL 60091

Property Owner Phone: 847 421 8595 **Cell Phone:** 847 421 8595

Email: harbpaul@gmail.com **Website:** _____

Project Name: 2200 Maple Avenue Residences

Project Address: 2206 Maple Avenue, Evanston, IL

Parcel Identification Number (PIN): 11-07-119-019-0000

- Project Type:**
- New Construction**
 - Conversion/Addition of Residential Units**
 - Reconfiguration of Residential Units (change in # of bedrooms)**

Project Located in: **Downtown or RP Zoning District:** _____

All other Zoning Districts: R 5 zoning

Project Description: Proposed 30 units rental apartment building.

Inclusionary Housing Compliance*: **On-site Units**

Fee in Lieu

*If a project requires special zoning (i.e. variances, allowances, Planned Development) a minimum of 5% of the total units are required to be Inclusionary Housing units, with the exception of for-sale units.

Project Funding Type: **Private**

Public

List all sources of government assistance (Federal, State, Local), including TIF, LIHTC, bond financing, public grants, land disposition programs, etc.:

Inclusionary Units: **Rental**

Market Rate Units:

Rental

For Sale

For Sale

Residential Units

	Total Units	Inclusionary Units
Studio	2	-
1 Bedroom	8	2
2 Bedroom	9	2
3 Bedroom	8	1
4 Bedroom	3	1

Unit Square Footage

	Market Rate Units	Inclusionary Units
Studio	377 SF - 406 SF	-
1 Bedroom	1,007SF - 1,033 SF	1,033 SF
2 Bedroom	839 SF - 968 SF - 1,394 SF - 1,467 SF	1,394 SF
3 Bedroom	1,149.9 SF - 1,375 SF - 1,394 SF	1,375 SF
4 Bedroom	1,425 SF - 1,515 SF - 1,527 SF	1,527 SF

Describe the location and size of each Inclusionary Housing unit in the development:

SECOND FLR 1 BRM, SECOND FLR 2 BRM, THIRD FLR 1 BRM, THIRD FLR 2 BRM

FORTH FLR 3 BRM, FIFTH FLR 4 BDRM

Pricing Schedule – Market Rate Units (Estimated Sale Price or Monthly Rent)

	Sale Price	Monthly Rent
Studio		1,600
1 Bedroom		2,500
2 Bedroom		3,000
3 Bedroom		3,500
4 Bedroom		3,900

On-site Inclusionary Rental Units

Units at or < 60% AMI		
	Number	Monthly Rent
Studio	-	1,177
1 Bedroom	2	1,261
2 Bedroom	2	1,513
3 Bedroom	1	1,749

On-site Inclusionary For Sale Units

Units at or < 100% AMI		
	Number	Sale Price
Studio		
1 Bedroom		
2 Bedroom		
3 Bedroom		

Development in Downtown or Research Park Zoning Districts:

Fee in Lieu of Rental Units: \$209,195 x _____ (number of units*) = \$ _____

Fee in Lieu of For - Sale Units: \$313,792 x _____ (number of units*) = \$ _____

Development in all other districts:

Fee in Lieu of Rental Units: \$179,310 x _____ (number of units*) = \$ _____

Fee in Lieu of For - Sale Units: \$268,964 x _____ (number of units*) = \$ _____

*If the percentage of units results in a fractional number, if 0.5 or greater, it rounds up to an on-site unit or full fee-in-lieu. If under 0.5, there is no on-site unit requirement and one-half the fee-in-lieu is paid. For example, 10% of 45 units is 4.5. This would round up to 5 on-site units or the per-unit fee-in-lieu x 5. If 5% of the units were provided on-site, the requirement would be 2.25 on-site units, which would round down to 2 on-site units and a fee-in-lieu would be required for one half the per-unit fee. The fee-in-lieu for the remaining 5%, or 2.25 units, would be the per-unit fee-in-lieu x 2.5.

If construction will be phased, provide a construction schedule for market rate and Inclusionary units:

The developer proposes to meet the Inclusionary Housing Ordinance requirements through the attached alternative equivalent action. (The proposal must show that the alternative proposed will increase affordable housing opportunities in the City to an equal or greater extent than compliance with the express requirements of Inclusionary Housing Ordinance).

For further information visit: www.cityofevanston.org/IHO

I certify that the above information is true and correct:

Print Name: Gregory Geslicki Position/Title: Architect

Signature:  Digitally signed by 414e72a9-970a-4032-b23f-34d393336273 Date: 2025.01.27 00:24:11 -0800 Date: 2025-01-27

Submit this application (concurrently with the Zoning Analysis application) to:
zoning@cityofevanston.org



**Zoning Analysis
Summary**

Property: **2200-2206 Maple Avenue**
 Review Date: 11.18.24; updated 11.25.24, updated
 12.12.24, updated 1.30.25
 By: Sam Hubbard, Interim Zoning Administrator

Case Number:

Case Status/Determination:

24ZONA-0125

NON-COMPLIANT

Applicant: Gregory Geslicki, architect

Plans prepared by: OCGG Architects

Plans dated: 1.06.25

Survey dated: None provided

District: R5

Proposal:

Construct 5-story residential building with 30 DUs and 31 parking spaces

Non-compliant:

Code Section	Proposed and Required	Entitlement Required
6-8-7-4	Minimum lot size of 1,500 sq ft for each of the first 4 DUs and then 800 sq ft thereafter = 19 DUs max. Propose 24 DUs (including 3 IHO) plus 6 bonus DUs = 30 DUs total.	Major Variation Required
6-16-2, Table 16-B	Parking Required: 31 spaces Parking Proposed: 31 spaces Note: If any parking spaces are provided to the Garrett buildings across the street, they would need to be subtracted from the amount of parking proposed, and a parking variation would be required for this building. Please provide details on any parking provided for Garrett within your Major Variation application.	Potential Non-Compliant, will depend on how many stalls are provided to neighboring buildings.
6-16-4-4	1 short loading berth of 10' x 35' is required. A short loading berth of 10' x 25' is proposed.	Major Variation Required
6-4-6-3(A)1	Open parking and loading in a rear yard is restricted to 40% of the rear yard area. Rear yard area is calculated at 4,107 sq. ft., proposed open parking/loading coverage is 2,951 sq. ft. (72%).	Major Variation Required

Comments:

- Please continue discussions with Garrett Theological Seminary regarding the potential to provide parking within your site and for the parking variation required for 2215 Maple Ave. and 2201 Maple Ave, which shall be process as part of your Major Variation application to develop the parking lot.
- Your application for a Major Variation must confirm how many of the 31 proposed parking spaces are for the new multifamily building vs. how many are reserved for the two Garrett buildings.
- Confirm front yard setback requirement by averaging the existing front yard setback of the properties on both sides (north and south). Staff estimates the average at 21.5'. This information is required within your application for a Major Variation.
- As part of any Major Variation application submittal, details must be provided on management of move-ins/move-outs, as well as refuse collection (where dumpsters will be stored on pick-up days, estimated frequency of pick-ups, timing of pick-ups, etc.).
- As part of any Major Variation application submittal, data must be provided on the existing usage of the parking lot that exists on the property (survey of parking usage). To-date, details have been provided in a piecemeal manner and must be consolidated as part of the Major Variation application.
- The site must comply with all applicable Building Code requirements.
- The rooftop solar installation must comply with the requirements of Section 6-4-6-8 of the Zoning Code. Details showing compliance shall be provided as part of any building permit application.
- Based on the details provided, the permeable pavers qualify for a 20% reduction in the impervious surface requirement.
- A Preliminary Landscaping Plan (including details on specific locations, quantities, sizes and species of plantings), a Drainage Plan, and color rendering with building materials noted are required to as part of your Major Variation application.
- Please continue to be aware that the Green Building Ordinance is triggered due to building size. Rooftop solar, all electric, and other sustainability measures are strongly encouraged to meet LEED requirements. Details on compliance will be required as part of building permit review.
- Please continue to be aware that the Bird Friendly Ordinance is triggered. Details on compliance will be required as part of building permit review.
- IHO proposal is now compliant.
- As part of the Major Variation application, provide details on any exterior ground-mounted mechanical equipment that will be required (transformer, utility pedestal, etc.). These elements must be appropriately sited and screened.
- The need for additional variations may be identified upon the submission of detailed plans as part of the Major Variation application.

Principal Use and Structure: Residential, Multi-family	
6-8-7-2	<p>Use: Compliant</p> <p>Standard: Must be eligible permitted use. Existing: Surface parking lot; existing variations and SUP Proposed: Permitted use (Multi-family residential)</p>
6-8-7-5	<p>Lot width: Compliant</p> <p>Standard: 50' (multifamily) Existing: 123'</p>

6-8-7-4	<p>Lot size: 18,106 sq ft; Non-compliant</p> <p>Standard: 1,500 sq ft per DU for first 4 DUs, then 800 sq ft after = 19 DUs max Existing: 0 Proposed: 24 DUs including 3 IHO units + 6 bonus units = 30 DUs total</p>
6-8-7-6	<p>Building Lot Coverage: Compliant with IHO bonus</p> <p>Standard: 45% + 15% bonus = 60% or 10,863.6 sq. ft. Existing: Proposed: 58.94% or 10,673 sq. ft.</p>
6-8-7-9	<p>Impervious Surface Coverage: Compliant with IHO bonus and permeability reduction.</p> <p>Standard: 60% + 15% bonus = 75% or 13,580 sq. ft. Existing: Proposed: 72.3% or 13,091 sq ft</p>
	<p>Floor Area Ratio: NA</p> <p>Standard: Existing: Proposed:</p>
6-8-7-8	<p>Building Height: Compliant</p> <p>Standard: 50' and 5 stories + 12' IHO bonus = 62' max allowance Existing: Proposed: 61" and 5 stories</p>
6-8-7-7	<p>Yards (Setbacks): Compliant</p> <p>Front Yard (east): Compliant Standard: 21.5' (average of abutting properties – applicant must verify) Proposed: 23'</p> <p>Interior Side Yard (north): Compliant Standard: 3' Proposed: 3.5'</p> <p>Interior Side Yard (south): Compliant Standard: 3' Proposed: 5.5'</p> <p>Rear Yard (west): Compliant Standard: 25' Proposed: 27.5'</p>
Accessory Use and Structure:	
Parking Requirement:	
6-16-2,	Use: Multifamily TOD IHO

Table 16-B	<ul style="list-style-type: none"> ○ Standard: <ul style="list-style-type: none"> ○ .55 spaces required per non-IHO 1-bdrm and studio units. ○ 1.1 spaces required per non-IHO 2-bdrm units. ○ 1.65 spaces required per non-IHO 3-bdrm units. ○ 1.65 spaces required per non-IHO 4-bdrm units. <p>Total of 31 parking stalls required.</p> <ul style="list-style-type: none"> ○ Existing: 49 parking spaces required to meet the zoning parking requirement for the buildings/uses at 2215 Maple Ave. and 2201 Maple Ave. per Special Use and Variation Ordinance 107-O-82. Could be reduced based on current code requirements for these buildings. ○ Proposed: 31 parking stalls. ○ Details are needed on the how many parking stalls within the proposed development will be needed for the buildings at 2215 Maple Ave. and 2201 Maple. If any spaces are needed to these uses, a parking variation will be required for the proposed development. <p>Total Required: Likely Non-compliant due to parking spaces being allocated to 2215 and 2201 Maple Ave.</p> <p>2215 and 2201 Maple Ave will be required to obtain a parking variation given that the parking lot that served their properties will be developed with a building.</p>
2018 IL Accessibility Code Sec. 208.2	<p>Handicapped Spaces: Compliant</p> <p>Standard: 2 (for 31 total parking spaces) Existing: 2 Proposed: 2</p>
6-16-2-2	Access: Compliant (alley)
6-16-2-5	Vertical Clearance: Compliant (7' assumed – applicant must verify)
6-16-2-8	Surface: Compliant, (hardscaped; indoor and outdoor)
6-16-2-7	<p>Parking Angle 1: 90-degree</p> <p>Parking Space Size: Compliant</p> <ul style="list-style-type: none"> ○ Standard: 8.5' x 18' ○ Existing: ○ Proposed: 8.5' x 18' <p>Drive Aisle Width: Compliant</p> <ul style="list-style-type: none"> ○ Standard: 24.0' for 2-way traffic ○ Existing: ○ Proposed: 24' drive aisle <p>Open Parking Setbacks: Compliant.</p> <ul style="list-style-type: none"> ● Standard: 3' interior side and rear yard setbacks required ● Proposed: 3'
6-4-6-3(A)1	Rear yard coverage: Non-compliant

	<p>Required: Open Off-street parking and loading shall not cover more than 40% of a rear yard Proposed: 72%</p>
6-16-5	<p>Loading: Non-compliant</p> <ul style="list-style-type: none"> • One short loading berth (10' x 35') is required for 30,000 sq ft of gross floor square footage for multifamily residential. Loading berth of 10' x 25' is proposed.

If your project is within 25 feet of a tree or requires tree removal, a Tree Preservation Permit is required. If you have questions about this process, please contact Angela Levernier at alevernier@cityofevanston.org.

January 22nd, 20225

Alderman Bobby Burns

Re: 2200-06 Maple Avenue

Dear Alderman Burns:

On behalf of Parliament Enterprises LTD the Owner of numerous properties in Evanston and on Maple, we are writing to you regarding the proposal at 2200-06 Maple Avenue in Evanston. I have reviewed the drawings for the proposed project and I believe it will be a dramatic improvement over the existing condition and an enhancement to the overall neighborhood.

I would like to express our support to the project and do not object to the project proceeding forward.

If you have any questions, please do not hesitate to contact me at gdestefano@gdscompanies.com.

Very Truly Yours,



Jacob Fajerstein

Manager

2815 West Roscoe
Chicago, IL 60618
Website:
Phone: (773) 281-5252

January 25th, 2025

Re: Letter of support for 2206 maple ave., Evanston, IL

Dear Alderman Burns:

We represent Peak Properties who owns & manages multiples properties in the Evanston area. We owned the proposed lot on Maple for a very short period of time and have sold it for a development to Mr. Paul HARB and therefore we totally support this project & what Mr. HARB is doing.

We are constantly being updated are reviewed and support again what Mr. HARB is proposed as an addition to the neighborhood on Maple & Noyes.

Very Truly Yours,



Partner,

Mike Zucker

Peak Properties, LLC



Londinium Properties LLC
911 Simpson St.
Evanston, IL 60201

February 6th, 2025

Councilmember Bobby Burns
Evanston City Council
Evanston, IL

Dear Councilmember Burns,

As a longtime Evanston resident and a local landlord with a deep commitment to our community, I am writing to express my support for the proposed apartment building at 2200-06 Maple Avenue. This development, led by Mr. Paul Harb of PH Development and Management LLC, presents an excellent opportunity to enhance the neighborhood by transforming an underutilized parking lot into much-needed housing that can be aligned with the character and needs of the area.

Mr. Harb is a familiar name in the neighborhood, having successfully developed the building directly across the street. His track record on that development gives confidence that this project will be successfully completed. The proposal to focus on housing local employees, graduate students, and Northwestern University faculty and staff will further enrich the fabric of the neighborhood by providing accessible housing for those who contribute to Evanston's vibrancy on a daily basis.

Having been involved in neighborhood meetings regarding this project, I have had the opportunity to engage with fellow community members about the plans and the potential positive impact this development will bring. I am particularly pleased to see that affordable units will be included, ensuring that the new building contributes to Evanston's goal of providing diverse housing options for a range of residents.

I encourage your support for this development, which will not only provide quality housing but also strengthen the community by welcoming new residents. I look forward to seeing this project move forward and appreciate your leadership in guiding Evanston's continued growth.

Sincerely,

David Giljohann
Londinium Properties LLC

773-789-9713



Melissa Klotz

Fwd: Meeting

1 message

Paul Harb <harbpaul@gmail.com>
To: Melissa Klotz

Thu, Jan 30, 2025 at 4:45 PM

Neighbors communication 1

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS
847-421-8595

Begin forwarded message:

From: Paul Harb <harbpaul@gmail.com>
Date: Jan 8, 2025 at 8:51 PM
To: Barbara Blades
Cc: JDBlades
Subject: Re: Meeting

Hi Barbara. I am glad all is well.

No, pretty much every feedback was + from everyone and the meeting took 1.5 hours and went v well.

The couple variations requested are being minute. I am not pushing the envelope on the density and few parking spaces also require a variation but that is the bulk of it.

Thanks

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS
847-421-8595

On Jan 8, 2025 at 8:48 PM, <Barbara Blades> wrote:

Sorry we missed it, Paul. We were in the City with 2 of our children and totally forgot. You pretty much gave us the info about the plan. We're there any objections to the building or the density issue?

Barbara

On Jan 8, 2025 7:54 PM, Paul Harb <harbpaul@gmail.com> wrote:

Evening Barbara-

Happy new year to you.

We missed you and John at the meeting tonight hope all is well.

Paul

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS

847-421-8595



Melissa Klotz

Fwd: Meeting

1 message

Paul Harb <harbpaul@gmail.com>
To: Melissa Klotz

Thu, Jan 30, 2025 at 4:45 PM

Neighbors communication 2

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS
847-421-8595

Begin forwarded message:

From: Stuart Cleland
Date: Jan 13, 2025 at 2:38 PM
To: Paul Harb <harbpaul@gmail.com>
Subject: RE: Meeting

Paul, we were glad to hear from you and the architect, look at drawings and express our views.

It was a very helpful and informative session; thank you for hosting it.

Best wishes,

Stuart and Karen

From: Paul Harb <harbpaul@gmail.com>
Sent: Thursday, January 9, 2025 9:26 PM

To: Stuart Cleland

Subject: Meeting

Thank you guys for coming yesterday to the meeting.

Thanks

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS

847-421-8595

Fwd: 2206 Proposed Development Community Meeting

1 message

Paul Harb <harbpaul@gmail.com>

To: Melissa Klotz

Neighbors communication 3

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS
847-421-8595

Begin forwarded message:

From: Mrjhs1
Date: Dec 20, 2024 at 10:19 AM
To: Paul Harb <harbpaul@gmail.com>
Subject: RE: 2206 Proposed Development Community Meeting

Paul

Thanks so very much, see you on the 8th. Have a blessed holiday.

Best,

Jim

From: Paul Harb <harbpaul@gmail.com>
Sent: Friday, December 20, 2024 5:35 AM
To: Mrjhs1
Subject: Re: 2206 Proposed Development Community Meeting

Jim-

Please see attached below. Thx



ZONING ANALYSIS APPLICATION

Date Received: _____ ZONING OFFICE USE ONLY
 Ward: _____
 Zoning District: _____
 Preservation: _____
 Case Number: _____

I am applying for a zoning review of a:

- Construction project of less than 10,000 sq. ft.
 Construction project of 10,000 sq. ft. or more
- Determination of Use
 Other

PROPERTY

Address: 2206 Maple Ave, Evanston, IL 60201

- Mixed-use
 Non-Residential
 Residential # of Units 30

For projects required to comply with Inclusionary Housing Ordinance:

- In TOD Area Outside of TOD Area

(for more information visit: <http://www.cityofevanston.org/IHO>)

Proposed Project:

PROPOSED NEW CONSTRUCTION 30 UNIT APARTMENT BUILDING

APPLICANT

Name: GREGORY GESLICKI, ARCHITECT, NCARB

Organization: OCGG ARCHITECTS

Address: 3100 CHINO HILLS PKWY, UNIT 422 City, State, Zip: CHINO HILLS, CA 91709

Phone: 847 480 2212 Cell: 847-716-0774

E-mail: greg @ ocggarchitects.com

Please circle the primary means of contact.

PROPERTY OWNER (if different than applicant)

Name: PAUL HARB

Address: 107 GREEN BAY ROAD City, State, Zip: WILMETTE, IL 60091

Phone: 847-421-8595 Cell: 847-421-8595

Email: harbpaul@gmail.com

What is the relationship of the applicant to the property owner?

- same builder/contractor architect real estate agent
 attorney lessee other: _____

BUILDING SETBACKS

	EXISTING	PROPOSED
Front yard	21.5 FT AVERAGE	23 FT
Street side yard (if corner lot)	N/A	N/A
Interior side yard (1)	3 FT	3 FT
Interior side yard (2)	3 FT	5 FT
Rear yard	25 FT	25 FT

RESIDENTIAL & TRANSITIONAL CAMPUS DISTRICTS ONLY**BUILDING LOT COVERAGE**

	EXISTING	PROPOSED
Principal Structure Footprint (excluding front porch)	0 SF	10,763 SF
Roofed Front Porch (receives 50% credit)	N/A	N/A
Detached Garage Footprint	N/A	N/A
Other Accessory Structures' Footprints	N/A	N/A
Other Roofed Areas	N/A	N/A
TOTAL BUILDING LOT COVERAGE	0 SF	10,763 SF

IMPERVIOUS SURFACE COVERAGE (hard surfaced areas not under a roof: asphalt, concrete, decks, brick pavers, etc.)

	EXISTING	PROPOSED
Patios & Terraces (brickwork receives 20% credit)	N/A	N/A
Sidewalks	N/A	350.53 SF
Driveways	N/A	1,128.8 SF
Decks	N/A	N/A
Stairs/Landings	N/A	N/A
Other Impervious Areas	16,144 SF	1,861.58 SF
SUB-TOTAL	N/A	N/A
+ Building Lot Coverage	N/A	10,105.32 SF
TOTAL IMPERVIOUS SURFACE AREA	16,144 SF	13,446 SF

BUILDING HEIGHT

	EXISTING	PROPOSED
Principal Structure – Peak Height	N/A	57 FT
Principal Structure – Number of Stories	N/A	5
Detached Garage – Peak Height	N/A	N/A
Other Accessory Structures – Peak Height	N/A	N/A

REQUIRED DOCUMENTS AND MATERIALS

Please submit the following:

- (This) Completed Application Form
- Completed Inclusionary Housing Plan Proposal Form
If the project includes five (5) or more new residential units in TOD Areas or ten (10) or more residential units outside of TOD Areas. This includes new for sale, or rental developments, and condominium conversions.
- One (1) Copy of Plat of Survey Date of Survey: ORIGINAL SURVEY DATE NON NEGOTIABLE
Plat of survey must be completed by a licensed surveyor and must be current so that it displays every structure, patio, dock, walkway, etc. that is currently on the property. Copies must be legible for all dimensions and details.
- One (1) Set of Building Plans Date of Drawings: 2024/10/08
Building plans must be drawn to scale and must include interior floor plans and exterior elevations. For simple projects such as flat-work patios, plans may be hand drawn to scale directly onto the Plat of Survey.
- Determination of Use Description
If you are applying for a Determination of Use, skip to the end of the application, sign and date, include a simple site plan of the proposed use (interior floor layout, seating, parking, etc.) and a one page letter that describes all aspects of the use (employees, hours of operation, loading/unloading, deliveries, parking, noise, etc.)
- Application Fee: Once the application is received, a follow-up email will be sent to pay the application fee online.

Email this form and documents noted above to:

zoning@cityofevanston.org

Zoning Analysis Applications take up to 10 business days for initial review. Alterations or modifications that require re-review may take longer. Feel free to contact the Zoning Office directly at 847.448.8230 with any questions.

PROPERTY INFORMATION

	EXISTING	PROPOSED
Lot Area	18,106.39 SF	18,106.39 SF
Lot Width (Frontage)	123.07 FT	123.07 FT
Dwelling Units / Rooming Units	0	30
Open Parking Spaces	49	11
Enclosed Parking Spaces	0	20
Off-site Parking Spaces	0	0
Loading Berths - Short	0	0
Loading Berths - Long		
Employees		

Community Development Department 2100 Ridge Ave
 847-448-4311 • 847-448-8126 • zoning@cityofevanston.org • www.cityofevanston.org Evanston, IL 60201

PROPOSED APARTMENT BUILDING

2206 MAPLE AVENUE EVANSTON IL 60201

PROPOSED BUILDING FLOOR AREAS		
	RM / AREA Number	Floor Area SF
1st FLR LOBBY	100	811.287 sq ft
1st FLR SERV SPACES	101	827.266 sq ft
1st FLR CORRIDOR	102	108.87 sq ft
1st FLR ELEC. RM	103	103.061 sq ft
1st FLR GEN. RM	104	96.887 sq ft
1st FLR BIKE RM	105	175.818 sq ft
1st FLR MECH RM	106	255.516 sq ft
1st FLR METER RM	107	146.751 sq ft
1st FLR PARKING	108	7464.002 sq ft
2ND FLOOR	200	9226.986 sq ft
3RD FLOOR	300	9291.371 sq ft
4TH FLOOR	400	9232.385 sq ft
5TH FLOOR	500	9205.211 sq ft
TOTAL AREA		46282.471

DRAWINGS LIST	
A-1	COVER SHEET
A-1-01	AREAS DIAGRAMS & CALCCS
A-1-2	EXTERIOR VIEWS
A 2	GROUND FLOOR PLAN
A 3	2nd FLOOR PLAN
A 4	3, 4 & 5TH FLOOR PLANS
A 5	ROOF/PENTHOUSE PLAN
A 6	EXTERIOR ELEVATIONS

ALL OTHER DISTRICTS (Business, Commercial, Downtown, Industrial, Mixed Use, University)

	EXISTING										PROPOSED									
	Residential	Community	Dwelling Units	Medium-Density Residential	Neighborhood Commercial	Neighborhood Office	Neighborhood Industrial	Neighborhood Professional	Neighborhood Retail	Neighborhood Services	Neighborhood Office	Neighborhood Professional	Neighborhood Retail	Neighborhood Services	Neighborhood Office	Neighborhood Professional	Neighborhood Retail	Neighborhood Services		
Residential																				
1st Floor																				
2nd Floor																				
3rd Floor																				
4th Floor																				
5th Floor																				
Total																				

*GROSS FLOOR AREA: The sum of areas of all floors of a building measured from the exterior walls or from the center line of walls separating 2 buildings. The gross floor area of a building shall also include but not be limited to basements, interior balconies and enclosures, enclosed porches, and attic space finished or unfinished having minimum 5-foot floor to ceiling height. The following areas shall be excluded from the calculation of gross floor area: elevator shafts, stairwells, space used solely for loading, unloading, mechanical, electrical and mechanical penthouses, refuse rooms and areas accessory to the building, off-street parking and loading.

BUILDING REGULATIONS

	EXISTING	PROPOSED
Principal Structure – Peak Height		
Principal Structure – Number of Stories		
Other Accessory Structures – Peak Height		
FAR (Refer to Area Refs)		

AUTHORIZING SIGNATURE

I certify that all of the above information and all statements, information and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge.

GREGORY GESLICK

Print Name: _____ Date: 2024/11/02

Applicant's Signature: _____ Date: _____

Please refer to the Zoning Ordinance at www.cityofevanston.org/zoning for all City of Evanston zoning regulations. To determine which zoning district a property is located in, visit the City's website at www.cityofevanston.org, click on the **Resident** link on the City's home page, then click on **About My Place** from the drop-down menu. Enter the house number in the field provided and select the street from the drop-down menu. Press the "Get Info" button. This will either take you directly to the information for the property, or a list of all tax parcels at the inputted address that may be selected for information on the property.

Community Development Department 2100 Ridge Ave
 847-448-4311 • 847-448-8126 • zoning@cityofevanston.org • www.cityofevanston.org Evanston, IL 60201



1 PROPOSED SITE PLAN
 Scale: 1/16" = 1'-0"

Any questions plz let me know or in Jan 8th.

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS

847-421-8595

On Dec 19, 2024 at 8:16 PM, <Mrjhs1> wrote:

Hi Paul

Do you have any additional information on the proposal for the new building that we could review so that we can be better informed when we gather on the 8th.

Thanks so very much!

Jim

From: Paul Harb <harbpaul@gmail.com>

Sent: Thursday, December 19, 2024 1:12 PM

To: Bobby Burns <bburns@cityofevanston.org>

Cc: Mrjhs1 Jane Evans

Barbara Blades

Bladesjd

Jackqualine Barnes

Subject: Re: 2206 Proposed Development Community Meeting

Yes anytime

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS

847-421-8595

On Dec 19, 2024 at 7:34 PM, <Bobby Burns> wrote:

I've added Paul Harb to the call. Paul, can you respond to Jim's question? Thank you.

Bobby J Burns
Councilmember
5th Ward- City of Evanston, Illinois

On Thu, Dec 19, 2024 at 12:18 PM

wrote:

Hi Bobby/Jackie

Can you please provide us with any literature that you have on the building. I see that you do have a floor plan for the lower level could we get the rest of the information.

That would be very helpful.

Thanks

Jim

From: Bobby Burns <bburns@cityofevanston.org>

Sent: Thursday, December 19, 2024 10:18 AM

To: Jim Swanson · Jane Evans

Barbara Blades

Cc: Jackqualine Barnes

Subject: 2206 Proposed Development Community Meeting

Good morning everyone,

I hope everyone is having a great holiday season. Please share the information below with your neighborhood group and neighbors:

2206 Maple, LLC, the owner and developer of 2211 Maple Avenue, has submitted an application to construct a building at 2206 Maple Ave. As part of the review process, the applicant will present the project to the Land Use Commission and, subse

To provide more information and gather community input, Councilmember Bobby Burns and the developer invite you to a neighborhood meeting. The meeting will be held at Coffee Lab on Noyes on January 8, 2025, from 5:30 PM to 7:15 PM.

The discussion will include presentations from the project's lead architect, Mr. Greg Geslicki, and the construction manager, a long-time Evanston resident. This is an opportunity to learn about the project, ask questions, and share your thoughts.



PROPOSED BUILDING STREET VIEW



PROPOSED BUILDING STREET VIEW

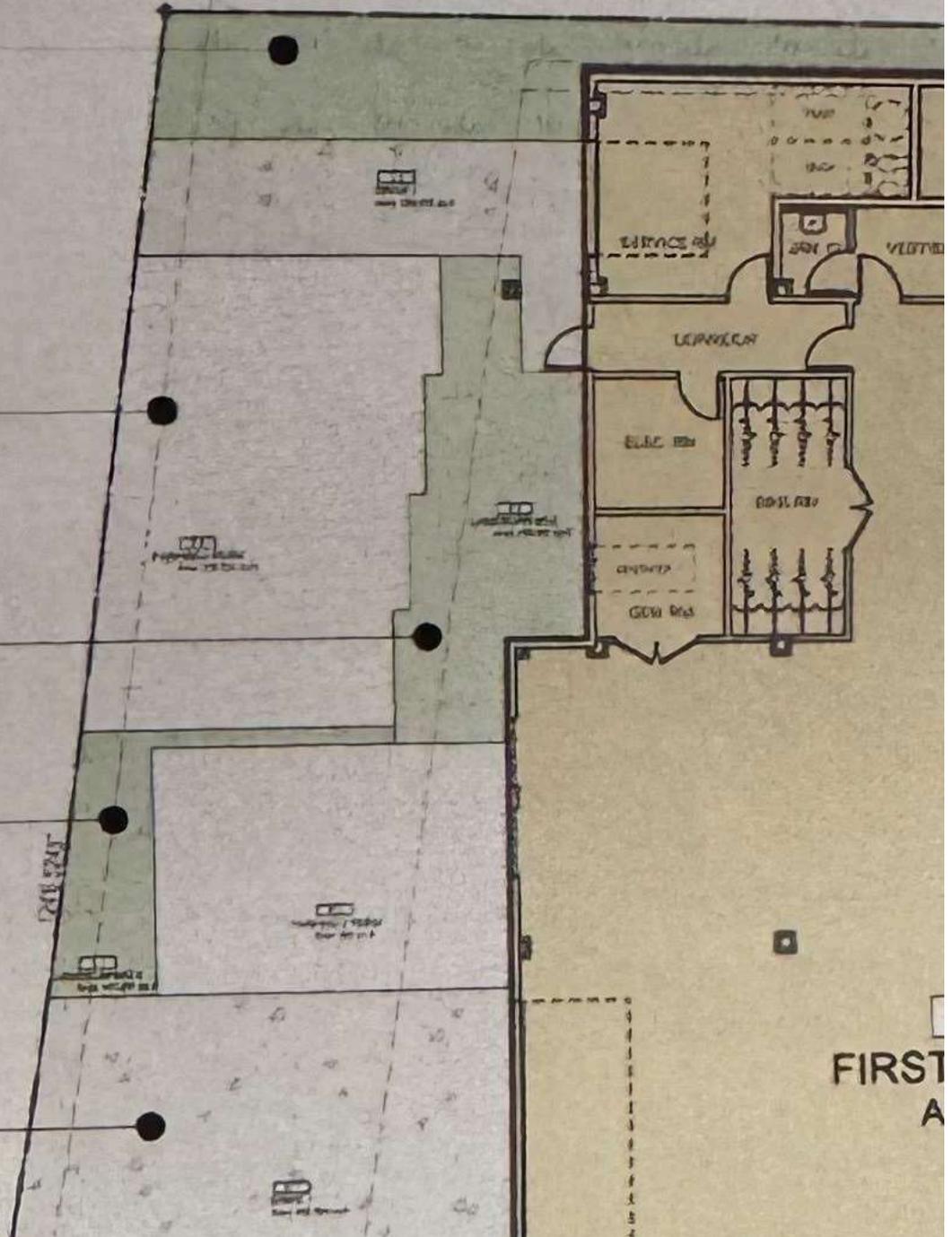
G 1
LANDSCAPING 1
Area: 817.974 sq ft

P 3
PARKING3 PERM
Area: 736.752 sq ft

G 5
LANDSCAPING 5
Area: 348.391 sq ft

G 4
LANDSCAPING 4
Area: 147.081 sq ft

D 1
DRIVE 1
Area: 842.304 sq ft

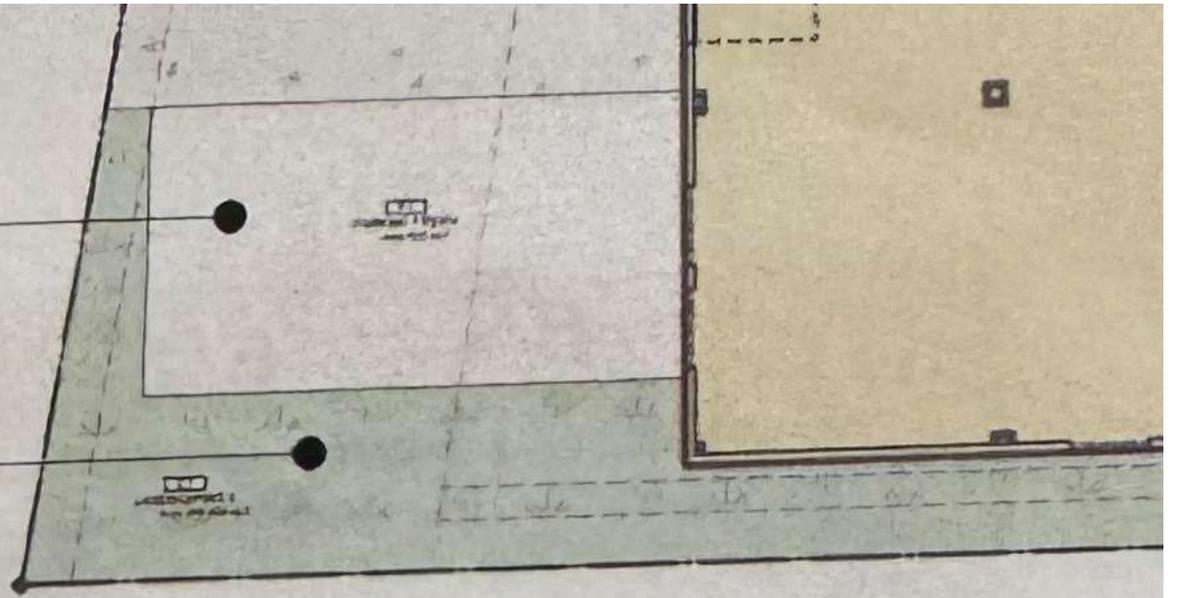


P 1
PARKING 1 PERM
Area: 612 sq ft

G 3
LANDSCAPING 3
Area: 997.028 sq ft

2

IMPERVIOUS SURFACE COVERA
Scale: 1/16" = 1'-0"





Melissa Klotz

Fwd: **Notice of New Ownership of the parking lot**

1 message

Paul <harbpaul@gmail.com>

Sat, Dec 21, 2024 at 5:12 AM

To: Melissa Klotz

This below shows my willingness & how I extended hands to help Garrett students and staff too

----- Forwarded message -----

From: **Robert Camacho**

Date: Mon, Oct 28, 2024 at 10:45 PM

Subject: RE: **Notice of New Ownership of the parking lot**

To: Paul <harbpaul@gmail.com>

Hi Paul,

Thank you for your email and thanks for our quick conversation just a bit ago. I appreciate your willingness to allow our residents to continue parking in the lot – this is a lifted weight for some of them.

If you need an updated parking lot assignment list, please let me know. If you have any other issues or questions, please reach out. Thanks for your help. RC



Robert Camacho

Director of Housing + Events

Garrett-Evangelical Theological Seminary
2121 Sheridan Road, Main 106, Evanston, Illinois 60201
robert.camacho@garrett.edu
847.866.3939

From: Paul <harbpaul@gmail.com>
Sent: Monday, October 28, 2024 3:56 PM
To: Paul HARB <harbpaul@gmail.com>
Subject: ****Notice of New Ownership of the parking lot****

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear tenants,

My name is Paul HARB & I own + manage the nearby building at 2211 Maple Ave.

I will be the new owner (as of the beginning of November 2024) of the surface parking lot where you park your cars across the street from my Maple building.

For November, we will keep the rent as-is at its current rate of your month-to-month leases, so please send your payments to:

- Venmo @paul-harb

- Paypal is harbpaul@gmail.com

- You can make a check to 2211 Map, LLC, or cash is also okay. (for check and cash, I can meet you in person at the parking lot to pick it up.

Should you have any questions, please let me know.

For now, you could keep the Garrett sticker it is fine for me.

Sincerely,

--

Paul HARB | Realtor, MBA, SFR, CIPS

847-421-8595

--

Paul HARB | Realtor, MBA, SFR, CIPS

847-421-8595

il.google.com/mail/u/0/#search/eva/KtbxLxgdfkWkkRHBDQszRbRXBbVjGJfSxB

Q eva



Robert Camacho <robert.camacho@garrett.edu>

to me ▾

Nov 5, 2024, 8:02 PM



Thank you for this. I'll share your contact information as I receive inquiries. Emma Mason #20 has decided to vacate. I'll keep you posted on any other feedback. Thanks again. RC





Paul Harb

Good morning Robert I don't mean to bug you about this one of course but still the same people I told you still haven't paid all the same ex



Robert Camacho <robert.camacho@garrett.edu>

to me ▾

Tue, Nov 5, 6:57 PM

Hi Paul,

I'm still waiting on a response from most of them. Hamin Kwak in #39 will no longer be parking there. Quick question: I may have residents interested in parking – are you open to renting to them? Thanks for your help. RC

...



Paul Harb

Perfect about the update for space 39 and yes. I'm open to have them park

Nov 5, 2019



Paul Harb

Anything for you guys you have been wonderful With Mrs. 2019 and Mr. Miller, who left right now helped me a lot as well when I was building my first

Nov 5, 2019

eva

X ☰

📅 ⓘ 🗑️ ✉️ 📧 ⋮

< > 📧



Anna Amey [redacted]

to me ▾

Oct 28, 2024, 11:48 PM ☆ 😊 ↩️ ⋮

Hi Paul,

Thank you SO much for this. Keeping the rate at the same price for the month of November and letting us use this lot is honestly life changing. My peers and I thank you.

Can you confirm the price for November and tell me how I should label the payment?

Should I email you my license plate number and which spot I've been parking at since July?

Thank you so much,
Claire

Claire Amey (she/her)
Garrett-Evangelical Theological Seminary '26
Certified Candidate for UMC Ordination

From: Paul <harbpaul@gmail.com>
Sent: Monday, October 28, 2024 3:55:30 PM
To: Paul HARB <harbpaul@gmail.com>

Design Evanston Project Review of the Multi-Family Apartment Building at 2206 Maple Avenue

Professional members of Design Evanston met with the developer, Paul Harb, and architect, Gregory Geslicki, to review the proposed multi-family apartment building at 2206 Maple Avenue on January 23, 2025.

Following is a summary of comments as they relate to Design Evanston Project Review Standards:

Specific Criteria Comments

1. The project should address a perceived need in the city and its respective communities.

The project replaces an underutilized parking lot with a multi-story apartment building, addressing the need for additional housing in this transit-oriented, mixed-use neighborhood. The area is well-served by the Noyes Street CTA station and offers a variety of amenities, including restaurants, a small grocery store, a coffee shop, and other retail services; all of which could be well served by this project's additional residents.

2. The project should be of appropriate and beneficial use within the project's geographical context.

The proposed building provides much-needed housing in a location that can accommodate it while also supporting local businesses and enhancing the vibrancy of the neighborhood.

3. The project should be of appropriate and complementary size, scale and proportion for its physical context.

The design complies with R5 zoning regulations, requiring minimal exceptions. Its scale, height, and site positioning align well with adjacent and nearby apartment buildings, ensuring compatibility with the surrounding urban fabric.

4. The project should reflect current progressive, creative and sustainable design goals and practices.

The building incorporates sustainable design strategies, including an all-electric energy system and a rooftop solar panel array for on-site energy generation. These measures contribute to Evanston's broader sustainability goals and reduce the project's overall carbon footprint.

5. The project should provide for current and future economic growth.

The development strengthens the mixed-use character of the area by increasing residential density, which in turn supports local businesses and generates additional tax revenue.

6. The project should provide good city revenue generation with as low as feasible infrastructure burden to the city.

Aside from a modest increase in automobile traffic, the project is expected to have minimal impact on local infrastructure while contributing to city revenues through real estate and sales taxes.

7. The project should provide for a positive, engaging experience at street and pedestrian level.

The project engages the street and pedestrian way identical to adjacent multi-unit buildings. Its front yard is in alignment with adjacent properties. Proposed landscaping of indigenous plantings is expected to add to the buildings curb appeal.



www.designevanston.org

Currently, interior vehicle parking spaces are arranged behind the front first floor elevation. If these spaces could be utilized for common tenant use or various beneficial amenities, and made visually apparent from the outside, it would improve the façade's appearance from the pedestrian way and be more of an inviting and engaging experience and opportunity for passersby.

8. The project should complement the practices and goals of “Complete Streets” and encourage multi-modal transportation use.

The increased residential density in this transit-oriented, mixed-use neighborhood will contribute to greater foot traffic, public transit usage, and bicycle activity in the area. The building includes accommodation for bicycle storage, though this could be increased.

The proposed number of parking spaces for the property appears high compared to current similar transit-oriented developments in Evanston. We recommend that the developer and architect reassess market demand and consult with local developers, and city staff, who in our experience have been surprised by the low car ownership rates among current and prospective tenants.

If some of the interior parking spaces at the front of the building were eliminated, as mentioned in Item No. 7 above, the freed-up space could be replaced with a variety of building amenities, e.g. larger lobby, lounge area, conference/multi-purpose room, fitness room, or additional bicycle storage (which we highly recommend) and result in an improved façade expression at the first floor. We understand, subsequent to our review, that the team has eliminated three interior parking spaces.

9. The project should be a contributor to the city of Evanston's goals to be energy self-sufficient.

The proposed design aligns with energy efficiency goals through its all-electric utility system, high-performance windows, high R-value roof and wall insulation. The addition of rooftop solar panels further reduces the building's reliance on external energy sources.

10. The project should provide a tangible complement of public benefits.

By increasing the number of residents in a transit-oriented area, the project supports local commerce, encourages rail use, and contributes to Evanston's broader efforts to promote sustainable urban development and provide much desired additional housing options.

Additional Design Comments

1. Architectural Language

The front elevation of the building is its most prominent and important visual expression. We understand the front elevation is still under investigation and development. The current front elevation is a mix of traditional wide vertical brick piers or wall planes and more contemporary horizontal balcony expressions with steel framing, all atop a relatively low height first floor contrasting masonry podium with different fenestration than the floors above. These three expressions, we believe, create a rather confusing composition that lacks coherence and intention that we believe is desired. We understand the project team is investigating some modifications to the facade expression.

The entry to the building is not as visually prominent as it could be.



Painted metal flashings, cornices, steel framing, and perforated metal railing panels add complexity to the façade expression. Metal balcony railing assemblies should be durable and best obscure tenants' balcony furniture, etc., from view.

2. Materiality & Contextual Multi-family

The use of brick masonry and fiber-cement panels employed as part of a rain-barrier system, can be attractive materials appropriate for a building of this scale and purpose, in this context.

If as indicated in the review session, the building is to have rain screen facades, the projection of slabs out on past the building wall on the front side of the building will be very difficult to drain. A change to a different slab arrangement on the front of the building should be considered so the rain screen will not be interrupted there. Additionally, the slab projected through the front wall will create conductive transfer of cold and heat under the exterior wall into the units on the front of the building.

3. Durability & Longevity

Brick masonry, fiber-cement panels and aluminum-framed windows are durable elements with appropriate life spans for a multi-family building of this sort.

4. Miscellaneous

We noticed the employment of dens in a number of the typical units. These are located at unit corners with no fenestration and located adjacent to a bathroom. The following units include: Unit 01, 05 and 06—one den with an adjacent bathroom. Unit 02—two dens each with adjacent bathrooms. Is their use for sleeping purposes in accordance with current codes?



NOTICE OF A PUBLIC HEARING

Evanston Land Use Commission

Wednesday, March 26, 2025, 7:00 pm

Morton Civic Center, 2100 Ridge Ave.

Council Chambers

Please be advised, as you own, or otherwise may have interest in a property within 500 ft. of the address listed below, for which the following zoning application will be discussed:

Major Variations | 2206 Maple Avenue, 2215-2219 Maple Avenue & 916 ½ Noyes Street | 25ZMJV-0003

Paul Harb, applicant, of 2206 Map LLC, requests Major Variations to allow construction of a 5-story multi-family residential building with 30 dwelling units (including 6 bonus dwelling units per IHO), and 29 parking spaces in the R5 General Residential District. The applicant requests the following Major Variations for the property at 2206 Maple Avenue: 1) Section 6-8-7-4, to allow 24 dwelling units (including 6 on-site inclusionary units) + 6 market rate bonus units where a maximum of 19 dwelling units is allowed; 2) Section 6-16-3-5, Table 16-B, to allow 20 off-street parking spaces where code requires a minimum of 27 off-street parking spaces; 3) Section 6-16-4-4, to allow a 9.5' x 25' loading berth where code requires a 10' x 35' loading berth, and; 4) Section 6-4-6-3(A)1, to allow 72% rear yard coverage with parking and loading uses, where code restricts maximum rear yard coverage to 40% in a residential district.

Javier Viera, co-applicant, of the Garrett Evangelical Theological Seminary, requests the following Major Variation for the property at 2215-2219 Maple Avenue and 916 ½ Noyes Street: Section 6-16-3-5, Table 16-B, to allow 16 off-street parking spaces where code requires a minimum of 28 off-street parking spaces. The applicant and co-applicant may seek and the Land Use Commission may consider additional variations as may be necessary or desirable for the proposed development. The Land Use Commission makes a recommendation to the City Council, the determining body for this case. PINs: 11-07-119-019-0000, 11-07-120-049-8001.

Those wishing to make public comments at the Land Use Commission meeting may attend in-person or submit written comments in advance by calling/texting 847-448-4311 or completing the Land Use Commission online comment form available online here: <https://bit.ly/lucpubliccomment>. Information about the Land Use Commission is available online at www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission. Questions can be directed to Sam Hubbard, Senior Planner, at 847-448-8687 or via e-mail at shubbard@cityofevanston.org. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Community Development Department 48 hours in advance of the scheduled meeting so that accommodations can be made at 847-448-8170 (Voice) or 847-866-5095 (TDD). La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847-448-4311 (voz) o 847-866-5095 (TTY).





City of
Evanston™

Lorraine H. Morton Civic Center
Planning and Zoning Division
2100 Ridge Avenue
Evanston, IL 60201

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TAXPAYER MAILING ADDRESS

3 month twice daily parking lot for the surface parking lot:

Date	# of Parked Cars Low	# of Parked Cars High
9/15/2024	8	10
9/16/2024	7	7
9/17/2024	5	11
9/18/2024	6	6
9/19/2024	8	12
9/20/2024	9	9
9/21/2024	5	9
9/22/2024	8	8
9/23/2024	5	6
9/24/2024	7	9
9/25/2024	8	8
9/26/2024	4	11
9/27/2024	8	10
9/28/2024	9	9
9/29/2024	8	10
9/30/2024	10	12
10/1/2024	7	10
10/2/2024	8	12
10/3/2024	7	11
10/4/2024	11	11
10/5/2024	9	10
10/6/2024	10	10
10/7/2024	8	11
10/8/2024	9	12
10/9/2024	8	8
10/10/2024	7	11
10/11/2024	8	12
10/12/2024	11	11
10/13/2024	6	9
10/14/2024	7	11
10/15/2024	8	12
10/16/2024	7	9
10/17/2024	5	7
10/18/2024	4	8
10/19/2024	8	8
10/20/2024	4	7
10/21/2024	7	9
10/22/2024	4	9
10/23/2024	3	7
10/24/2024	4	9

3 month twice daily parking lot for the surface parking lot:

Date	# of Parked Cars Low	# of Parked Cars High
10/25/2024	2	7
10/26/2024	3	8
10/27/2024	4	7
10/28/2024	4	8
10/29/2024	3	6
10/30/2024	4	9
10/31/2024	3	7
11/1/2024	2	5
11/2/2024	4	6
11/3/2024	3	5
11/4/2024	4	8
11/5/2024	3	7
11/6/2024	5	6
11/7/2024	7	7
11/8/2024	6	6
11/9/2024	5	5
11/10/2024	5	8
11/11/2024	4	7
11/12/2024	6	9
11/13/2024	8	9
11/14/2024	6	7
11/15/2024	8	9
11/16/2024	10	6
11/17/2024	4	5
11/18/2024	5	5
11/19/2024	4	7
11/20/2024	3	6
11/21/2024	5	5
11/22/2024	6	6
11/23/2024	7	8
11/24/2024	6	8
11/25/2024	5	5
11/26/2024	5	6
11/27/2024	7	7
11/28/2024	5	8
11/29/2024	6	9
11/30/2024	8	8
12/1/2024	6	6
12/2/2024	7	9
12/3/2024	5	8

3 month twice daily parking lot for the surface parking lot:

Date	# of Parked Cars Low	# of Parked Cars High
12/4/2024	3	6
12/5/2024	7	7
12/6/2024	4	7
12/7/2024	5	9
12/8/2024	4	7
12/9/2024	5	5
12/10/2024	6	8
12/11/2024	5	7
12/12/2024	4	4
12/13/2024	5	9
12/14/2024	6	6
12/15/2024	5	8
Average	5.95	8.07

2206 Maple: 3 Months Daily Parking Login DATA

DATE	Morning	Night	# of parked Cars	Approved By: Paul H. / Mark S.	Signature
9/15/2024	X	X	8 - 10	P. H	<i>[Signature]</i>
9/16/2024		X	7	P. H	<i>[Signature]</i>
9/17/2024	X	X	5 - 11	P. H	<i>[Signature]</i>
9/18/2024	X		6	M. S	M. S
9/19/2024	X	X	8 - 12	M. S	M. S
9/20/2024	X		9	M. S	M. S
9/21/2024	X	X	5 - 9	M. S	M. S
9/22/2024	X		8	M. S	M. S
9/23/2024	X	X	6 - 5	M. S	M. S
9/24/2024	X	X	7 - 9	P. H	<i>[Signature]</i>
9/25/2024	X		8	P. H	<i>[Signature]</i>
9/26/2024	X	X	4 - 11	P. H	<i>[Signature]</i>
9/27/2024	X	X	8 - 10	P. H	<i>[Signature]</i>
9/28/2024		X	9	P. H	<i>[Signature]</i>
9/29/2024	X	X	8 - 10	P. H	<i>[Signature]</i>

9/30/2024	X	X	10-12	M.S	M.S
10/1/2024	X	X	7-10	M.S	M.S
10/2/2024	X	X	8-12	P.H	J. Hunt
10/3/2024	X	X	7-11	P.H	J. Hunt
10/4/2024		X	11	P.H	J. Hunt
10/5/2024	X	X	9-10	P.H	J. Hunt
10/6/2024	X		10	P.H	J. Hunt
10/7/2024	X	X	8-11	P.H	J. Hunt
10/8/2024	X	X	9-12	P.H	J. Hunt
10/9/2024	X		8	P.H	J. Hunt
10/10/2024	X	X	7-11	M.S	M.S
10/11/2024	X	X	8-12	M.S	M.S
10/12/2024	X		11	M.S	M.S
10/13/2024	X	X	6-9	M.S	M.S
10/14/2024	X	X	7-11	M.S	M.S
10/15/2024	X	X	8-12	M.S	M.S

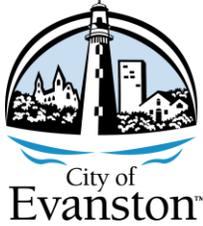
10/16/2024	X	X	7-9	P.H	D. Fleck
10/17/2024	X	X	5-7	P.H	D. Fleck
10/18/2024	X	X	4-8	P.H	D. Fleck
10/19/2024		X	8	P.H	D. Fleck
10/20/2024	X	X	4-7	P.H	D. Fleck
10/21/2024	X	X	7-9	P.H	D. Fleck
10/22/2024	X	X	4-9	M.S	M.S
10/23/2024	X	X	3-7	M.S	M.S
10/24/2024	X	X	4-9	M.S	M.S
10/25/2024	X		2-7	M.S	M.S
10/26/2024	X		3-8	M.S	M.S
10/27/2024	X	X	4-7	P.H	D. Fleck
10/28/2024	X	X	4-8	P.H	D. Fleck
10/29/2024	X		3-6	P.H	D. Fleck
10/30/2024	X	X	4-9	P.H	D. Fleck
10/31/2024	X	X	3-7	P.H	D. Fleck

11/1/2024	X	X	2-5	M.S	M.S.
11/2/2024	X	X	4-6	P.H	D.H.W
11/3/2024		X	3-5	P.H	D.H.W
11/4/2024	X	X	4-8	P.H	D.H.W
11/5/2024	X		3-7	P.H	D.H.W
(*) 11/6/2024	X	X	5-6	P.H	D.H.W
11/7/2024	X	X	7-7	P.H	D.H.W
11/8/2024	X		6	P.H	D.H.W
11/9/2024	X		5	P.H	D.H.W
11/10/2024	X	X	5-8	M.S	M.S.
11/11/2024		X	4-7	M.S	M.S.
11/12/2024	X	X	6-9	M.S	M.S.
11/13/2024	X	X	8-9	M.S	M.S.
11/14/2024	X		7-6	M.S	M.S.
11/15/2024	X	X	8-9	M.S	M.S.
11/16/2024	X	X	10-6	M.S	M.S.

(*) Closed on the parking lot. # of cars went \rightarrow as they don't want to park there

11/17/2024	X	X	5 - 4	M.S	M.S.
11/18/2024	X		5	P.H	D.Hall
11/19/2024	X	X	4 - 7	P.H	D.Hall
11/20/2024	X	X	3 - 6	P.H	D.Hall
11/21/2024		X	5	P.H	D.Hall
11/22/2024		X	6	P.H	D.Hall
11/23/2024	X	X	7 - 8	P.H	D.Hall
11/24/2024	X	X	6 - 8	P.H	D.Hall
11/25/2024	X		5	P.H	D.Hall
11/26/2024	X	X	6 - 5	P.H	D.Hall
11/27/2024	X		7	M.S	M.S.
11/28/2024	X	X	5 - 8	M.S	M.S.
11/29/2024	X	X	6 - 9	M.S	M.S.
11/30/2024		X	8	M.S	M.S.
12/1/2024	X		6	M.S	M.S.
12/2/2024	X	X	7 - 9	M.S	M.S.

12/3/2024	X	X	5-8	M.S	M.S
12/4/2024	X	X	3-6	M.S	M.S
12/5/2024		X	7	M.S	M.S
12/6/2024	X	X	4-7	P.H	Refer
12/7/2024	X	X	5-9	P.H	Refer
12/8/2024	X	X	4-7	P.H	Refer
12/9/2024	X		5	P.H	Refer
12/10/2024	X	X	6-8	M.S	M.S
12/11/2024	X	X	7-5	M.S	M.S
12/12/2024		X	4	M.S	M.S
12/13/2024	X	X	5-9	M.S	M.S
12/14/2024	X		6	M.S	M.S
12/15/2024	X	X	5-8	M.S	M.S



City of Evanston
Planning & Zoning Division
2100 Ridge Ave.
Evanston, IL, 60201-2798
T 847.448.4311
www.cityofevanston.org

February 24, 2025

Paul Harb
PH Development & Management, LLC
PO Box 6039
Wilmette, IL 60091

RE: Major Variation Application – 25ZMJV-0003, Round 1 PRO Review Comments
2206 Maple Avenue Multi-Family Development

Dear Mr. Harb,

Staff has reviewed your Major Variation submittal (with architectural plans dated 2/7/25 and engineering plans dated 12/17/24) for the proposed multi-family rental apartment development at 2206 Maple Avenue. Based on our review, there are certain items that need to be addressed prior to finalizing the targeted 3/26/25 public hearing date with the Land Use Commission. Please review and confirm that the following zoning approvals have been requested in the application, which has been combined with a request for a parking variation at 2215-2219 Maple Avenue/916 ½ Noyes Street:

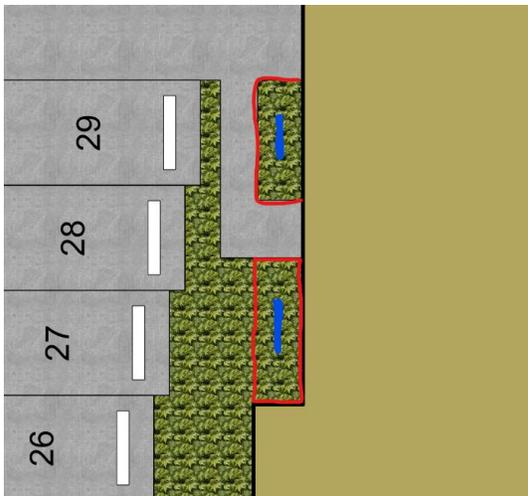
- Major Variation to Section 6-8-7-4, to allow 24 dwelling units (and 6 bonus IHO dwelling units for a total of 30 dwelling units) on the 2206 Maple Avenue property where code restricts the maximum allowable dwelling units to 19.
- Major Variation from the requirements in Table 16-D, to allow 18 off-street parking spaces on the 2206 Maple Avenue property where code requires a minimum of 27 off-street parking spaces. **Please note that if the extra garage spaces in the alley behind 2211 Maple are dedicated in perpetuity to the subject property, it would modify this variation (please also note that per the “Declaration of Restrictive Covenant for Parking Purposes”, there are only 2 extra stalls within the alley garage property that do not serve 2211 Maple). This should be clarified in your response to these comments and resubmittal materials.**
- Major Variation from the requirements in Table 16-D, to allow 16 off-street parking spaces for the 2215-2219 Maple Avenue/916 ½ Noyes Street property (with 11 of those 16 spaces provided on the 2206 Maple Avenue property) where code requires a minimum of 28 off-street parking spaces.
- Major Variation to Section 6-16-4-4, to allow a 9.5’ x 25’ short loading berth where code requires a 10’ x 35’ short loading berth.
- Variation to Section 6-4-6-3(A)1, to allow 72% rear yard coverage with parking and loading uses, where code restricts maximum rear yard coverage to 40% for these uses in a residential district.

Additionally, the following comments shall be addressed in a resubmittal:

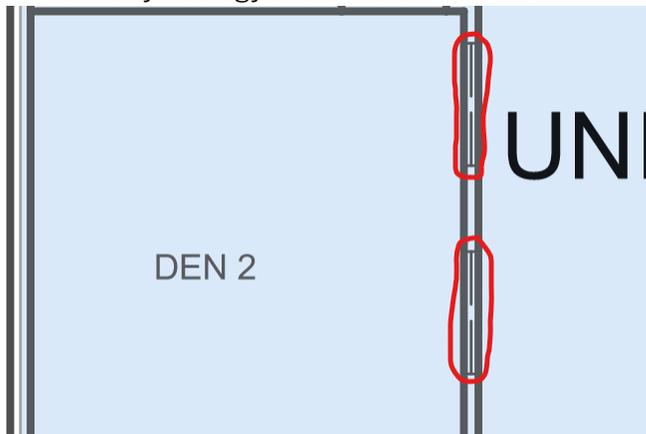
Planning & Zoning

1. The Proof of Ownership document lists 2206 Map LLC as the property owner, however, the application lists PH Development & Management LLC as the applicant and owner. The ownership information on both documents must be aligned; please correct the application or provide proof of ownership showing PH Development & Management LLC as the owner of the property.
2. The Disclosure Document is incomplete. Please complete Section 3 and 4. The last section (If Applicant or Proposed Land User is not a Corporation) must also be filled out; please list the names, addresses, percentages of interest, and relationship(s) to applicant of all persons within 2206 Map LLC (if this is the current landowner and applicant) that hold a beneficial or other interest in the LLC. Please see Title 1, Section 18 for additional information if necessary.
3. The project narrative should be revised to reflect the correct number of proposed onsite parking spaces (29 spaces). Additionally, page one of the narrative should discuss the proposed permanent access and leasing of the 11 surface parking stalls to the 2215-2219 Maple Ave/916 ½ Noyes St. property, along with the two stalls at 2211 Maple (if those stalls will be granted to development in perpetuity).
4. The project narrative should be revised to reflect that only 27 parking stalls are required (please be aware that all affordable units within the development that will be in the City of Evanston IHO program are exempt from parking requirements - not just the minimum Code required IHO units).
5. Please be aware that the affordable units do not exceed the proportional mix relative to the IHO requirements. According to the IHO (Section 5-7-7), based on the proposed overall unit mix and the provision of 3 required units and 3 additional public benefit units, the IHO mix needs to be at minimum:
 - 1 BR: 2 units
 - 2 BR: 2 units
 - 3 BR: 1 unit
 - 4 BR: 1 unitIn other words, the three required Inclusionary units are fewer than the bedroom mix (5 options) and therefore need to be a 4 BR, 3 BR and 2 BR. Given the three additional, public benefit Inclusionary units, all six units must reflect the overall unit mix, leading to the above unit allocation.
6. Relative to the project narrative and parking calculations: The parking requirement for the Garrett building at 2215-2219 Maple Ave/916 ½ Noyes St. (and for the building previously owned by Garrett at 2201 Maple) is based on the current code requirements and is not based on the 1982 parking requirements (Ord. 107-O-82 does not contain language that establishes the 1982 parking regulations to apply to the two Garrett buildings in perpetuity). Additionally, since the work as outlined in the 1982 special use was never done, the special use has likely expired (Section 6-3-5-15(A)). The 1982 special use, and more particularly the Zoning Analysis results generated as part of that application, are relevant because they validate that the parking lot on the subject property has historically served as the required parking for the residential units in the existing Garrett building and previously owned Garrett building. Please feel free to rely on the attached parking tables, which illustrate the parking requirement for both the subject property and neighboring buildings.
7. The required parking for the residential units at 916 ½ Noyes Street was provided within the 49-space parking lot as the 76 units referenced in the 1982 Zoning Analysis would not be achieved without including the 14 units within that building. Please review the attached parking tables for all properties referenced and adjust the Existing & Proposed Parking Requirement Explanation accordingly.
8. The impervious surface coverage graphic on sheet A 1.03 must include the two landings on the north and south sides of the buildings at the exits to each stair tower. Please revise accordingly.

9. The Engineering plans are not coordinated with the architectural plans, in regard to both interior and exterior improvements. Please coordinate all plans.
10. Engineering plans are not indicating the use of pervious pavers.
11. Please provide the missing engineering plan sheets that were indicated on the cover sheet but not provided. Dimensions of the loading berth should be shown on geometric site plan. Loading berth should maintain 3' setback from western property line.
12. Provide front yard setback information for the neighboring properties on the north and south sides of the subject property.
13. Please provide details on move-in/move-outs and trash collection and how it will be managed. Will all move-ins and move-outs utilize the 9.5' x 25' loading zone? It appears that the trash chute discharges into a separate room from the dumpsters, and the ground floor plan indicates two chutes but the upper floor plans indicate only one chute. How will trash be moved, sorted, and managed within the building? Will recycling, trash, and composting be provided? If composting will be provided, where will it be collected and stored as separate from recycling and trash? Will there be an onsite manager, and if so, what days/times will they be there? Will they be staging the dumpsters outside on pick-up days?
14. Consider extending the paving to the north and south of the rear entry door (shown in red below) to the extent necessary to include an additional bike parking rack(s), as shown in blue, for guests or residents if interior racks are at capacity.



15. What is the symbology circled below indicate?



16. Engineering plans are not coordinated with architectural plans, regarding both interior and exterior improvements. Please coordinate all plans.
17. Engineering plans are not indicating the use of pervious pavers.
18. Please provide the missing engineering plan sheets that were indicated on the coversheet but not provided. Dimensions of the loading berth should be shown on geometric site plan. Loading berth should maintain a 3' setback from western property line.
19. Other than the solar panels and heat pump inverters, will there be any rooftop equipment? If so, please indicate the locations on the roof plan.
20. Is there any exterior utility or mechanical equipment proposed that will not be on the roof (transformers, switchgear, utility pedestals, HVAC equipment, etc.)?
21. Please ensure all plans, studies, and documents that are revised as a result of these comments include a revision date.

Building Services

22. A Construction Management Plan (CMP) shall be required at time of permit. The CMP shall include, but is not limited, to the following: water and sewer utility connections, construction staging plan, on-street and on-site construction parking restrictions, hours of operation, a plan including cross-sections showing pedestrian access around the site with the use of curb ramps, signage and/or striping. If determined necessary by the City of Evanston, a foundation survey of surrounding structures including weekly reporting of seismographs for the duration of construction shall be provided, as well as utility protection, submittal of an environmental testing report prior to construction, a visibility diagram for all construction site access points, a proposed schedule for street opening for utility connections with cross-section details, and project updates via monthly newsletter and project website shall be provided at the discretion of the City.

Public Works - Facilities & Parking

23. Please be aware that as a TOD property, and as a development that requires a parking variation, building residents will be prohibited from obtaining permits to participate in "Residential Parking Districts" (permits for on-street parking).
24. The City does not have capacity within Lot #51, located at 927 Noyes Street, to accommodate any surplus parking demand generated from this development or displaced from redevelopment of the existing parking lot.

Public Works - Water/Sewer:

25. Water meter must be located within 5' of the service entering the building envelope.
26. Need to disconnect existing sewer drainage connection at City CB.
27. Storm connection to alley sewer will not be allowed.

Public Works - Forestry & Tree Preservation:

28. All trees within 25-feet of the development must be surveyed and shown on the Plat or plans. It appears there are several trees on the adjacent lot to the south that may be impacted and need tree preservation measures/tree trimming.

Public Works/Engineering:

29. ROW permits will be required for water/sewer connections as well as any right of way obstructions needed during construction.
30. Construction staging and material deliveries through the alley may be an issue as well as deliveries along Maple based on trees and utilities.

31. Replacement of the public sidewalk adjacent to the project site shall be required. Please show this on the engineering plans.
32. Apply for an address assignment. 2206 Maple Avenue is reasonable based on the location of the single front entrance. Use 2206 Maple rather than a range of addresses for all permits going forward.
33. Show how the building will handle the ~1.5' grade difference between the alley and sidewalk.
34. Submit a soils report.
35. Ensure that balconies do not drain onto each other or entry ways.
36. Car lights and parking area should not be visible through the front ground floor windows.
37. Early coordination with ComEd is encouraged relative to a Service Request to begin the engineering process for the large electricity demand needed by an all-electric building. ComEd is known for requiring a long lead time for making adjustments to their infrastructure

Public Works/Waste

38. This property is going to cause issues with neighboring properties and the storage of their waste. The property at 2201 Ridge appears to store their waste containers on the edge of the subject property and there is insufficient space for them to store their containers in this location upon completion of the proposed development. The 2201 Ridge property may have to remove one of their parking garages to allow for the storage of waste. Please reach out to the owner of 2201 Ridge to begin coordinating on this issue and provide an update on the status of these communications.
39. Provide information on the staging of waste containers on service days. Where will they be stored? Will the waste hauler be required enter the service area to gain access to the waste containers?
40. The waste room is separate from the service room (see comment #13). Will dumpsters be wheeled from the waste room to the service room by a janitor? If that is the case, please clarify if a separate chute will be proposed for recycling, which is recommended. If a chute system is not utilized, consider changing the layout of the containers to allow for efficient use of the waste containers by tenants (access to the rear container is blocked by the front container).
41. It is encouraged that this development offer recycling and composting services to tenants.
42. How will tenants be instructed to dispose of furniture/bulk?

Fire:

43. Adopted codes being used 2021: IFC, IBC, NFPA 101. 2019: NFPA 13 and NFPA 72
44. Ensure Illinois Accessibility Code is adhered to.
45. Fire command room size shall be approved by fire official. The room shall be provided with a 5-button combination keypad. Standby power required to be transferable to all elevators. Transfer switch required to be located in the command room. If there is any specialized electrical equipment (such as solar arrays), then a manual emergency shut off will be required at the fire command room.
46. Access during construction for fire apparatus to be within 100 of FDC.
47. Standpipe requirement shall be met during construction.
48. Ensure fire safety & evacuation plans are prepared and presented to FD for review and approval. Each resident must be provided this document.
49. Knox Box shall be required.
50. Building emergency responder radio coverage requirement - 95% BDA requirement.
51. Sprinkler Requirements for Highrises:
 - a. Water supply to fire pump required from at least two water supplies made off the same main (if high-rise).
 - b. Standpipes: Fire Department connections are required to space no further than 100 feet to a fire hydrant.

- c. Sprinkler rise/standpipe must keep pace with construction (one-floor below).
- 52. Fire alarms - In addition to current requirements, coverage requirement in every unit apply.
- 53. Stairwell signage - per EMC code.
- 54. Stairway roof access is required.
- 55. Fire Department access must be provided through-out construction, including access road, gate, and pathways.

Sustainability:

- 56. Compliance with Bird Friendly Ordinance shall be required.
- 57. It is recommended that any exterior lighting be dark skies compliant. This will help the development comply with the Bird Friendly Ordinance.
- 58. Please be aware that the building will need to comply with the multi-family residential EV spaces requirements: “10% EV-Installed, 20% EV-Ready, 70% EV-Capable. EV-installed and EV-Ready to increase 10% every 3 years with remainder of spaces being EV-Capable”.

Health & Human Services:

- 59. A rodent control plan during construction and immediately after is required. The plan must be provided and operated by a licensed rodent control company/technician.
- 60. A waste management plan shall be required.
- 61. Provide a plan regarding debris and dust minimization during construction.
- 62. Environmental assessment is required prior to construction to ascertain the level of environmental hazards or contaminants such as lead, arsenic, PCB’s etc., along with establishment of a means to mitigate them if determined.

In order to maintain the tentative 3/26/25 hearing date with the Land Use Commission, please provide revised plans/documents to address the comments contained within this letter, along with a point-by-point response letter that addresses each comment contained herewith in. Additionally, should it be helpful to coordinate a meeting to discuss these comments with the various reviewing Departments prior to submitting your response, please feel free to reach out to me and I can coordinate a meeting. Should you have any questions or concerns about the above comments, please do not hesitate to contact me directly at shubbard@cityofevanston.org.

Sincerely,



Sam Hubbard
Interim Zoning Administrator/Senior Planner

Cc: Elizabeth Williams, Planning Manager
Sarah Flax, Director of Community Development

Parking Calculations

Use/Tenant/Address	Parking Code Use	Number of Units (standard)	Number of Units (inclusionary)	Parking Ratio	Required Parking
Multi-Family (Studio)	Multi-Family TOD	2	-	.55 spaces/standard Unit	1.1
Multi-Family (1-Bdrm)	Multi-Family TOD	6	2	.55 spaces/standard Unit	3.3
Multi-Family (2-Bdrm)	Multi-Family TOD	7	2	1.1 spaces/standard Unit	7.7
Multi-Family (3-Bdrm)	Multi-Family TOD	7	1	1.65 spaces/standard Unit	11.6
Multi-Family (4-Bdrm)	Multi-Family TOD	2	1	1.65 spaces/standard Unit	3.3
Total Parking Required:					27
Total Parking Provided*:					18
Surplus/Deficit					-9

*There are 29 parking stalls on the property, however, the 11 surface parking stalls on the property will be provided to 2215-2219 Maple/916 1/2 Noyes via a perpetual access agreement

Use/Tenant/Address	Parking Code Use	Number of Units (standard)	Number of Units (inclusionary)	Parking Ratio	Required Parking	Remarks
2201 Maple		26	N/A			
Multi-Family (Studio)	Multi-Family TOD	18	0	.55 spaces/standard Unit	9.9	
Multi-Family (1-Bdrm)	Multi-Family TOD	8	0	.55 spaces/standard Unit	4.4	
Total Parking Required:					14	
Total Parking Provided:					16	Includes 16 garage spaces at rear of building
Surplus/Deficit					2	
2215-2219 Maple and 916 1/2 Noyes		50	N/A			
Multi-Family (Studio)	Multi-Family TOD	16	0	.55 spaces/standard Unit	8.8	
Multi-Family (1-Bdrm)	Multi-Family TOD	34	0	.55 spaces/standard Unit	18.7	
Total Parking Required:					28	
Total Parking Provided:					5	
Surplus/Deficit					-23	Reduces to -12 deficit if 11 parking stalls are provided within the 2206 Maple development

March 3, 2025

Sam Hubbard
Interim Zoning Administrator
Planning & Zoning Division
2100 Ridge Ave.
Evanston, IL 60201-2798

RE: Major Variation Application – 25ZMJV-0003, Round 1 PRO Response to Comments
2206 Maple Avenue Multi-Family Development

Dear Mr. Hubbard,

Thank you for the PRO letter dated February 24, 2025. Please see the responses below to each comment.

Zoning relief is requested for each of the following:

- Major Variation to Section 6-8-7-4, to allow 24 dwelling units (and 6 bonus IHO dwelling units for a total of 30 dwelling units) on the 2206 Maple Avenue property where code restricts the maximum allowable dwelling units to 19.
- Major Variation from the requirements in Table 16-D, to allow 20 -off-street parking spaces, 18 of which are enclosed at the 2206 Maple Avenue property, and 2 (existing) at 2211 Maple Avenue, where code requires a minimum of 27 off-street parking spaces.
- Major Variation from the requirements in Table 16-D, to allow 16 off-street parking spaces for the 2215-2219 Maple Avenue/916 ½ Noyes Street property (with 11 of those 16 spaces provided on the 2206 Maple Avenue property) where code requires a minimum of 28 off-street parking spaces.
- Major Variation to Section 6-16-4-4, to allow a 9.5' x 25' short loading berth where code requires a 10' x 35' short loading berth.
- Variation to Section 6-4-6-3(A)1, to allow 72% rear yard coverage with parking and loading uses, where code restricts maximum rear yard coverage to 40% for these uses in a residential district.

Please see additional responses:

Planning & Zoning

1. The Proof of Ownership document lists 2206 Map LLC as the property owner, however, the application lists PH Development & Management LLC as the applicant and owner. The ownership information on both documents must be aligned; please correct the application or provide proof of ownership showing PH Development & Management LLC as the owner of the property.

Updated.

2. The Disclosure Document is incomplete. Please complete Section 3 and 4. The last section (If Applicant or Proposed Land User is not a Corporation) must also be filled out; please list the names, addresses, percentages of interest, and relationship(s) to applicant of all persons within 2206 Map LLC (if this is the current landowner and applicant) that hold a beneficial or other interest in the LLC. Please see Title 1, Section 18 for additional information if necessary.

Updated.

3. The project narrative should be revised to reflect the correct number of proposed onsite parking spaces (29 spaces). Additionally, page one of the narrative should discuss the proposed permanent access and leasing of the 11 surface parking stalls to the 2215-2219 Maple Ave/916 ½ Noyes St. property, along with the two stalls at 2211 Maple (if those stalls will be granted to development in perpetuity).

Updated.

4. The project narrative should be revised to reflect that only 27 parking stalls are required (please be aware that all affordable units within the development that will be in the City of Evanston IHO program are exempt from parking requirements - not just the minimum Code required IHO units).

Updated.

5. Please be aware that the affordable units do not exceed the proportional mix relative to the IHO requirements. According to the IHO (Section 5-7-7), based on the proposed overall unit mix and the provision of 3 required units and 3 additional public benefit units, the IHO mix needs to be at minimum:

- 1 BR: 2 units
- 2 BR: 2 units
- 3 BR: 1 unit
- 4 BR: 1 unit

In other words, the three required Inclusionary units are fewer than the bedroom mix (5 options) and therefore need to be a 4 BR, 3 BR and 2 BR. Given the three additional, public benefit Inclusionary units, all six units must reflect the overall unit mix, leading to the above unit allocation.

Updated and noting the 3 and 4-bedroom inclusionary units are family-sized units.

6. Relative to the project narrative and parking calculations: The parking requirement for the Garrett building at 2215-2219 Maple Ave/916 ½ Noyes St. (and for the building previously owned by Garrett at 2201 Maple) is based on the current code requirements and is not based on the 1982 parking requirements (Ord. 107-O-82 does not contain language that establishes the 1982 parking regulations to apply to the two Garrett buildings in perpetuity). Additionally, since the work as outlined in the 1982 special use was never done, the special use has likely expired (Section 6-3-5- 15(A)). The 1982 special use, and more particularly the Zoning Analysis results generated as part of that application, are relevant because they validate that the parking lot on the subject property has historically served as the required parking for the residential units in the existing Garrett building and previously owned Garrett building. Please feel free to rely on the attached parking tables, which illustrate the parking requirement for both the subject property and neighboring buildings.

The parking requirement in the project narrative has been updated to reflect the current Zoning Code's parking requirement rather than Section 6-16-1-1 and 6-16-1-2.

7. The required parking for the residential units at 916 ½ Noyes Street was provided within the 49- space parking lot as the 76 units referenced in the 1982 Zoning Analysis would not be achieved without including the 14 units within that building. Please review the attached parking tables for all properties referenced and adjust the Existing & Proposed Parking Requirement Explanation accordingly.

The parking requirement in the project narrative has been updated to reflect the current Zoning Code's parking requirement rather than Section 6-16-1-1 and 6-16-1-2.

8. The impervious surface coverage graphic on sheet A 1.03 must include the two landings on the north and south sides of the buildings at the exits to each stair tower. Please revise accordingly.

Updated.

9. The Engineering plans are not coordinated with the architectural plans, in regard to both interior and exterior improvements. Please coordinate all plans.

Updated.

10. Engineering plans are not indicating the use of pervious pavers.

Updated.

11. Please provide the missing engineering plan sheets that were indicated on the cover sheet but not provided. Dimensions of the loading berth should be shown on geometric site plan. Loading berth should maintain 3' setback from western property line.

Provided.

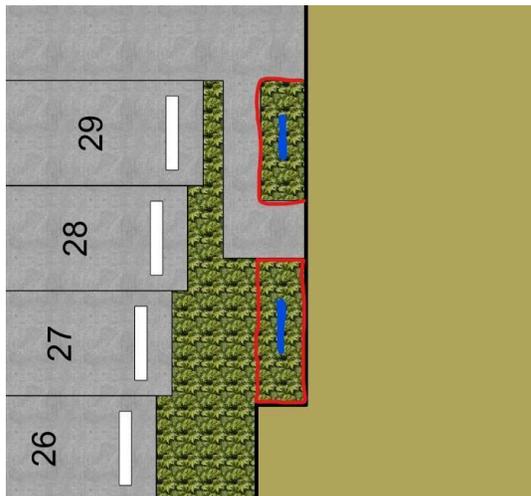
12. Provide front yard setback information for the neighboring properties on the north and south sides of the subject property.

Provided.

13. Please provide details on move-in/move-outs and trash collection and how it will be managed. Will all move-ins and move-outs utilize the 9.5' x 25' loading zone? It appears that the trash chute discharges into a separate room from the dumpsters, and the ground floor plan indicates two chutes but the upper floor plans indicate only one chute. How will trash be moved, sorted, and managed within the building? Will recycling, trash, and composting be provided? If composting will be provided, where will it be collected and stored as separate from recycling and trash? Will there be an onsite manager, and if so, what days/times will they be there? Will they be staging the dumpsters outside on pick-up days?

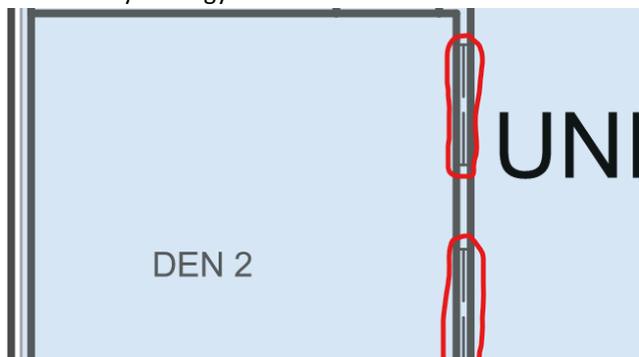
Move-in/move-outs will use either the loading zone (larger moving vehicles) or parking spaces (passenger vehicles) and will coordinate for approval with building management. Separate chutes exist on all floors for garbage and recycling. No further sorting is needed. Building management will stage the dumpsters outside on trash pickup days in accordance with city regulations.

14. Consider extending the paving to the north and south of the rear entry door (shown in red below) to the extent necessary to include an additional bike parking rack(s), as shown in blue, for guests or residents if interior racks are at capacity.



Plans are updated to show this area in use for mechanical equipment.

15. What is the symbology circled below indicate?



The symbology shows loft-style walls that do not extend fully to the ceiling in those areas to show the wall openings that provide light and vent from adjacent spaces where exterior windows are not feasible, in compliance with the Building Code.

16. Engineering plans are not coordinated with architectural plans, regarding both interior and exterior improvements. Please coordinate all plans.

Updated.

17. Engineering plans are not indicating the use of pervious pavers.

Updated.

18. Please provide the missing engineering plan sheets that were indicated on the coversheet but not provided. Dimensions of the loading berth should be shown on geometric site plan. Loading berth should maintain a 3' setback from western property line.

Updated.

19. Other than the solar panels and heat pump inverters, will there be any rooftop equipment? If so, please indicate the locations on the roof plan.

Updated. Additional rooftop equipment may be necessary as full permit plans are developed and will comply with all city regulations.

20. Is there any exterior utility or mechanical equipment proposed that will not be on the roof (transformers, switchgear, utility pedestals, HVAC equipment, etc.)?

Updated. Additional incidental mechanical equipment may be necessary as full permit plans are developed and will comply with all city regulations.

21. Please ensure all plans, studies, and documents that are revised as a result of these comments include a revision date.

Updated.

Building Services

22. A Construction Management Plan (CMP) shall be required at time of permit. The CMP shall include, but is not limited, to the following: water and sewer utility connections, construction staging plan, on-street and on-site construction parking restrictions, hours of operation, a plan including cross-sections showing pedestrian access around the site with the use of curb ramps, signage and/or striping. If determined necessary by the City of Evanston, a foundation survey of surrounding structures including weekly reporting of seismographs for the duration of construction shall be provided, as well as utility protection, submittal of an environmental testing report prior to construction, a visibility diagram for all construction site access points, a proposed schedule for street opening for utility connections with cross-section details, and project updates via monthly newsletter and project website shall be provided at the discretion of the City.

Understood.

Public Works - Facilities & Parking

23. Please be aware that as a TOD property, and as a development that requires a parking variation, building residents will be prohibited from obtaining permits to participate in "Residential Parking Districts" (permits for on-street parking).

Understood.

24. The City does not have capacity within Lot #51, located at 927 Noyes Street, to accommodate any surplus parking demand generated from this development or displaced from redevelopment of the existing parking lot.

Understood.

Public Works – Water/Sewer:

25. Water meter must be located within 5' of the service entering the building envelope.

Understood.

26. Need to disconnect existing sewer drainage connection at City CB.

Understood.

27. Storm connection to alley sewer will not be allowed.

Understood.

Public Works - Forestry & Tree Preservation:

28. All trees within 25-feet of the development must be surveyed and shown on the Plat or plans. It appears there are several trees on the adjacent lot to the south that may be impacted and need tree preservation measures/tree trimming.

A Tree Preservation Permit that shows trees on adjacent properties will be submitted as part of the permit process in compliance with city regulations.

Public Works/Engineering:

29. ROW permits will be required for water/sewer connections as well as any right of way obstructions needed during construction.

Understood.

30. Construction staging and material deliveries through the alley may be an issue as well as deliveries along Maple based on trees and utilities.

Understood. This will be considered and worked through via the CMP.

31. Replacement of the public sidewalk adjacent to the project site shall be required. Please show this on the engineering plans.

Updated.

32. Apply for an address assignment. 2206 Maple Avenue is reasonable based on the location of the single front entrance. Use 2206 Maple rather than a range of addresses for all permits going forward.

Address assignment will be completed as part of the permit process.

33. Show how the building will handle the ~1.5' grade difference between the alley and sidewalk.

Shown on updated plans.

34. Submit a soils report.

Submitted.

35. Ensure that balconies do not drain onto each other or entry ways.

Full permit plans will indicate appropriate balcony slope and drainage.

36. Car lights and parking area should not be visible through the front ground floor windows.

Lights and parking areas will not be visible through ground floor windows. Window coverings will be utilized if necessary.

37. Early coordination with ComEd is encouraged relative to a Service Request to begin the engineering process for the large electricity demand needed by an all-electric building. ComEd is known for requiring a long lead time for making adjustments to their infrastructure

Understood.

Public Works/Waste

38. This property is going to cause issues with neighboring properties and the storage of their waste. The property at 2201 Ridge appears to store their waste containers on the edge of the subject property and there is insufficient space for them to store their containers in this location upon completion of the proposed development. The 2201 Ridge property may have to remove one of their parking garages to allow for the storage of waste. Please reach out to the owner of 2201 Ridge to begin coordinating on this issue and provide an update on the status of these communications.

Discussions with 2201 Ridge are ongoing. There is outdoor space and/or indoor space where the dumpsters for 2201 Ridge can be stored on their own property.

39. Provide information on the staging of waste containers on service days. Where will they be stored? Will the waste hauler be required enter the service area to gain access to the waste containers?

Waste containers will be wheeled outside to the alley edge on service days by building management, and will be stored within the building as shown on the site plan at all other times.

40. The waste room is separate from the service room (see comment #13). Will dumpsters be wheeled from the waste room to the service room by a janitor? If that is the case, please clarify if a separate chute will be proposed for recycling, which is recommended. If a chute system is not utilized, consider changing the layout of the containers to allow for efficient use of the waste containers by tenants (access to the rear container is blocked by the front container).

Separate chutes will exist for garbage and recycle on all floors. Smaller dumpsters will be used that will be manually wheeled to the alley edge on service days by building management, and will be stored within the building as shown on the site plan at all other times.

41. It is encouraged that this development offer recycling and composting services to tenants.

Recycling will be offered to tenants. Composting is currently being explored.

42. How will tenants be instructed to dispose of furniture/bulk?

Tenants will be instructed to dispose of furniture/bulk items according to city requirements and will not be permitted to fly dump or overload dumpsters during move-in/move-out.

Fire:

43. Adopted codes being used 2021: IFC, IBC, NFPA 101. 2019: NFPA 13 and NFPA 72

Understood.

44. Ensure Illinois Accessibility Code is adhered to.

Understood.

45. Fire command room size shall be approved by fire official. The room shall be provided with a 5- button combination keypad. Standby power required to be transferable to all elevators. Transfer switch required to be located in the command room. If there is any specialized electrical equipment (such as solar arrays), then a manual emergency shut off will be required at the fire command room.

Understood.

46. Access during construction for fire apparatus to be within 100 of FDC.

Understood.

47. Standpipe requirement shall be met during construction.

Understood.

48. Ensure fire safety & evacuation plans are prepared and presented to FD for review and approval. Each resident must be provided this document.

Understood.

49. Knox Box shall be required.

Understood.

50. Building emergency responder radio coverage requirement - 95% BDA requirement.

Understood.

51. Sprinkler Requirements for Highrises:

a. Water supply to fire pump required from at least two water supplies made off the same main (if high-rise).

b. Standpipes: Fire Department connections are required to space no further than 100 feet to a fire hydrant.

c. Sprinkler rise/standpipe must keep pace with construction (one-floor below).

Understood.

52. Fire alarms - In addition to current requirements, coverage requirement in every unit apply.

Understood.

53. Stairwell signage - per EMC code.

Understood.

54. Stairway roof access is required.

Understood.

55. Fire Department access must be provided through-out construction, including access road, gate, and pathways.

Understood.

Sustainability:

56. Compliance with Bird Friendly Ordinance shall be required.

Understood.

57. It is recommended that any exterior lighting be dark skies compliant. This will help the development comply with the Bird Friendly Ordinance.

Understood. Exterior lighting will be dark skies compliant.

58. Please be aware that the building will need to comply with the multi-family residential EV spaces requirements: "10% EV-Installed, 20% EV-Ready, 70% EV-Capable. EV-installed and EV-Ready to increase 10% every 3 years with remainder of spaces being EV-Capable".

Understood.

Health & Human Services:

59. A rodent control plan during construction and immediately after is required. The plan must be provided and operated by a licensed rodent control company/technician.

Understood.

60. A waste management plan shall be required.

Understood.

61. Provide a plan regarding debris and dust minimization during construction.

Understood.

62. Environmental assessment is required prior to construction to ascertain the level of environmental hazards or contaminants such as lead, arsenic, PCB's etc., along with establishment of a means to mitigate them if determined.

Understood.

Public Comment

Name (first and last)	Address of residence or property owned	Meeting date	Agenda Item (Property address or description of agenda item)	Position on Agenda Item (as applicable)	How would you like to make your public comment?	If you are providing a written comment, please leave here:	Are you representing yourself as an individual or speaking on behalf of a group?	Please name the group of people for whom you are the designated speaker.
Michael Martin	108 Keeney Stre	3/19/2025	Envision Evanston	In favor	Written comment	<p>My name is Michael Martin, I live on Keeney Street in Evanston with my wife Rose, and I am writing in strong support of Envision Evanston 2045.</p> <p>I believe Envision Evanston would be a tremendous step in the right direction in addressing the most important problems Evanston faces. Consistently and unequivocally in the city's own data, the cost of housing is the most important issue for Evanstonians. More than 30% of homes are cost-burdened (paying more than 30% of their income towards housing expenses). That number shoots up to 50% for renters like myself. One and two-bedroom home values have increased 60% and 52% over the last ten years, and rents have increased around 41%. For working-class families like mine, Evanston's current zoning code is creating a housing shortage which is making living in Evanston untenable.</p> <p>This is not a sustainable path, and consistently in the research literature on housing and demographics, the recommended solution is to allow for more housing to be built. I urge this commission to take seriously the grave threat that housing affordability is currently posing to Evanstonians like me, my wife, and many others, and support the reasonable and necessary reforms proposed in the current comprehensive draft of Envision Evanston.</p>		
Linda Damashek		3/19/0025	Comprehensive plan		In person		Self	
Steve Test	1135 Hinman Ave	3/19/2025	EE2045	Opposed	Written comment	<p>This comment is intended to supplement an idea I submitted to LUC before the March 19 meeting and answer commissioner Halik's questions to me during my appearance at the meeting.</p> <p>At the March 19 LUC meeting I suggested language to insert in the comprehensive plan that would put into effect commissioner Halik's idea that the city, rather than doing a blanket rezoning of all the residential parcels in the city, instead look in a granular manner at parcels near centers and corridors that might be suitable candidates for rezoning and put them in the comprehensive plan. That language is very simple and since the centers and corridors concept is ostensibly obsolete, would apply to all R1 and R2 parcels.</p> <p>"In lieu of changing the zoning of every current R1 and R2 parcel, the city will undertake a survey of all the R1/R2 parcels in the city and create a list of parcels that by their condition and setting are reasonable candidates for rezoning to multi-unit housing use. The list of such parcels will be published for community comment. The list of parcels will be subject to approval by the Land Use Commission."</p> <p>The questions from commissioner Halik were essentially how I thought this survey, creation and approval of a list would work. Here are my thoughts on that.</p> <p>The origin of the idea comes from a parcel in my neighborhood that has the very characteristics for inclusion on the list I am proposing. 1311 Judson Avenue is an obsolete 2 bed/1 bath house in terrible condition that recently sold for the value of the land only. It neighbors two beautiful Queen Anne four-flats, 1301-1307 Judson Avenue, built in 1894. All these parcels are in an R1 zone. 1311 Judson would be a logical parcel for a multi-unit residential building. It would need to be rezoned. How many other parcels in the city have conditions, setting, proximity to larger buildings and other characteristics that make them suitable for use for multi-unit housing? Thus my suggestion for a survey.</p> <p>I estimate there are around 10,000 parcels in R1 and R2 zones. The city planning staff may have exact numbers but I think I'm close enough for the current purpose. If even only a few percent of parcels appear to be suitable there could be several hundred parcels identified with the potential for several times that number of new residential units. The city might task the city planning department with the survey and/or set up an ad hoc committee or commission to do it. Citizens might volunteer to help. The characteristics we are looking for should be enunciated but there is a certain "You know it when you see it." about this too.</p> <p>Once a list of potential parcels for rezoning is assembled it would be published widely and openly for public comments and requests for additions and deletions by local stakeholders which should be carefully considered by the LUC before approval of the list. I believe there could be broad agreement on enough parcels that the effort would be worthwhile and produce a substantial inventory of developable parcels. Developers who want to build multi-unit housing on these parcels should be required to make sure such buildings ensure considerate transitions to the single family homes in their neighborhoods. A formal Design Review board would be a useful addition to the city's administration to deal with this.</p> <p>The survey of parcels, creation of the lists and consideration by the public and LUC could be done by ward or precinct. It might take a while but this is a twenty year plan and a few months or even a year at the front end is not unreasonable. Once the list of parcels is approved everyone in the city will know what the potential changes coming in the future might be. No homeowners will be living with the threat of finding their property surrounded by four-flats that damage the character of their neighborhood. Developers will know where to go to find parcels to develop. Additional housing units will inevitably follow. Compared to the alternative it will be a win/win for everybody.</p>		
Abigail Holcomb	2141 RIDGE AVE	3/26/2025	Major Variations,	Opposed	Written comment	<p>I have very concerned with these proposals primarily for safety concerns that will be exacerbated by reduced parking spots and smaller berths. Parking spots can be quite challenging to find in this area as it stands now. Building upon a current parking lot that is always full and allowing for reduced spots would exacerbate this issue. This would not only negatively impact the neighborhood, it causes many safety concerns. As it stands now, people double park, park in alleys, park illegally on private property, etc making it challenging and unsafe to navigate streets & alleys. I am worried for my children who navigate the alley & street on their bicycles as well as my car as we navigate to and from our home. The reduced parking spots, and smaller loading berth will only make this worse as drivers won't have places to park. Plus more residents mean more move ins & outs, more ride shares, more units with multiple cars - all leading to more vehicles with no place to go in a crowded space.</p>		



Meagan Jones <mmjones@cityofevanston.org>

Re: Ch. 10

Jeff Smith <jeff@jefflaw.com>

Thu, Mar 20, 2025 at 5:49 PM

To: Meagan Jones <mmjones@cityofevanston.org>

Cc: zoning@cityofevanston.org, cade Sterling <csterling@cityofevanston.org>, ruger Steve <sruger@cityofevanston.org>, Elizabeth Williams <ewilliams@cityofevanston.org>

Meagan:

I'm attaching a markup of Chapter 10 of the Comprehensive Plan for benefit of the LUC and the planning team. Your distribution appreciated. I am hopeful that this is sufficient advance to make packet rather than a Wednesday-morning Comment Addendum, to be meaningful.

I am also attaching a relatively recent analysis of neighborhood-wide upzoning which reinforces my observation that upzoning of existing affluent/dense tends to gentrify, nor make more affordable.

I do include a couple ideas about easing transition for the large number of empty-nesters, and would be willing to go to bat for one "gentle density" reform in R1/R2/R3 altho I think "gentle density" is, in general, a misnomer, particularly as contemplated in the draft zoning previously seen.

I continue to take a lot of issue with the density/upzoning assumptions and how they pay out in real world of selling/moving/buying/renting/redeveloping.

A lot of the non-density-related policy suggestions, however, I have left unmolested as they represent some good ideas. Kudos to whoever worked on that.

Yours,

Jeff Smith

847.492.1665

m 312.952.6501

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2 attachments**EE2045PlanCh.10JPsmarkup20Mar2025.pdf**

2077K

**kim-lee-2024-upzoning-and-gentrification-heterogeneous-impacts-of-neighbourhood-level-upzoning-in-new-york-city.pdf**

1225K

CHAPTER 10: HOUSING

INTRODUCTION

This chapter outlines the framework for increasing housing choice and supply, maintaining existing housing stock, preventing displacement, and preserving the racial and economic diversity of Evanston. Key principles of this plan include fair, safe, stable, secure, connected, healthy, attainable, and accessible housing. The table below outlines policy statements that will inform housing decisions and ensure they are aligned with key goals.

What this actually would do is at best complex and uncertain. The most likely impact would be to squeeze out older residents and the actual "middle," making an even MORE unequal community but one where an increasingly well-off "top" can comfort themselves with drive-by diversity and bigger checks being written to "charity."

Comprehensively study housing history and trends and analyze degree to which demand factors, cost factors, and supply factors (including supply reduction due to consolidation/investment) are driving price increases, then evaluate all possible tools for both positive and negative impacts in various submarkets, then choose most positively impactful, least destructive

POLICY	
1	Increase housing supply and expand housing options.
2	Preserve existing homes and prevent displacement.
3	Support alternative housing models.
4	Prioritize healthy buildings and neighborhoods.
5	Increase funding for housing initiatives.
6	Build and leverage local capacity and foster partnerships.

through gentrification and/or soaring taxes and cost of living

This probably has to be #1 -- IF the City has the \$ and if supported by the public. Both big ifs, but market-based private initiatives extremely unlikely to have lasting effect in Evanston.

Hard to overstate how much this is potentially playing with fire, esp. considering lack of baseline study or lack of any study of impacts of density in Evanston. The basic premise that higher population will lower rents lower rents is extremely debatable and a Plan should not hinge on it.

Access to quality housing improves people's physical and mental health by providing safe and stable environments. It also boosts the local economy by increasing investment in the community. Additionally, sustainable housing not only benefits the environment but also improves quality of life for residents. Prioritizing housing that supports health, the economy, and the environment builds a stronger community for residents now and in the future.

EXISTING CONDITI

and homeowners have consistently improved housing stock as the community matured. Along with the professionalization of the resident workforce and an ever-growing university in a landlocked city, that has led

over a century

Evanston is a racially and economically diverse community, but significant segregation remains within the City's neighborhoods. For many years, there has been a high demand to live in Evanston, leading to significant increases in housing costs – both for renters and homeowners. This disproportionately impacts people with lower income, people living with a disability, people of color, and people experiencing unstable housing.

Long-time residents, including seniors on fixed incomes, families of color, and Northwestern graduates are facing pressure to move out. Children of residents, Evanston employees, and others are being priced out of returning and/or moving to Evanston. As public and private investments continue to enhance Evanston's neighborhoods, displacement pressures should be proactively addressed.

consistently increase Evanston land and property values

honestly confronted and

HOUSING COSTS

my analysis shows 35,500 units and the 2020 census is probably pretty accurate at 10,155 SF-detached since they are the easiest to find.



density, and more density

Although little vacant land is available, this Plan outlines a path toward increasing housing choice and supply through gentle density, missing middle housing, and focused growth in centers and corridors. This plan also addresses preserving existing homes and preventing displacement. Together, the City can aim to preserve Evanston's racial and economic diversity, while increasing the prosperity and vibrancy of the community.

overall

The Plan does not actually address preventing displacement. It talks about thinking about it. I believe it will pour gasoline on gentrification unless other factors work to reduce the desirability of Evanston.

Evanston has a diverse housing stock. Less than a third (32 percent) of Evanston's housing units are single-unit detached buildings and 5 percent are single-unit attached. About 14 percent are in buildings with 2 to 4 units, 11 percent are in buildings with 5 to 9 units, and 8 percent are in buildings with 10 to 19 units. About 14 percent are in buildings with 20 to 49 units and 17 percent are in buildings with 50 or more units.¹

A slight majority (56 percent) of Evanston's occupied housing stock is owner occupied and the remaining 44 percent are renter occupied.² About two-thirds (65 percent) of owner-occupied units have three or more bedrooms and 8 percent are studios or one-bedroom units. Conversely, about 80 percent of rentals have two or fewer bedrooms and 5 percent have four or more bedrooms.³ This can make it difficult for larger households to find rental housing and for many households to find attainable housing for sale.

There are a variety of subsidized affordable housing units in Evanston. Over 440 units are restricted to income-qualified seniors and over 200 units are single-room occupancy. Over 100 units are for specific populations such as persons with disabilities and survivors of domestic violence.⁴ Over 85 units are from the City's Inclusionary Housing program.⁵ Additionally, over 550 Evanston households use Housing Choice Vouchers to afford monthly rent payments.⁶

The three largest permanent supportive housing providers in Evanston are Connections for the Homeless, Impact Behavioral Health Partners, and the YWCA Evanston/North Shore. Family Promise and Interfaith Action also provide emergency shelter for those in need. Figure 5 illustrates housing units in structures in Evanston, surrounding communities, Chicago, and Cook County.

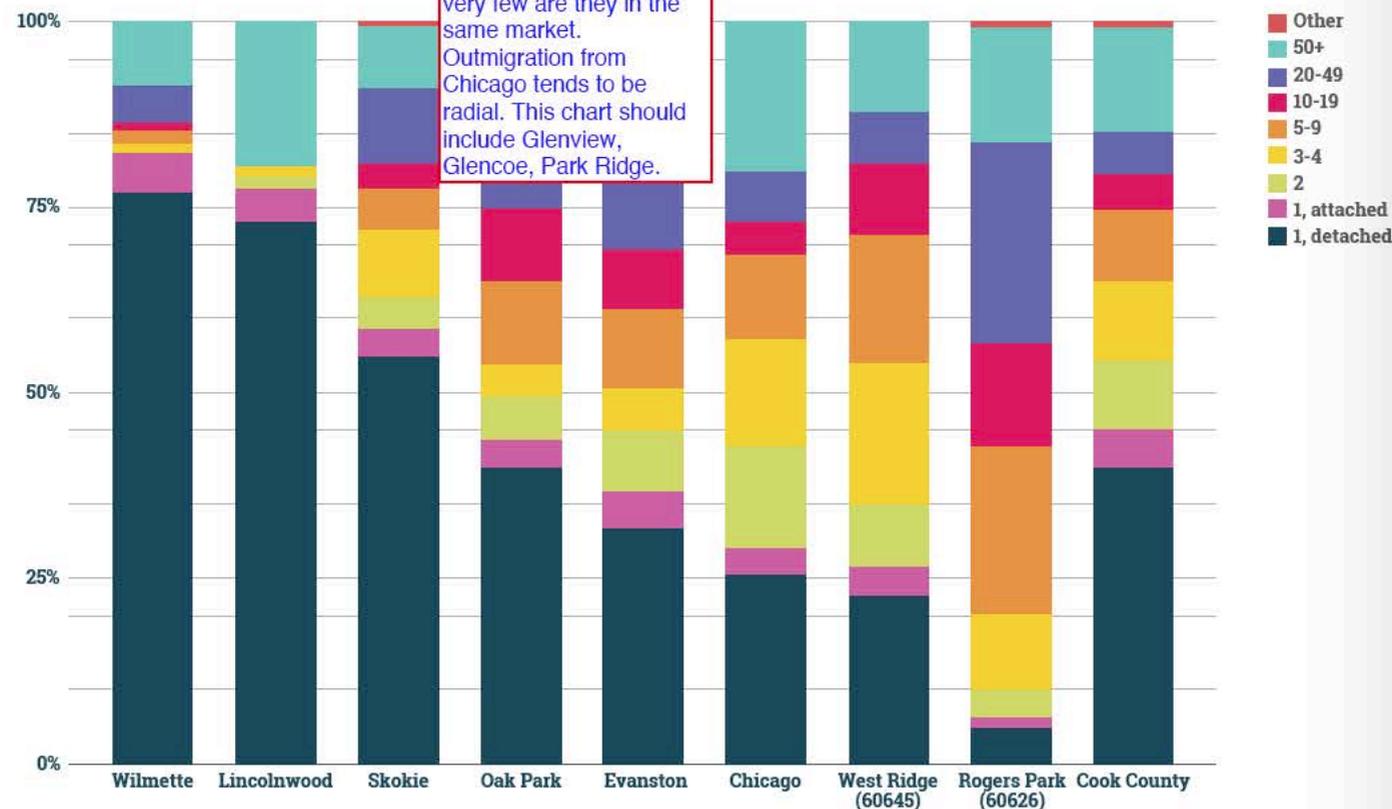
More than one-third of Evanston households are cost burdened, spending at least 30 percent of their household income on housing costs. However, this disproportionately affects renters. Less than a quarter (24 percent) of households that own are cost burdened and 12 percent are severely cost burdened. Meanwhile, nearly half (47 percent) of Evanston's renting households are cost burdened, and 27 percent are severely cost burdened, spending at least 50 percent of their household income on housing costs.⁷

Over the past 10 years, Evanston's median gross rent, including utilities, increased about 41 percent to \$1,625 per month.⁸ In 2012, about 1,250 renter households paid gross rents of \$2,000 or more per month; in 2022 that number rose to over 4,000 households. Similarly, about 4,400 renter households paid less than \$1,000 per month in gross rent in 2012. Ten years later, that number shrank to under 1,500 households.⁹

Since 2012, the number of homeowner households without a mortgage has increased by 55 percent to about 6,500 households. Less than a third of these households spend at least \$1,500 per month in housing costs. However, almost 90 percent of homeowner households with a mortgage spend at least \$1,500 per month in housing costs, and over 43 percent spend at least \$3,000 per month.¹⁰ The rise in households without a mortgage increases current housing affordability, but also masks the cost for prospective homebuyers, who will likely need a mortgage to purchase a home.

Housing cost burdens often stem from low incomes and a lack of affordable housing, with households struggling to pay for other essentials like food, transportation, and medical care. The issue is worsened by wages not catching up with rising housing costs. Additionally, traditional housing affordability formulas overlook transportation costs – usually a household's second-largest expense. Neighborhood amenities, such as walkability and access to jobs and services, heavily influence transportation costs. Compact, well-connected neighborhoods tend to be less affordable. According to the Center for Neighborhood Technology's Housing and Transportation (H+T[®]) Affordability Index, Evanston households spend 46 percent of their income on housing and transportation, with 32 percent allocated to housing and 14 percent to transportation.¹¹

FIGURE 5. HOUSING STOCK



there is little reason other than appearances to include Oak Park, on the other side of the county and with no way to get there easily by transit, in with Evanston. Only for a very few are they in the same market. Outmigration from Chicago tends to be radial. This chart should include Glenview, Glencoe, Park Ridge.

are enrolled on the Evanston campus of

Source: City of Evanston

HOUSING INSECURITY

Housing insecurity is a growing challenge both nationally and locally as housing prices continue to rise. Throughout suburban Cook County, close to 1,200 individuals experienced homelessness during the 2024 Point in Time Count.¹² Evanston shelters are operating at full capacity and there is a significant lack of emergency beds. Reducing barriers to providing a variety of housing options can help ensure every Evanston resident can access safe, stable housing.

STUDENT HOUSING

Evanston is home to over 13,500 undergraduate and graduate students, with over 2,500 attending public institutions, and about 11,000 attending private institutions.¹³ Students represent over 17 percent of the City's population and are an important demographic group, though student housing needs are diverse. Evanston's student incomes and assets vary widely, mirroring **extra word** **ulation**. Student household makeup also differ, encompassing individuals, partners, and unrelated adults – including and without children. Some students live with their parents or in student housing, while others rent apartments or own their homes. Evanston is home to Northwestern University's main campus, which has a substantial economic, cultural, and housing impact on the

Except for the downturns in 2007-09 and the outlier of the pandemic, building has been pretty steady for 55 years, at a 1.4-1.5M/year clip. That would be plenty enough to accommodate all natural population growth. It is demand, not undersupply, that has created the imbalance. Immigration, longevity increase for most of the past century (until recently), and decrease in household size have thrown the balance off.

Approximately 8,400

and 9,500 graduate students

This trickle-down theory RARELY proves true in Evanston -- you could track this through transfer tax records -- and even the sole source cited qualifies it, saying that it doesn't always happen. Closing costs are too high. Only a masochist moves from high-priced in Evanston to even higher-priced.

City. An estimated 8,000 undergraduate students attend Northwestern University, many of whom live in Evanston. Northwestern University requires first-year undergraduate students to live on campus for two years and transfer students to live on campus for one year. It provides over 35 housing options for undergraduates, including dormitories, residential colleges, and fraternity and sorority houses. Additionally, Northwestern University provides three graduate-student dormitories.¹⁴

However, a minimum of 10,000 NU students, and possibly thousands more, must seek housing off-campus, and Evanston is naturally a first choice for many. NU's growth over recent decades has significantly driven demand for Evanston rentals and condos.

move into, making available older units with more attainable prices available.¹⁹ Additionally, new market-rate developments with inclusionary housing units options for households of all income levels.

Furthermore, the U.S. is facing a significant shortage of 7.3 million rental homes that are affordable to renters at or below 30 percent area median income.²⁰ Among over 5,000 renter households earning less than \$50,000 per year, about 9 in 10 (88 percent) are cost burdened.²¹ This shows the need for more affordable housing for Evanston's low-income households.

OPPORTUNITIES

SOARING HOUSING COSTS

In June 2024, the Zillow Home Value Index for Evanston, which reflects the typical value of homes in the 35th to 65th percentile range, was approximately \$430,000 – an increase of about 30 percent over the past 10 years.¹⁵ In the same period, one- and two-bedroom home values in Evanston increased by at least 60 percent and 52 percent, respectively.¹⁶ However, Zillow's index does not account for other costs of ownership, including but not limited to mortgage interest, insurance, closing costs, maintenance, property taxes, and HOA fees.

Renters are also experiencing significant increases in housing costs. The median rent has increased by about 41 percent over the past 10 years.¹⁷ Over that same period, the number of renter households spending less than \$1,000 per month on housing costs has greatly decreased, by about 67 percent, to less than 1,500 households.

COMBAT DISPLACEMENT

Developing an antidisplacement strategy is essential to protecting Evanston's income diversity. The benefits of new development need to be felt by current residents. Without strategies, policies, and funding in place, low- and moderate-income households – particularly renter households – may be forced to move out of Evanston. Cultural displacement is also a concern, as the closure of important community landmarks, like historically Black churches or local restaurants, can erase neighborhood history and, with it, a sense of community.

Evanston can promote positive development by working with community organizations to ensure a successful revitalization that values culture, health, and positive human development, not just increased economic growth. Limiting development out of concern for displacement reduces opportunities for many long time Evanston residents. The City plans to expand development potential while minimizing displacement, ensuring Evanston community members can benefit from new resources, services, and opportunities.

INCREASE THE HOUSING SUPPLY

The chronic underbuilding and underinvestment in housing has resulted in a nationwide shortage of around 4.9 million homes in 2023.¹⁸ As high housing costs are driven by a shortage of available homes, increasing the housing supply through new developments, less restrictive zoning, and repurposing underused spaces can provide renters and buyers more options. Expanding housing benefits households at all income levels, from low to high. New market rate developments give higher income households options to

Multiple studies show the opposite. Price reductions tend to be concentrated among pricier properties (because density reduces the desirability premium for those brackets) while increasing prices for previously more affordable properties (because of ripple effect of increased land values).

ideological/advocacy. Look at mobility records. Also: someone who has been chased out of their house by prices/taxes is likely NOT to love Evanston so much that they want to now move into a more expensive development. The logic here is baffling unless one has not lived in Evanston.

PLEASE DO!

Actually most of these are uncontroversial. Drop the endless supply refrain and there are some creative ideas here. I trust the 2019(?) white paper was consulted? There is no Policy/Action implementing a process of working with groups that really know the neighborhood or the market. This all continues the process of letting developer interests (and groups that in essence get a commission from development) drive thje conversation while ignoring the collective lived and professional experience in our own community. But many of the individual ideas are OK.

ILLINOIS POLICY LANDSCAPE

Unlike other states, Illinois has not provided as much state-level leadership or mandates to address rapidly rising housing costs. For example, California requires municipalities to plan the community's housing needs, while Washington's growth management framework requires municipalities to plan housing that is affordable for all income levels. In comparison, Illinois requires municipalities with a serious shortage of affordable housing to develop a housing plan.

Another challenge is the state's ban on rent control, which limits Evanston's ability to stabilize rents. This leaves the City with fewer tools to protect residents from rising rents and displacement.

However, in July 2021, the HB2621 bill went into effect, which includes new property tax incentives for new construction or repaired buildings tied to the provision of affordable rental housing.²² This led to the creation of the Cook County Affordable Housing Special Assessment Program. While the program has yet to significantly impact the number of affordable units in Evanston, current development proposals are planning to participate in the program, and therefore include a larger percentage of affordable units moving forward.



Source: City of Evanston



Source: City of Evanston

COLLABORATION AND PARTNERSHIPS

By collaborating with local and regional organizations, anchor institutions, philanthropic organizations, and financial institutions, Evanston can address housing affordability on a larger scale by developing workforce housing, gathering resources for larger initiatives, reducing duplicated efforts, and unlocking grants, tax credits, or technical assistance. These partnerships will help Evanston leverage its limited resources by tapping into the expertise, funding streams, and networks of these partnerships.

POLICIES AND ACTIONS

These policies and actions provide a varied approach to increase housing choice and supply, preserve existing homes, prevent displacement, and preserve racial and economic diversity.

1. IMPLEMENT A COMPREHENSIVE HOUSING STRATEGY

- H 1.1 Develop and implement a strategic housing plan to guide the City's housing investments and initiatives.
- H 1.2 Complete a housing needs assessment to determine the types and qualities of housing needed for Evanston's population.
- H 1.3 Collect and analyze local housing data routinely to inform data-driven housing decisions.

2. INCREASE HOUSING SUPPLY AND HOUSING CHOICES

- H 2.1 Encourage a diversity of housing types throughout Evanston.
- H 2.2 Update zoning regulations to reduce the cost and increase the ease of housing rehabilitation and new construction.
- H 2.3 Facilitate the use of new and innovative construction technologies, such as manufactured, modular, and mass timber construction, and remove barriers in plan review, permitting, and inspection processes.
- H 2.4 Update live/work and occupational use regulations to allow a wider range of businesses and services.
- H 2.5 Streamline zoning approval and entitlement processes, building plan review, permitting, and inspection processes to promote development.

I don't think there are a lot of unnecessary regs. There is inconsistency and erratic/arbitrary enforcement. Sometimes folks are held up for seemingly no reason but othertimes shocking greenlighting "look the other way " occurs, causing hard feelings. Build baby Build cannot be the philosophy. I welcome a thoughtful review and pen discussion what exactly might be a target for efficiencies in permitting, inspection, etc., or where the IBC is over-the-top. I have not heard a small homebuilder say Evanston is the problem (generally -- there are complaints with electrical, occasionally plumbing). The complaints about development in Evanston are from the chronically whining skyscraper crowd.

- H 2.6 Speed up the entitlement process for developments that highly exceed the percentage of inclusionary units required by the Inclusionary Housing Ordinance.
- H 2.7 Update building codes to accommodate more energy- and cost-efficient building designs.
- H 2.8 Develop preapproved design plans for accessory dwelling units (ADUs), duplexes, triplexes, cottages, and other neighborhood-scale housing to expedite approval processes and reduce development costs.
- H 2.9 Develop an ADU financing and technical assistance program to speed up the development of ADUs that provide income for low- and moderate-income homeowners and income-restricted housing units in high-cost neighborhoods.
- H 2.10 Redevelop underused properties to increase the supply of housing that is affordable to low and moderate income households, and integrate housing into new construction and rehabilitation of City assets.

recipe for exploitation/shoddiness

we don't want to incentivize artificially manufactured "underuse" of facilities. But Tony Rezko would love it.

3. PRESERVE EXISTING HOUSING STOCK

- H 3.1 Increase funding to rehabilitate housing that is able to low- and moderate-income residents to maintain t, safe housing, and incorporate energy-efficient and climate-resilient features.
- H 3.2 Develop funding sources to assist owners of naturally occurring affordable housing (NOAH) – private properties that are affordable without government subsidies – to decarbonize and remove environmental hazards.
- H 3.3 Work with local housing providers to protect NOAH.
- H 3.4 Develop a housing database to proactively monitor and preserve existing housing stock.

I would support zoning change to allow as of right the non-disruptive conversion of a SFD into a 2-flat (or more, depending on s.f.) SO LONG AS THE ENVELOPE DOESN'T CHANGE and provided there is an assessment that singly or cumulatively the parking on the block can handle add'l vehicles. Possibly the number of such conversions on a block could be limited.

"unrelated persons" is also a target for reform. Again, needs care.

So: no actual steps.

4. PREVENT DISPLACEMENT OF EVANSTON RESIDENTS

H 4.1 Develop and refine an antidisplacement strategy to address the changing development landscape in Evanston.

H 4.2 Evaluate policies and programs and update existing programs or introduce new ones that help renters, particularly those with lower incomes, maintain stable housing.

H 4.3 Research and develop technical and financial support for shared-equity housing models, including community land trusts and limited-equity cooperatives.

H 4.4 Expand the availability of and access to programs including financial literacy, education, workforce development, and career pathways to help lower-income households build economic stability and self-sufficiency.

H 4.5. Fiscal discipline in City contracting and construction and crack down on school spending.

5. PROMOTE HEALTHY BUILDINGS AND NEIGHBORHOODS

H 5.1 Adopt and enforce zero-emissions building codes and standards to improve indoor air quality, maintain natural light, achieve energy efficiency, and remove environmental hazards like lead to ensure living spaces contribute to a healthy living environment. **RECIPE FOR DISPLACEMENT!**

H 5.2 Incentivize and facilitate the construction of all-electric living spaces, installation of solar panels and heat pumps, and other technologies that address climate change and improve sustainability.

H 5.3 Promote green building practices, such as LEED certification, WELL standards, passive house, and universal design in rehabilitation and new construction.

H 5.4 Prioritize housing development on sites with access to green spaces, parks, pedestrian and bike infrastructure, and other amenities that promote physical activity and mental well-being and improve climate resilience.

H 5.5 Incorporate public health data and best practices into planning and residential and commercial entitlement processes to ensure they meet health and safety regulations and support community well-being.

6. SEEK OUT AND EXPAND REVENUE SOURCES FOR HOUSING INITIATIVES

H 6.1 Develop a comprehensive funding strategy that includes current, anticipated, and new revenue sources to support the housing goals outlined in this plan and in the strategic housing plan.

H 6.2 Evaluate and implement new revenue sources such as development linkage or impact fees to increase, diversify, and provide more consistent funding for affordable housing.

H 6.3 Work with surrounding cities, counties, and the state to establish funds dedicated to investing in and preserving NOAH.

H 6.4 Encourage community and regional financial institutions to explore potential private financing for small-scale, locally owned, multiunit developments and home improvements.

H 6.5 Pursue additional federal, state, and county funding to address housing needs.

This needs serious cost-benefit analysis as well as considerable exemptions for small properties, existing residents etc.



Source: City of Evanston

7. BUILD AND LEVERAGE LOCAL PARTNERSHIPS TO EXPAND HOUSING AVAILABILITY AND AFFORDABILITY

H 7.1 Leverage public-private partnerships with philanthropic foundations, regional and community banks, nonprofit organizations, and real estate investment trusts (REITs) to increase funding for housing.

H 7.2 Engage Evanston institutions and businesses to develop programs that expand housing availability and affordability within institutional campuses such as Northwestern University and Continuing Care Communities, and employer-assisted housing programs.

H 7.3 Establish strategic partnerships with transit agencies, school districts, and faith-based organizations for housing (re)development. **NO**

H 7.4 Initiate education, outreach, and engagement efforts that make use of social marketing best practices and storytelling to highlight the need for affordable housing and its community benefits.

H 7.5 Build relationships with developers, real estate professionals, home builders, and homeowners to continue removing housing development barriers.

Requesting stop the polarizing language of "barriers"? The principal reason Evanston is not affordable is its desirability. Is that a "barrier"? Limited land area in a place that is already in the 99th density percentile is a real thing. Decades of building and NU growth have only made Evanston more expensive. Our zoning has stood for a century to protect against speculation and to keep from turning into a Chicago ward, or a suburban version of one. Common sense and democracy should not be framed as "barriers."

There is a huge latent inventory of housing and bedrooms in Evanston. because Evanston is relatively affluent and healthy (which correlate) compared to many places, it is easier than in some places for the aging-in-place population to continue to do so; also the closing costs of ANY move (within, without) disincentivize such moves.

Some of this inventory issue -- which should be seen as unusual "demand" by a cohort, not as a supply problem -- is a simple function of the outside nature of the Baby Boom, whose oldest members are now 79 and youngest, depending how defined, about 60-61. This is the time of life when one usually/hopefully is still active and has paid off mortgage and gotten kids thru college. Like the sweet spot of owning a car, when payments are done but it doesn't yet need repairs, older folks stay in their houses until health forces them out (or they move to be nearer grandkids, a new phenomenon).

But time marches on and this bubble of the Boom, like everything else the Boom has experienced, from college thru job hjunts through BUYING their own homes (which soared in cost as en masse the kids born inthe 50s sought homes) will also pass. Aging, disease, and the inevitable will take their toll -- in massive numbers.

Evanston has THOUSANDS of houses and bedrooms that will accommodate many thousands of new families over the next 5-010 years as this occurs. The PEAK years of Boomer births are now 67-69.

A house in Hinman or Hartzell with \$750K at a 6% broker fee and title/transfer might cost someone 40K to sell!

Evanston if it wants to smooth transitions should

- (a) have a waived or reduced transfer tax for a move within Evanston
- (b) crunch the numbers on a reduced transfer tax period for older residents
- (c) have a program of broker-free FSBO or sale-to-land-trust that could be a huge in-pocket savings for the seller, incentivizing sale of underused housing stock. In fact CoE could have a website for that. Possibly RE professionals could aid in pricing, pro bono (so long as not involved -- have to watch ethical issues and possible senior exploitation).

Upzoning and gentrification: Heterogeneous impacts of neighbourhood-level upzoning in New York City

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Urban Studies

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Abstract

In light of the calls to relax restrictive density regulations, this paper examines how increasing residential development capacity, i.e. upzoning, may change the demographic, socio-economic and housing characteristics of the affected neighbourhoods. We examine the neighbourhood-level upzonings of New York City to answer this question. We find that upzoning is positively associated with signs of gentrification – upzoned neighbourhoods became whiter, more educated and more affluent in the long run. Upzoning is also associated with increases in housing production, but housing prices also increased. Most importantly, we find that these effects varied significantly by the intensity of upzoning and the pre-upzoning local contexts. Neighbourhoods affected by intense upzonings experienced gentrification more intensely, along with greater housing production, rent growth and housing price appreciation. Black-majority and low-income neighbourhoods experienced gentrification to the greatest extent, while neighbourhoods with high demand for housing saw the greatest increases in housing supply. We discuss different mechanisms of gentrification likely at play for the different types of neighbourhoods.

Keywords

gentrification, land use regulation, neighbourhood change, upzoning, zoning reform

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摘要

鉴于放宽限制性密度规定的呼吁，本文考察了增加住宅开发能力（即升级分区）如何改变受影响街区的人口特征、社会经济特征和住房特征。我们研究了纽约市的街区级升级分区，以回答这个问题。我们发现，升级分区与绅士化的迹象呈正相关—从长远来看，升级后的街区白人更多、受教育程度更高、更富裕。升级分区也与住房产量的增加以及房价的上涨有关。最重要的是，我们发现这些影响因升级分区的强度和升级分区前的当地环境而异。升级分区强度更大的街区，绅士化的强度也更高，并且住房产量、租金和房价增长的幅度也更大。黑人占多数的和低收入街区经历了最大程度的绅士化，而住房需求高的街区住房供应增长最大。我们讨论了不同类型街区可能存在的不同的绅士化机制。

关键词

绅士化、土地使用监管、街区变化、升级分区、分区改革

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Introduction

In recent years, calls to relax restrictive land use regulations have dominated national, state and local policy debates in many countries, particularly in places where housing prices have been rapidly rising. Such calls have garnered nationwide support in the US as a way to boost housing supply and bring down the cost of housing (Manville et al., 2022; Quigley and Raphael, 2004) and to further housing equity by removing zoning regulations with exclusionary effects (Kim, 2024; Manville et al., 2020; Pendall, 2000; Whittemore, 2021). One of the most common zoning reforms for housing production has been to increase the allowable residential density on a given lot, a practice often referred to as ‘upzoning’.

Advocates of upzoning argue that removing restrictive density regulations will lead to more housing production and alleviate housing cost burdens (Glaeser and Gyourko, 2002). However, empirical research presents mixed evidence when it comes to the link between upzoning, housing production and affordability (Asquith et al., 2023; Been et al., 2023; Freemark, 2023; Greenaway-

McGrevy and Phillips, 2023; Greenaway-McGrevy et al., 2021). Moreover, sceptics of upzoning have raised concerns over the effects of upzoning on incumbent residents. They fear that upzoning will result in new developments that cater to high-income households, leading to gentrification and displacement of existing low-income residents (Rodríguez-Pose and Storper, 2020).

Although empirical research on upzoning’s effects is growing rapidly (Freemark, 2023), there are gaps to be filled. First, examining the long-term effects of upzoning has been challenging given that many upzoning initiatives are of recent vintage. Moreover, most of the quantitative studies on upzonings have focused on housing supply and property values, but less on the changes in neighbourhood characteristics. Studies of neighbourhood change have mostly been qualitative accounts based on a select few cases, limiting the generalisability of the findings. Lastly, existing studies have yet to identify whether varying intensities of upzoning and variations in pre-upzoning neighbourhood conditions matter for its effect.

Through an in-depth investigation of the experience of New York City (NYC), we aim to make the following contributions to the existing literature on upzoning: (1) identifying the long-term, at minimum 10 years, effects of upzoning on a comprehensive set of neighbourhood characteristics associated with gentrification, housing production and affordability and (2) teasing out how the effects of upzoning differ by the intensity of upzoning and (3) by pre-upzoning local conditions. We compare the changes in the characteristics of upzoned neighbourhoods with those that were similar prior to upzoning but were not upzoned. We construct the comparison group using a matching method.

Building on previous literature (Finio, 2022; Lee and Perkins, 2023), we identify gentrification as: increases in non-Hispanic whites and relative decreases in other racial and ethnic groups; increases in population with a bachelor's degree or higher and high-status occupation; and increases in median household income. Given that housing characteristics have a circular relationship with gentrification, we consider them as part of the mechanisms of gentrification rather than simply as outcomes.

NYC offers a particularly rich setting for achieving our goals. First, neighbourhood-level rezoning has long been the primary growth management strategy of the city, which allows for sufficient sample size and for examining the long-term effects of upzoning. Second, NYC has neighbourhoods that are extremely diverse, serving as a context for examining how neighbourhoods with varying characteristics are affected by upzoning. There are several existing studies on NYC's upzoning (e.g. Davis, 2021; Furman Center, 2010; Liao, 2023; Peng, 2023) but none have explored how upzoning's impact may vary by the pre-upzoning neighbourhood characteristics and the intensity of upzoning.

Defining upzoning

There is no definitive definition of what constitutes an upzoning. We understand upzoning to be any zoning change that increases the density and intensity of allowable development capacity but focus on increases in residential use for the purpose of this paper. In practice, upzoning can refer to vastly different types and scales of zoning changes. For instance, an example of a project-level upzoning is the practice of upzoning on a project-by-project basis for large-scale development projects (Kim, 2020); a neighbourhood/area-wide upzoning may increase the allowable densities around transit stations (Freemark, 2020; Manville et al., 2023); a citywide upzoning can allow for additional units in zoning districts that previously only allowed one single-family, detached housing per lot (Kuhlmann, 2021); and a state-wide upzoning can increase development capacities statewide, such as the Senate Bill 9, passed in 2021 in California, which allows property owners in single-family zoning districts to build up to four units on each lot.

The intensity of upzoning can also vary. At the low end of the intensity spectrum, allowing accessory dwelling units to be built by right in single-family zoning districts, can be identified as upzoning. At the higher end of the intensity spectrum, an over 10-fold increase in development capacity can be found in certain parts of NYC, such as the Hudson Yards neighbourhood. Most upzoning cases lie somewhere in between.

Given the various types and scales of upzoning, we wanted to understand how upzoning's impact may vary by its design and target communities. Although empirical research examining the impacts of upzoning is at its nascent stage, there is increasing evidence that the effects will vary by geography and policy design.

Upzoning, housing affordability and gentrification

Effects of upzoning on housing market

Existing studies on the upzoning's effect on (1) housing production and (2) price and cost of housing offer mixed results (Freemark, 2023). One of the most cited papers on upzoning is Freemark's (2020) paper on upzoning parcels near transit stops in Chicago, which sparked heated debate among urban scholars (Manville et al., 2022; Rodríguez-Pose and Storper, 2020). The author finds that upzoning did not lead to immediate increases in new housing construction when compared with the nearby areas that have not been upzoned. By contrast, many others have reported that upzoning does lead to an increase in housing supply (Cheung et al., 2024; Dong, 2024; Greenaway-McGrevy and Phillips, 2023; Peng, 2023; Stacy et al., 2023).

A closer reading of the existing literature suggests that the variations in the design of upzoning initiatives may explain the diverse degree and direction of the effects. For example, the effects of upzoning will vary depending on the geographic extent and the intensity of upzoning. Studies of mass upzoning of all land that previously only allowed for single-family detached homes have found positive effects on housing production (Cheung et al., 2024; Dong, 2024; Greenaway-McGrevy and Phillips, 2023). A couple of studies that examined neighbourhood-level upzonings, by contrast, did not find increased housing production, although the evidence is far from conclusive (Freemark, 2020; Murray and Limb, 2023). The experience from Washington, DC suggests that hyper-targeted upzonings associated with broader redevelopment plans can lead to a substantial number of new houses (Brooks and Schuetz, 2023).

With regard to property values, many studies have found that upzonings have led to value appreciation. For example,

Kuhlmann's (2021) study of Minneapolis revealed that homes on parcels that were upzoned from single-family housing to allow for up to three units experienced increases in housing sales prices compared to the homes nearby on non-upzoned lots. Greenaway-McGrevy et al. (2021) found that upzoning about three-quarters of land in Auckland, New Zealand also led to notable increases in property values for lightly developed parcels on which redevelopment potential was large. By contrast, property values of intensively developed parcels declined compared to properties in similar, yet non-upzoned parcels, due to higher demolition costs and foregone rental incomes.

Property value appreciation has a mixed relationship with gentrification depending on neighbourhood context. If appreciation occurs in high-homeownership neighbourhoods, existing homeowners are poised to benefit. If it occurs in renter-heavy neighbourhoods, appreciation poses a direct displacement risk to the incumbent residents. Freemark's (2020) study of Chicago's neighbourhood-level upzoning around transit stations found significant increases in the transaction prices of properties across all types. Juxtaposing this finding with the non-effect on housing construction, the author raises concerns about the impact of upzoning on gentrification and displacement.

Few studies have shed light on the heterogeneity of upzoning's effects depending on the demographic, socio-economic and land use characteristics of neighbourhoods prior to upzoning. Atkinson-Palombo (2010) examined the effects of new transit stations and permissible zoning in the Phoenix metropolitan area and found that homes and condos in amenity-rich, mixed-use neighbourhoods saw significant price appreciation, whereas residential neighbourhoods experienced no appreciation effect. Cheung et al. (2024) examined the experience of Auckland, New Zealand and found that property value appreciation was

the largest in middle-income neighbourhoods and the lowest in high-income neighbourhoods. Kuhlmann (2021), in the case of Minneapolis' citywide upzoning, showed that housing value appreciated more in neighbourhoods where median assessed values were lower than the city median. These studies collectively suggest that upzoning's effect will vary by the pre-upzoning conditions of the affected neighbourhoods.

How upzoning changes neighbourhood characteristics

Compared to the body of research on housing outcomes, there is relatively limited quantitative research on how upzoning changes neighbourhood characteristics. Studies that exist are mostly based on NYC. For example, Davis (2021) finds that the upzoning was associated with increases in the white population share between 2000 and 2010. Liao (2023) examines the effects of 22 upzoning initiatives in NYC that occurred between 2004 and 2013 on residential mobility, showing higher mobility rates among incumbent residents in the upzoned neighbourhood. Moreover, the author finds that renters and Black households were even more likely to move out. In-migrants, by contrast, were more likely to move from higher-income neighbourhoods. Based on these findings, Freemark (2023) suggests that upzoning, in the short term, 'provides an outlet for gentrification' (p. 557).

Peng (2023) offers the most comprehensive quantitative analysis to date that sheds light on the long-term effects of upzoning on neighbourhood characteristics. Examining upzonings that occurred in NYC between 2002 and 2013, the author finds that upzoning led to greater housing supply and price appreciation in the long run and that these effects grew over time. The author further finds that both high-skilled and low-skilled workers increased in the upzoned areas

compared to the non-upzoned areas, but that the high-skilled workers increased more than the low-skilled workers, confirming Freemark's prediction that upzoned areas have become outlets for gentrification.

Qualitative studies of the upzoned neighbourhoods in NYC collectively suggest that upzoning has led to or accelerated the pace and intensity of gentrification (Busa, 2014; Curran, 2007; Stabrowski, 2015). For example, in the case of Greenpoint/Williamsburg in Brooklyn, Curran (2007) argues that the 2005 rezoning led to the residential displacement of the Polish immigrant community (see also Stabrowski, 2015). Freeman's (2005) classic study of gentrification in historic black communities, such as Harlem and Clinton Hill, finds that upzoning these neighbourhoods in the 2000s accelerated the pace of gentrification (Busa, 2014).

Our review of both quantitative and qualitative studies suggests that upzoning will likely lead to gentrification. Given that areas targeted for upzoning are oftentimes communities of colour, with lower income and rates of homeownership (Furman Center, 2010; Lo and Freemark, 2022), the association between upzoning and gentrification deserves greater scholarly attention. Such communities are likely to feel gentrification pressure more intensely than wealthy white neighbourhoods.

Research design

Analytical approach

This paper aims to answer the following questions: How are neighbourhood-level upzonings associated with changes in long-term neighbourhood characteristics? How do the effects vary by pre-upzoning conditions? We answer these questions by comparing the characteristics of census block groups that were upzoned in NYC between 2001 and 2013 with those that were not upzoned, using Decennial Census, American Community Survey (ACS) and Primary

Land Use Tax Lot Output (PLUTO) data.¹ Given that zoning changes are disproportionately more concentrated in neighbourhoods with less political resistance (Been et al., 2014; Gabbe, 2018, 2019), we match the upzoned neighbourhoods with non-upzoned ones with similar pre-treatment characteristics through Coarsened Exact Matching (CEM) and compare their neighbourhood characteristics in 2020.²

To construct our sample, we first compiled a complete list of all rezoning initiatives after consultation with the Director of Zoning at the NYC Department of City Planning (DCP). The focus was on the rezonings that took place under the Bloomberg administration, as this period saw the most aggressive and comprehensive upzoning initiatives. Between 2001 and 2013, we identified 122 rezoning initiatives that changed dimensional and density regulations. We then classified them into four groups following an internal classification system developed by the DCP in 2009: (1) 30 initiatives that primarily increased residential development capacity; (2) 23 initiatives that combined upzoning with downzoning or other zoning amendments; (3) 66 initiatives that either primarily downzoned or locked in existing density restrictions; and (4) two initiatives that did not change residential development capacity. Among these categories, we focus on the first two categories, which involved some form of upzoning, totalling 53 initiatives (Figure 1).³ We then identified the boundaries of all upzoning initiatives from a GIS shapefile, NYC Zoning Map Amendments (NYZMA), maintained by DCP.

Once we identified 53 initiatives that increased residential development capacity, we calculated the difference between the maximum allowable residential floor area ratio (FAR) in 2001 and 2013 for each initiative. We used the 2002 and 2014 PLUTO, a database containing tax lot-level land use

and tax data maintained by DCP, to calculate the changes in development capacities.⁴ However, one of the most significant limitations of the pre-2012 PLUTO database, which has not been resolved by previous researchers, is that the database does not specify the use category of its maximum development capacity entry (e.g. residential, commercial). This presents a considerable challenge to scholars interested in how upzoning affects housing supply because the changes in the actual residential development capacity are unknown.

Methodologically, what sets our study apart from previous studies of NYC's upzoning is that we found a way to identify the exact changes in *residential* development capacities by carefully reviewing the details of each rezoning initiative (explained in further detail in Online Supplemental Appendix C). As a result, we were able to examine how increasing residential development capacity, specifically, is associated with changes in neighbourhood and housing characteristics.

Following previous literature (Been et al. 2014; Dong, 2024; Gabbe, 2018, 2019), we use census block groups as our unit of analysis. We first identified the upzoned block groups that fell completely within the upzoning initiative boundaries. For those block groups that were partially included, we considered a block group as upzoned if more than 80% of the block group's total lot area was affected.⁵ As a result, 785 block groups were identified as upzoned.

The second to fourth columns of Table 1 present neighbourhood characteristics of all upzoned and non-upzoned block groups in New York City in 2000, prior to matching. Consistent with previous studies, upzoned block groups had statistically significantly different characteristics compared to non-upzoned neighbourhoods (Been et al., 2014; Gabbe, 2018, 2019). The upzoned area were more likely to have lower shares of non-

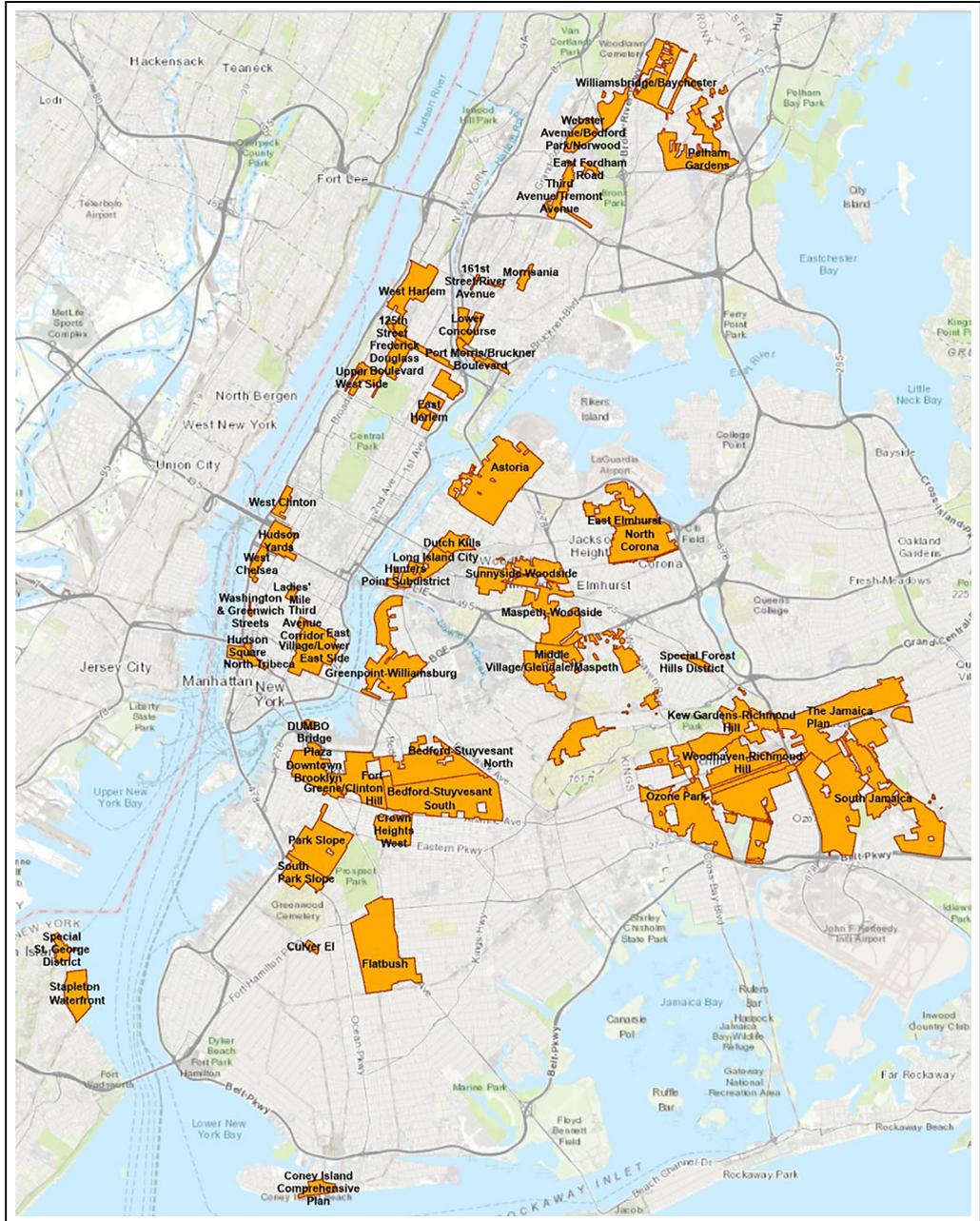


Figure 1. Map of 53 upzoning initiatives in New York City.
Source: Authors' analysis based on New York Zoning Map Amendments (NYZMA) shapefile.

Table 1. Neighbourhood characteristics in 2000 among upzoned and control neighbourhoods.

Neighbourhood characteristics	Unmatched sample			Matched sample		
	Upzoned	Control	Sig.	Upzoned	Control	Sig.
Number of census block groups	785	4374		170	278	
Race/ethnicity						
% NH-white	22.8	38.7	***	31.1	31.1	
% black	36.8	23.1	***	35.1	34.5	
% Hispanic	26.6	25.5		20.6	20.7	
% Other	13.8	12.7	+	13.2	13.7	
Socio-economic status						
% Less than high school	31.5	28.8	***	29.4	29.4	
% High school graduate	25.7	25.2		26.9	26.0	
% Some college	20.5	20.6		21.2	22.0	
% Bachelor's degree or higher	22.3	25.5	***	22.5	22.6	
% High-status occupation	30.5	33.7	***	30.3	30.2	
Median household income	63,566.8	72,341.8	***	68,592.7	69,405.5	
Age group						
% under 18	24.2	24.4		23.8	24.7	
% 18 to 34	30.0	26.2	***	28.7	27.7	
% 35 to 44	36.2	37.1	***	36.2	37.0	
% 65 and over	9.7	12.3	***	11.3	10.6	
Population and household growth						
Population	1289.2	1430.0	***	1196.8	1239.6	
Housing units	500.5	576.8	***	453.6	468.8	
Households	468.3	545.0	***	425.4	442.0	
Tenure and units in structure						
% Homeownership	26.5	34.8	***	33.8	33.3	
% 1 to 4 units	50.3	50.1		63.9	63.7	
% 5 to 49 units	36.8	28.0	***	30.6	30.6	
% 50 + units	12.7	21.8	***	5.3	5.6	
Housing and property values						
Median value (per housing unit)	395,334.0	383,516.9		388,348.2	386,680.2	
Median gross rent (per housing unit)	1215.0	1250.3	**	1258.2	1275.3	
Assessed total value (per lot area, in sqft)	34.6	31.3	*	24.8	25.4	
Assessed land value (per lot area, in sqft)	12.1	12.1		9.2	8.6	

Note: The statistical significance of differences between upzoned and control block groups was assessed by two-sided *t*-test, ⁺ $p < 0.1$, * $p < 0.05$, ** $p < 0.01$, *** $p < 0.001$. All dollar figures are adjusted to 2022 dollars. The matched sample excludes census block groups where more than 0% but less than 80% of the tax lot areas are within the 53 upzoning initiatives. The PLUTO sample includes tax lots whose land use is 'one- and two-family buildings', 'multi-family walk-up buildings', 'multi-family elevator buildings' or 'mixed residential and commercial buildings'. To winsorise outliers, the sample excludes tax lots at the top and bottom one percent of assessed total/land value distribution. Source: Authors' analysis based on the PLUTO 2002 and decennial Census 2000 SF-1 and SF-3.

Hispanic whites and college graduates, lower median incomes, rents and property values. These differences suggest that there might be observable and unobservable differences between the two groups.

We use CEM to match upzoned block groups with non-upzoned block groups with

similar characteristics prior to upzoning. Drawing on the previous literature, we use neighbourhood characteristics that are the likely predictors of upzoning for matching. As CEM prunes observations that have no close matches and outliers, the number of matched upzoned block groups in our

treatment sample was reduced to 170, and our control group consisted of 278 matched block groups. While our matching method does not fully mitigate the selection bias issue, the results of balancing tests indicate that the differences between our matched treatment and control groups were not statistically significant (Table 1).

We examine the effects of upzoning on various neighbourhood characteristics by estimating the following equation:

$$Y_{i,2020} = \beta \text{upzoned}_i + \gamma Y_{i,2000} + \varepsilon_i$$

where $Y_{i,2020}$ is a neighbourhood characteristic of census block group i in 2020; upzoned_i is a dummy variable that takes a value of 1 if the block group has been upzoned between 2001 and 2013 and 0 for non-upzoned, but similar block groups; and $Y_{i,2000}$ is the neighbourhood attribute of interest in 2000.⁶ Our dependent variables include population and household growth variables, age, race/ethnicity, household income, educational attainment, units in structure, and housing and property values. Variables used for housing and property values include median per-unit housing value and gross rent, which are self-reported values in census surveys, and average assessed property and land values, which are professionally appraised values.

In our base model, we use a categorical variable for upzoning in our main analysis although our data also allows for the use of a continuous variable that can represent the magnitude of change in the maximum allowable residential FAR. This is because, as we will demonstrate later, we find that upzoning does not have a continuous, linear relationship with changes in neighbourhood characteristics. Given that upzoning's effect may vary depending on how much additional development capacity is created (Greenaway-McGrevy et al., 2021), we supplement our analysis by dividing our sample into two subgroups, intense (more than 1.0

FAR) and moderate upzoning (less than 1.0 FAR), to test if intense upzonings are more strongly associated with signs of gentrification, housing production and appreciation of housing prices.⁷ To maintain consistency over time, block group boundaries are standardised to 2000 geographic definitions using the NHGIS geographic crosswalks, and all dollar figures are adjusted to 2022 dollars.

Conditions that may mediate the effects of upzoning

Through a review of existing literature, conversation with practitioners and preliminary analyses of descriptive statistics of our sample, we identified three pre-upzoning conditions that may mediate the effects of upzoning: (1) racial composition, (2) median income and (3) demand for housing.⁸ For each of these conditions, we created subgroups that reflect the different pre-upzoning conditions and ran separate regression analyses to explore the heterogeneous effects of upzoning.

The first condition we consider is the racial composition of the upzoned neighbourhoods. Ample evidence exists as to how communities of colour, most prominently black, experience gentrification differently than white or multi-racial neighbourhoods. Studies have found that black-majority neighbourhoods are least likely to gentrify, potentially due to perceptions of disorder and poverty, whereas racially diverse neighbourhoods with Asian and Hispanic immigrants were most likely to gentrify (Hwang, 2015; Hwang and Sampson, 2014). Moreover, black neighbourhoods are known to experience gentrification by middle-class black households, rather than non-Hispanic whites (Freeman, 2005; Hyra, 2008). Therefore, we examine upzoning's effects on four neighbourhood types: (1) majority-white, (2) majority-black and (3) majority-

Hispanic or (4) integrated neighbourhoods where no racial/ethnic group accounted for 50% or more.

As reviewed earlier, Cheung et al. (2024) and Kuhlmann (2021) found that upzoning's effect on property values varied by neighbourhood income. We thus divide our sample into three categories: high-income (median income greater than \$81,200 in 2022 dollars), middle-income (\$53,300 to 81,199) and low-income (less than \$53,300). The thresholds were the cutoffs defining income tertiles among block groups in NYC in 2000.

Lastly, scholars have hinted that the strength of housing demand may also determine the effects of upzoning (Cheung et al., 2024). We used rent growth from 1990 to 2000 as a proxy of housing demand.⁹ If the submarket's growth rate is lower than the citywide rate, it is considered a low-demand market, and otherwise a high-demand market.

Findings

Aggregate results

When we compare all upzoned block groups with the matched control group, we find that upzoning is positively associated with demographic and socio-economic changes indicating gentrification (column (1) in Table 2). We find that block groups affected by upzoning were likely to have a greater share of non-Hispanic whites (4.6 percentage points, hereafter pp.) and a lower share of black population (−6.0 pp.) in 2020 compared to the non-upzoned block groups that had similar characteristics in 2000. In terms of socio-economic status, the upzoned block groups had greater shares of college graduates (4.7 pp.) and workers with a high occupational status (6.6 pp.) and higher median household income (17.0%).¹⁰

On housing characteristics, we find positive associations with housing supply. In the upzoned block groups, the number of housing units increased 7.8% more than those in the non-upzoned counterparts. Relatedly, while we find that the number of households increased (8.1%), we do not find a statistically significant increase in population, indicating that the newer households were smaller. We further observe that upzoned block groups had higher per-unit housing values (17.3%), gross rents (12.9%) and property values (16.2%) compared to the non-upzoned, previously similar block groups. Our findings largely confirm the long-term positive effects of upzoning on housing supply and price appreciation found by Peng (2023).

However, when we divided our upzoned sample into two subgroups, intense and moderate upzoning, we found that intense upzoning is associated with much more pronounced signs of gentrification (columns (2) and (3) in Table 2). When compared to the aggregate results, the growth of non-Hispanic whites was significantly greater in the intense upzoning (11.3 pp.) than in the non-upzoned block groups. We also observed a statistically significant difference in the loss of the Hispanic population (−7.6 pp.).

Similarly, differences in educational attainment and household income levels between the upzoned and non-upzoned block groups are much more pronounced in the case of intense upzoning. The only indicator of gentrification that did not follow this pattern was the loss of the black population, which was more pronounced in the moderately upzoned initiatives (−6.3 pp) compared to the intensely upzoned initiatives (−1.8 pp). The larger percentage point difference we find in moderate upzoning is likely because many black-majority communities, such as Bedford-Stuyvesant, are

Table 2. Estimated coefficients on upzoning identifiers in the regression models of neighbourhood outcome variables with coarsened exact matching weights.

Dependent variable	(1) Coefficient on upzoned block group identifier	Upzoning intensity	
		(2) Moderate (<1.0 FAR)	(3) Intense (1.0 + FAR)
Race/ethnicity			
% NH-white	4.591**	4.073**	11.292***
% black	-5.964***	-6.284***	-1.849*
% Hispanic	1.183	1.863 ⁺	-7.596***
% Other	0.344	0.390	-0.255
Socio-economic status			
% Less than high school	-1.983 ⁺	-1.676	-5.947 ⁺
% High school graduate	-3.010*	-2.394 ⁺	-10.783**
% Some college	0.201	0.562	-4.695**
% Bachelor's degree or higher	4.742*	3.556 ⁺	20.054**
% High-status occupation	6.597***	6.186***	11.879***
ln(median household income)	0.170***	0.149***	0.438**
Age group			
% under 18	-2.122***	-2.188***	-1.241
% 18-34	3.055***	2.508***	10.618***
% 35-44	0.258	0.515	-3.138**
% 65 and over	-1.471***	-1.016**	-7.350***
Population and household growth			
ln(population)	0.039	0.019	0.297*
ln(housing units)	0.078*	0.057	0.342*
ln(households)	0.081*	0.062 ⁺	0.330*
Tenure and units in structure			
% Homeownership	-0.770	-0.833	0.041
% 1-4 units	-0.302	0.986	-16.804**
% 5-49 units	-0.924	-0.672	-4.165
% 50 + units	1.452	-0.214	22.903**
Housing and property values			
ln(median per-unit value)	0.173*	0.168*	0.226
ln(median gross rent)	0.129***	0.108***	0.395***
ln(assessed total value)	0.162**	0.097 ⁺	0.984***
ln(assessed land value)	0.097*	0.057	0.612***

Note: All dollar figures are adjusted to 2022 dollars. The sample excludes census block groups where more than 0% but less than 80% of the tax lot areas are within the 53 upzoning initiatives. The PLUTO sample includes tax lots whose land use is 'one- and two-family buildings', 'multi-family walk-up buildings', 'multi-family elevator buildings', or 'mixed residential and commercial buildings'. To winsorise outliers, the sample excludes tax lots at the top and bottom one percent of assessed total/land value distribution. The matching was conducted with % black, % Hispanic, % homeownership, % 50 + units, % public transportation commuters and median household income as exploratory variables. Full regression results are reported in Online Supplemental Appendix Tables E-1 and E-2.

⁺p < 0.1. *p < 0.05. **p < 0.01. ***p < 0.001.

included in the moderately upzoned group, resulting in a larger initial share of the black population.

We observe appreciation in median gross rent and assessed property and land values in intense upzoning initiatives but find no

effect on owner-reported median per-unit value. We believe this is an indication that the housing price appreciation is driven mostly by the construction of new high-end rental properties with large property values. This is consistent with the effect we see on housing structures. We found that intense upzoning is associated with about 23.0 percentage points greater share of housing units in large multifamily buildings (50 or more units), whereas we do not find such an effect in either the aggregate analysis or for the moderately upzoned neighbourhoods. These neighbourhoods also experienced greater growth in population, housing and household (29.7%, 34.2% and 33.0% respectively).

The block groups within moderately upzoned initiatives saw an increase in median gross rent (10.8%), albeit to a lesser magnitude than the effects of intense upzoning, and an increase in median per-unit housing value (16.8%). However, we did not observe a statistically significant association in the assessed values. We believe the less-pronounced effect on assessed values is likely due to low levels of new constructions, which contrasts with what we find in intense upzoning. New constructions are most likely to push up assessed values as their per-unit construction costs are much higher than existing structures.

Heterogeneity of upzoning's impacts: Pre-upzoning racial and ethnic composition

Now that we have examined the associations between upzoning and neighbourhood changes using all upzoned block groups as our sample, we now turn to how upzonings may be differentially associated with neighbourhood changes depending on the pre-upzoning neighbourhood characteristics. We first examined the variations in the upzoning's effects by the pre-upzoning racial and ethnic composition (columns (1)–(4) in

Table 3). In general, we find that many of the post-upzoning neighbourhood changes found in the aggregate sample are driven by the changes in the white- and black-majority neighbourhoods.

Upzoned block groups in black-majority neighbourhoods seemed to have experienced gentrification most intensely. We find that these block groups were likely to have a 14.9 percentage points lower share of blacks than the non-upzoned black-majority block groups. This is notably greater than the 6.0 percentage-point difference identified in the aggregated analysis. In 2020, the white share was 9.1 percentage points higher in the upzoned block groups in black-majority neighbourhoods than in the non-upzoned ones. In the white-majority neighbourhoods, upzoning resulted in greater white population share (7.0 pp.), at the expense of 'other' racial/ethnic groups.

Socio-economic indicators of gentrification were observable in both white- and black-majority neighbourhoods. Census block groups in these neighbourhoods had greater shares of college graduates and decreases in less educated populations when compared to the non-upzoned block groups. The share of workers in management and professional occupations and the median household income also increased more than in non-upzoned, white- and black-majority block groups.

Although we also observe a greater number of housing units (5.1%) and households (5.5%) in the upzoned black neighbourhoods, this was accompanied by an increase in housing prices. These block groups were likely to have a greater median per-unit housing value (30.4%), median gross rent (20.0%) and assessed property value (34.6%) compared to those in the non-upzoned counterparts. Housing price indices of white-majority, Hispanic-majority and racially integrated neighbourhoods were not statistically significantly different from those in their non-upzoned counterparts, except

Table 3. Estimated coefficients on upzoned neighbourhood identifier, by pre-upzoning conditions.

Neighbourhood characteristics	Racial/ethnic composition			Median household income			Gross rent growth		
	(1) White-majority	(2) Black-majority	(3) Hispanic-majority	(4) Integrated	(5) Low-income	(6) Middle-income	(7) High-income	(8) Slow	(9) Rapid
Race/ethnicity									
% NH-white	6.977**	9.078***	0.836	0.584	11.645***	3.823	-3.940	2.618	11.296***
% black	-0.177	-14.928***	-4.796	1.440*	-10.939***	-3.104***	1.466	-3.675***	-12.114***
% Hispanic	0.564	1.886**	4.559	3.631	-2.656	0.586	3.685	3.548**	-2.079
% Other	-6.669***	4.162***	-0.980	-2.836	2.121**	-1.240	0.030	-1.725	2.966**
Socio-economic status									
% Less than high school	-4.320**	-1.671	2.853	-0.664	-6.041**	-2.449	-1.050	-0.010	-5.259*
% High school graduate	-5.889**	-4.402*	0.371	-0.893	-6.615*	-2.998	1.095	-0.344	-7.293*
% Some college	1.096	-2.469	-0.935	1.718	-4.755**	-0.441	4.884	0.786	-6.025**
% Bachelor's degree or higher	8.679**	8.837**	-0.879	2.793	14.362***	4.439	-5.321	1.220	15.743***
% High-status occupation	5.923*	9.795***	1.130	2.262	10.937**	3.929	-5.329	2.205	12.828***
In(median household income)	0.188**	0.227**	-0.056	0.028	0.202*	0.198**	0.032	0.119*	0.336**
Age group									
% under 18	-2.469**	-2.435***	-1.142	-0.069	-3.323***	-1.475*	2.625	-0.951 [†]	-3.084**
% 18-34	2.736 [†]	5.902***	1.047	0.860	5.416***	0.283	-1.825	1.129 [†]	6.042***
% 35-44	0.229	-0.987*	0.527	-0.337	-1.180	1.034 [†]	0.267	1.422*	-1.059
% 65 and over	-0.749	-2.416***	-0.406	-0.359	-1.467	-1.065 [†]	-2.052	-2.127***	-2.065*
Population and household growth									
In(population)	-0.026	0.019	0.105	0.038	-0.039	0.085 [†]	0.119	0.032	0.109*
In(housing units)	0.077	0.051*	0.121 [†]	0.055	0.020	0.110*	0.051	0.046*	0.172***
In(households)	0.080	0.055*	0.119 [†]	0.055	0.031	0.122*	0.059	0.056**	0.166**
Tenure and units in structure									
% Homeownership	-3.005	1.630	9.130*	-0.552	-1.056	-1.472	0.542	0.666	-2.223
% 1-4 units	-0.922	-0.970	-17.153**	-2.610	2.723	1.643	-2.043	-2.045	-0.527
% 5-49 units	3.882	-1.298	7.885 [†]	3.517	-1.359	-0.022	2.896	1.734	2.714
Housing and property values									
In(median value)	0.042	0.304***	-0.573	-0.073	0.581**	0.253	0.026	0.047	0.262*
In(median gross rent)	0.087*	0.200***	0.178	0.001	0.255***	0.140***	0.099	0.071 [†]	0.324***
In(assessed total value)	0.118	0.359***	0.176	-0.119 [†]	0.313***	0.101	0.125	0.026	0.383***
In(assessed land value)	0.045	0.159*	0.179	-0.030	0.284**	0.121 [†]	-0.079	0.021	0.304***

Note: All dollar figures are adjusted to 2022 dollars. The sample excludes census block groups where more than 0% but less than 80% of the tax lot areas are within the 53 upzoning initiatives. The matching was conducted with % black, % Hispanic, % homeownership, % 50+ units, % public transportation commuters and median household income as exploratory variables. Majority white, majority black and majority Hispanic neighbourhoods were those with at least 50% of the population in 2000 was white, black and Hispanic, respectively. Racially/ethnically integrated neighbourhoods were where there was no racial/ethnic group that accounted for 50% or more. We considered an initiative area as low-, middle- and high-income area if the median household income of the initiative was less than \$30,330 in 2000 dollars (about \$30,330 and \$46,200 in 2000 dollars), between \$30,330 and \$46,200 in 2000 dollars (about \$53,300 and \$81,200 in 2022), and \$46,200 or greater in 2000 dollars (\$81,200 or greater in 2022), respectively. We consider an initiative area experienced (relatively) slow gross rent growth if the rate was lower than the city-wide rent growth rate and rapid otherwise. The lists of 53 upzoning initiatives by racial/ethnic composition, income status and rent growth are shown in Online Supplemental Appendix D.

[†] $p < 0.1$. * $p < 0.05$. ** $p < 0.01$. *** $p < 0.001$.

for the median gross rent of upzoned white-majority neighbourhoods, which was 8.7% greater than that of the non-upzoned ones.

Heterogeneity of upzoning's impacts: Pre-upzoning income levels

We next divided our sample into three income groups, low-, middle- and high-income, to examine whether upzoning affected these groups differently. We find a notable and consistent trend towards gentrification most starkly in low-income neighbourhoods (columns (5)–(7) in Table 3). The upzoned block groups in low-income neighbourhoods had a substantially greater white population share (11.6 pp.) and a lower black share (–10.9 pp.) compared to their non-upzoned low-income counterparts. While we observe a similar pattern among middle-income neighbourhoods, the magnitude and significance of the differences were much smaller. The differences in racial and ethnic composition were not statistically significant between the upzoned and non-upzoned high-income neighbourhoods.

Changes in the socio-economic status among residents also indicate a trend towards gentrification most strongly in low-income neighbourhoods. The upzoned block groups in low-income neighbourhoods had greater shares of college graduates (14.4 pp.), and high-status occupation workers (10.9 pp.). Census block groups in the upzoned middle- and high-income neighbourhoods did not experience similar neighbourhood changes.

Most surprisingly, we observe substantial increases in the housing and property values in the upzoned census blocks in previously low-income neighbourhoods. Median per-unit housing value and gross rent were about 58.1% and 25.5% greater in the upzoned low-income neighbourhoods compared to the non-upzoned counterparts, respectively.

The assessed value at the property level was also 31.3% greater.

In contrast to the dramatic changes in housing prices, we do not observe statistically meaningful differences in population, household and housing unit growth in low-income neighbourhoods. By contrast, housing unit density and household density increased in the upzoned middle-income neighbourhoods, by 11.0% and 12.2% respectively. We discuss the implications of these observations for mechanisms of gentrification in the Discussion section.

Heterogeneity of upzoning's impacts: Pre-upzoning market condition

Lastly, we divided the upzoned neighbourhoods by the strength of the housing market prior to upzoning (columns (8) and (9) in Table 3). Confirming commonsense knowledge and existing research, we observe significant changes in characteristics in neighbourhoods with strong housing demand. Upzoned block groups located in high-demand neighbourhoods had an 11.3 percentage points greater share of whites and a 12.1 percentage points less share of blacks than non-upzoned neighbourhoods with similarly high housing demand. They also had a 33.6% higher median household income. The share of college graduates was likely to be much higher (15.7 pp.) as well. In contrast to these effects, we only find relatively minor neighbourhood changes in upzoned, low-demand neighbourhoods such as lower shares of blacks and older adults.

These strong signs of gentrification in high-demand neighbourhoods were accompanied by significant increases in housing price indices. The upzoned block groups in high-demand markets had higher median per-unit housing value (26.2%) and gross rent (32.4%) as well as assessed value at the

property-level (38.3%). Such effects on housing prices were muted in the upzoned, low-demand neighbourhoods.

When we look at population, housing units and household growth, we see greater increases in the upzoned block groups in high-demand markets compared to the non-upzoned, high-demand markets. Such increases are less observable and statistically less significant in low-demand markets. These results suggest that housing production was greater in upzoned, high-demand neighbourhoods compared to similarly high-demand neighbourhoods that had not been upzoned, but that this growth was not sufficient to keep housing prices at bay.

Discussion

Our analysis of the upzoning initiatives that occurred between 2001 and 2013 in NYC suggests that there is a strong association between upzonings and gentrification. This association is stronger with more intense upzonings and when black-majority, low-income and high-housing-demand neighbourhoods are upzoned. Given these findings, we now discuss possible mechanisms of gentrification. According to the conceptual framework proposed by Freemark (2023, Figure 1), there are two possible mechanisms of gentrification associated with upzonings. First, upzonings can lead to speculative investment without increases in housing supply, which in turn results in higher property values and rents. The other scenario suggests that upzonings, particularly intense upzonings, likely lead to increased housing construction that has amenity effects in the nearby neighbourhood, also resulting in higher housing prices.

We are likely seeing a variation of the first mechanism at play in the moderately upzoned neighbourhoods. In these neighbourhoods, we do not observe statistically significant differences in the population and

household growth and assessed property values, whereas we do find that the owner-reported housing values and median gross rent appreciated more than the non-upzoned control group. This suggests that homebuyers were willing to pay more for homes in these neighbourhoods but this increase in demand was not offset by an increase in housing supply. The new residents were whiter, more educated and wealthier.

Intensely upzoned neighbourhoods saw a much larger appreciation in median gross rent and assessed property value compared to the non-upzoned, matching block groups. In contrast to the moderately upzoned ones, we observe meaningful growth in population and housing units and that this change was largely driven by the construction of high-end rental properties. Such introductions of new buildings likely had amenity effects, attracting a population with demographic profiles different than incumbent residents.

We also find that black neighbourhoods experienced the most dramatic gentrification and greatest increases in housing prices. Considering the fact that these block groups saw modest increases in households and housing units, it seems that both mechanisms of gentrification were at play in black-majority neighbourhoods. These block groups likely saw some increase in housing production, but not sufficient to suppress housing price appreciation, thus leading to gentrification.

Our findings about gentrification in black neighbourhoods contradict prior studies on gentrification. Black neighbourhoods are known to be the least likely to gentrify (Hwang, 2015; Hwang and Sampson, 2014) and their primary gentrifiers are going to be black middle-class households (Freeman, 2005; Hyra, 2008). However, our finding is consistent with that of Sutton (2020) who also found that black neighbourhoods in NYC initially experienced gentrification by black households between 1970 and 2000

but experienced non-black gentrification between 2000 and 2010. Given that Sutton's (2020) study was inconclusive about why the gentrification of black neighbourhoods in NYC compared to other cities differs, we carefully posit that upzoning may explain part of this divergent trajectory.

The magnitude and mechanisms of gentrification also varied by the pre-upzoning income levels. In low-income neighbourhoods, gentrification occurred most intensely and housing became more expensive without meaningful increases in the housing stock. By contrast, we found that middle-income neighbourhoods saw larger increases in population, household and housing unit densities, whereas property values did not appreciate more than the non-upzoned, middle-income neighbourhoods. This finding differs from that of Cheung et al. (2024) in which the authors find the largest value appreciation in middle-income neighbourhoods. This may be due to the different scales and scope of upzoning. Cheung et al. (2024) analysed a city-wide upzoning of all single-family districts, whereas we analysed neighbourhood-level upzoning.

We found no effects of upzoning on neighbourhood characteristics for high-income neighbourhoods, which raises the question of whether increases in residential development capacities were sufficient to incentivise speculative investments and actual housing production. However, when we examined the increases in maximum FAR in all three income groups, we found few discernible differences between the groups. In fact, FAR increases in high-income neighbourhoods were slightly greater than the other income groups. This suggests that the non-effects of upzoning in high-income neighbourhoods are not because of the intensity of upzoning.

In terms of pre-upzoning housing demand, we observed clear and intense signs of gentrification in neighbourhoods that had

a high-demand for housing prior to upzoning. We also found appreciation in housing prices despite the increases in housing units and the share of large multifamily apartment buildings. This is likely because although meaningful housing production occurred in the upzoned areas, the pace and scale of housing production were insufficient to keep housing prices at bay.

Conclusion

Upzoning, a policy intervention that amends existing zoning ordinances to increase allowable development densities, has emerged globally as a solution to addressing housing shortages and affordability challenges. Nevertheless, existing research on upzoning has reported mixed evidence regarding its impact on housing production and affordability. Moreover, scholars have raised concerns about the upzoning's impact on gentrification and displacement of incumbent residents. We analysed the effects of upzoning on a broad set of neighbourhood characteristics in NYC. Our research reveals that upzoning is associated with gentrification but that this effect will be felt most intensely in majority-black, low-income and high-housing-demand neighbourhoods. While NYC is a unique market, we believe the variations that we find across different types of neighbourhoods in the city bolster the generalisability of our findings.

We would like to clearly acknowledge that our findings should not be interpreted as definitive causal effects of upzoning. Due to data limitations and the objective of this research, we did not use research design and methods that would allow us to make stronger causal claims, such as difference-in-differences or instrumental variables. To mitigate this limitation, we use matching methods to help us better control for unobserved factors. Moreover, the consistency of the directions and magnitude of the

associations we find, as well as the mechanisms of gentrification identified by examining the mediating pre-upzoning conditions, allow us to posit that upzoning likely leads to gentrification and that this effect will vary by the intensities of upzoning and the pre-upzoning conditions of the upzoned neighbourhoods.

We conclude the paper by offering implications for planning practice and research. First, it is crucial that upzoning initiatives are adapted to the specific local context in which they will apply. For example, our findings suggest that upzoning low-income neighbourhoods was not associated with meaningful housing production, but strongly associated with neighbourhood changes indicating gentrification. Such a finding suggests that planners and policymakers should think twice when considering upzoning low-income neighbourhoods.

In black neighbourhoods, we observe enhanced levels of housing production, but also the most intense signs of gentrification. This means that upzoning black neighbourhoods must be accompanied by strong anti-gentrification and anti-displacement measures. Examples include adding income-restricted units; offering support for local community organisations; facilitating a positive and trusted relationship between existing business owners and property owners; providing financial literacy education and legal counselling services; just cause eviction laws; and tenant-based rental assistance programmes.

To increase housing supply, neighbourhoods where demand for housing is strong seem to be the ripe targets for upzoning. This may mostly yield high-end multifamily complexes, and the introduction of such properties will likely accelerate gentrification given the profiles of their residents and their amenity effects. However, urban infill

developments are expensive and thus alternative housing products, such as small-scale multifamily structures or more modest apartment complexes will likely not be feasible nor are they the best use of the high-demand land. Moreover, although these neighbourhoods may become outlets for gentrification, other neighbourhoods may be relieved of gentrification pressure as a result. We need further research to understand the regional effects of upzoning.

Lastly, future research should aim to identify whether upzoning leads to displacement. Liao (2023) and Peng (2023) present contrasting results regarding upzoning-induced displacement. Moreover, this residential mobility will likely vary by metro- and neighbourhood-level characteristics (Lee and Perkins, 2023). Qualitative case studies can also fill this gap by exposing the dynamics of neighbourhood change on the ground. How has upzoning affected incumbent residents and businesses? How do these neighbourhoods differ from their non-upzoned counterparts? Finding answers to these questions will add a profound dimension to our understanding of the relationships between upzoning, gentrification and displacement.

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Supplemental material

Supplemental material for this article is available online.

Notes

1. We used the 1990 and 2000 Census and the 2002 PLUTO for capturing the pre-upzoning conditions and 2020 Census, 2018–2022 ACS, and the 2020 PLUTO for the post-upzoning conditions.
2. We confirmed the robustness of our results by using alternative matching methods. These results are shown in Online Supplemental Appendix Table E-7.
3. See Online Supplemental Appendix Table A-1 for the full list of 53 upzoning initiatives and their maximum allowable residential FARs.
4. For the two rezoning initiatives approved in 2001, Downtown Brooklyn and Long Island City, we reviewed historical zoning maps and rezoning documents for these early initiatives.
5. We discuss the identification process in detail in Online Supplemental Appendix B. We tested the robustness of our findings by changing this threshold from 1% to 100%, and the results are shown in Online Supplemental Appendix Table E-3.

6. We present results of the regression with full controls in Online Supplemental Appendix Table E-4.
7. The 1.0 FAR threshold was chosen because the median FAR increase was 0.9, with a standard deviation of 2.4. We tested the robustness of our findings by using a continuous variable and by changing the FAR threshold. The results are consistent and are shown in Online Supplemental Appendix Tables E-5 and E-6.
8. The list of upzoning initiatives by these three pre-upzoning conditions are shown in Online Supplemental Appendix Tables D-1 to D-3.
9. We also employed the rate of home appreciation in the 1990s, and the results are shown in Online Supplemental Appendix Table E-8.
10. High-status occupation includes management, professional and related occupations (e.g. management, business, financial, engineering, education, healthcare occupations).

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Fwd: Request to add language re natural habitat and environmental

Elizabeth Williams <ewilliams@cityofevanston.org>

Fri, Mar 21, 2025 at 12:43 PM

To: Meagan Jones <mmjones@cityofevanston.org>, Erin Baynes <ebaynes@cityofevanston.org>

Cc: Clare Kelly <ckelly@cityofevanston.org>, Steve Ruger <sruger@cityofevanston.org>, Sarah Flax <sflax@cityofevanston.org>

Hi Meagan and Erin,
 Can you please ensure this feedback is provided to the Land Use Commission?
 Thank you,

Liz Williams

Planning Manager/

Interim Housing & Grants Manager

Community Development Department

City of Evanston

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Beginning March 10, 2025, all mail should be addressed to the City of Evanston located at the Lorraine H. Morton City Hall, 909 Davis Street, Evanston, IL 60201. ATTN: Name, Department.

Beginning April 1, 2025, please visit us at our new home located at 909 Davis Street.

The City of Evanston is committed to promoting a citywide culture of accessibility and inclusivity. To request an accommodation for a program, service, or activity, please call 847-866-2919 to make an ADA service request or fill out a [request form online](#).

----- Forwarded message -----

From: **Clare Kelly** <ckelly@cityofevanston.org>

Date: Fri, Mar 21, 2025 at 10:47 AM

Subject: Request to add language re natural habitat and environmental

To: Elizabeth Williams <ewilliams@cityofevanston.org>, Cara Pratt <cpratt@cityofevanston.org>Cc: Steve Ruger <sruger@cityofevanston.org>

Hello Liz and Cara,

Below are requested language edits and additions for EE. This was worked on by a number of Environmentalists and ecologists (Leslie Shad, Jerri Garl, Cam Davis). Could you please add this language to EE to be incorporated prior to the next LUC meeting.

Comments and requested modifications. (underlinings signal additions/edits to existing language)

3-15-2025

Page 72 Environment Revise #5 policy. Manage land along the lakeshore and the North Shore Channel including by ordinance to preserve public ownership, avoid habitat degradation, development and hardscapes, allow public

access, enhance natural beauty, and protect and preserve water quality. The Metropolitan Water Reclamation District preservation policies may be an approach for the city.

Page 75-76 ENV 2.5 Incentivize native plantings on private property and city parkways.

5. Manage land along the lakeshore and the North Shore Channel including by ordinance to preserve public ownership, avoid habitat degradation development and hardscapes, allow public access, enhance natural beauty, and protect and preserve water quality.

ENV 5.1 Protect shoreland by ordinance to preserve public ownership, avoid habitat degradation, development and hardscapes, allow public access, enhance natural beauty, and protect and preserve water quality.

ENV 5.2 Create buffer zones in areas susceptible to changing water levels to maintain vegetative cover and reduce pollution.

ENV 5.3 Improve the integrity of Lake Michigan's near shore through active stewardship, habitat protection, enhancement of biodiversity and improvement of water quality through management of city lakefront lands.

Page 86 Parks 4. Sustain or expand strategies to increase water access.

PO 4.2 Invest in offerings that meet community desires for swimming and waterfront views aligned with enhancing natural beauty and limiting development and hardscapes.

PAGE 96 5. Prioritize healthy buildings and neighborhoods.

H 5.6 Accommodate the urban tree canopy in zoning. Preserve big trees, and tree plantings. Provide allowances or accommodations for plantings and trees that benefit the community. Allow setbacks for tree plantings in front and backyards.

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ECON 4.4 Assure sustainable landscaping is included in all aspects of city projects and approvals. Hire and train adequate staff well-educated in assessing proposed natural landscaping.

ECON 4.5 Establish clear gateways at the entrances of each district.

ECON 4.6 Implement larger, more consistent, and visible public signage and wayfinding.

ECON 4.7 Invest in transformative physical enhancements to support retail districts.

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Clare Kelly
Council Member, First Ward

<https://www.cityofevanston.org/how-to/311>

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